



CITY COUNCIL
Lori Wilson, Mayor
Michael A. Segala, Mayor Pro-Tem
Anthony Adams
Jane Day
Wanda Williams

CITY COUNCIL MEETING

First and Third Tuesday
Every Month

A G E N D A

SPECIAL MEETING OF THE SUISUN CITY COUNCIL

TUESDAY, MARCH 19, 2019

6:30 P.M.

SUISUN CITY COUNCIL CHAMBERS -- 701 CIVIC CENTER BOULEVARD -- SUISUN CITY, CALIFORNIA

NOTICE

Pursuant to Government Code Section 54953, Subdivision (b), the following Council/Housing Authority meeting includes teleconference participation by Councilmember Jane Day from: 301 Morgan Street, Suisun City, CA 94585.

ROLL CALL

Council Members

PUBLIC COMMENT

(Request by citizens to discuss any matter under our jurisdiction other than an item posted on this agenda per California Government Code §54954.3. Comments are limited to no more than 3 minutes unless allowable by the Mayor/Chair. Speaker cards are available on the table near the entry of the meeting room and should be given to the City Clerk. By law, no prolonged discussion or action may be taken on any item raised during the public comment period, although informational answers to questions may be given and matters may be referred for placement on a future agenda.)

CONFLICT OF INTEREST NOTIFICATION

(Any items on this agenda that might be a conflict of interest to any Councilmembers / Boardmembers should be identified at this time.)

CLOSED SESSION

Pursuant to California Government Code section 54950 the Suisun City Council will hold a Closed Session for the purpose of:

1. CONFERENCE WITH LEGAL COUNSEL--ANTICIPATED LITIGATION
Significant exposure to litigation pursuant to paragraph (2) of subdivision (d) of Section 54956.9: (1 potential case).

CONVENE OPEN SESSION

Announcement of Actions Taken, if any, in Closed Session.

ADJOURNMENT

DEPARTMENTS: AREA CODE (707)

ADMINISTRATION 421-7300 ■ PLANNING 421-7335 ■ BUILDING 421-7310 ■ FINANCE 421-7320
FIRE 425-9133 ■ RECREATION & COMMUNITY SERVICES 421-7200 ■ POLICE 421-7373 ■ PUBLIC WORKS 421-7340
SUCCESSOR AGENCY 421-7309 FAX 421-7366

A complete packet of information containing staff reports and exhibits related to each item for the open session of this meeting, and provided to the City Council, are available for public review at least 72 hours prior to a Council /Agency/Authority Meeting at Suisun City Hall 701 Civic Center Blvd., Suisun City. Agenda related writings or documents provided to a majority of the Council/Board/Commissioners less than 72 hours prior to a Council/Agency/Authority meeting related to an agenda item for the open session of this meeting will be made available for public inspection during normal business hours. An agenda packet is also located at the entrance to the Council Chambers during the meeting for public review. The City may charge photocopying charges for requested copies of such documents. Assistive listening devices may be obtained at the meeting

PLEASE NOTE:

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I, Donna Pock, Deputy City Clerk for the City of Suisun City, declare under penalty of perjury that the above agenda for the meeting of March 19, 2019 was posted and available for review, in compliance with the Brown Act.
the Brown Act.

CITY COUNCIL
Lori Wilson, Mayor
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Wanda Williams



CITY COUNCIL MEETING

First and Third Tuesday
Every Month

A G E N D A

REGULAR MEETING OF THE SUISUN CITY COUNCIL

SUISUN CITY COUNCIL ACTING AS SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF SUISUN CITY,

AND HOUSING AUTHORITY

TUESDAY, MARCH 19, 2019

7:00 P.M.

SUISUN CITY COUNCIL CHAMBERS -- 701 CIVIC CENTER BOULEVARD -- SUISUN CITY, CALIFORNIA

NOTICE

*Pursuant to Government Code Section 54953, Subdivision (b), the following Council/Successor Agency/Housing Authority meeting includes teleconference participation by:
Councilmember Jane Day from: 301 Morgan Street, Suisun City, CA 94585.*

(Next Ord. No. – 755)

(Next City Council Res. No. 2019 – 23)

Next Suisun City Council Acting as Successor Agency Res. No. SA2019 - 04)

(Next Housing Authority Res. No. HA2019 – 03)

ROLL CALL

Council / Board Members

Pledge of Allegiance

Invocation

PUBLIC COMMENT

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FIRE 425-9133 ■ RECREATION & COMMUNITY SERVICES 421-7200 ■ POLICE 421-7373 ■ PUBLIC WORKS 421-7340

SUCCESSOR AGENCY 421-7309 FAX 421-7366

REPORTS: (Informational items only.)

1. a. Council/Boardmembers
- b. Mayor/Chair
 - 1) Support of Senate Bill 5 (Beall/McGuire) - Local-State Sustainable Investment Incentive Program.
 - 2) Report by Kevin Flanagan, Division Manager, Republic Services, on the 2019 Community Drop Off Day Schedule.
2. City Manager/Executive Director/Staff
 - a. Informational update on the Traffic Committee accomplishments in first quarter of 2019 – (Lozano/Medill).

PRESENTATIONS/APPOINTMENTS

(Presentations, Awards, Proclamations, Appointments).

3. Introduction of new Suisun City Employee Monica Bugaoan-Abakan, Recreation Coordinator - (Lofthus).

CONSENT CALENDAR

Consent calendar items requiring little or no discussion may be acted upon with one motion.

City Council

4. Council Adoption of Resolution No. 2019-__: Authorizing the City Manager to Enter into a Construction Contract on the City's Behalf with W. Bradley Electric, Inc. for the Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project – (Medill).
5. Suisun City Marina Fuel System Upgrade – (Lofthus).
 - a. Council Adoption of Resolution No. 2019-__: Adopting the 4th Amendment to the Annual Appropriation Resolution No. 2018-68 to Appropriate Funds for the Marina Fuel System Upgrade Project; and
 - b. Council Adoption of Resolution No. 2019-__: Approving the Marina Fuel System Upgrade Project, and Authorizing the City Manager to Enter into an Agreement with Remediation Risk Management dba Triton Construction to Install the Improvements
6. Council Adoption of Resolution No. 2019-__: Rejecting all bids for Landscape Maintenance Contract Services for the Landscaping and Lighting Districts for Fiscal Year 2019-20 - (Medill).
7. Fiscal Year 2017-18 Year End Budget Amendments – (Dingman/Corey).
 - a. Council Adoption of Resolution No. 2019-__: Adopting the 16th Amendment to the Annual Appropriation Resolution No. 2017-44 to Appropriate Funding in Various Programs Citywide to Meet Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.
 - b. Successor Agency Board Adoption of Resolution No. SA 2019-__: Adopting the 1st Amendment to the Annual Appropriations Resolution No. 2017-03 to Appropriate Funding to Meet Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.

- c. Housing Authority Board Adoption of Resolution No. HA 2019-__: Adopting the 3rd Amendment to the Annual Appropriation Resolution No. HA 2017-01 to Appropriate Additional Funding to Meeting Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.

Joint City Council / Suisun City Council Acting as Successor Agency

8. Council/Agency Approval of the February 2019 Payroll Warrants in the Amount of \$557,908.56. Council/Agency Approval of the February 2019 Payable Warrants in the Amount of \$920,583.91– (Finance).

PUBLIC HEARINGS

City Council

9. PUBLIC HEARING

Request to Establish the Heritage Shopping Center Special Sign Overlay District (SSOD) at the Northwest Corner of Highway 12 and Sunset Avenue and to Approve a Pylon Sign at the Heritage Park Shopping Center – (McNamara/Kearns).

- a. Council Introduction and Waive Reading of Ordinance No.____: Approving a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
- b. Council Adoption of Resolution No. 2019-_____: Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).

10. PUBLIC HEARING

Council Introduction and Waive Reading of Ordinance No. ____: - Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties – (McNamara).

11. PUBLIC HEARING - Parks and Recreation Commission – (Lofthus).

- a. Council Introduction and Waive Reading of Ordinance No. ____: Amending Section 2.16 of the Suisun City Code to Update Parks and Recreation Commission; and
- b. Council Adoption of Resolution No. 2019-__: Approving Compensation for Members of the Parks and Recreation Commission (Recreation, Parks, Marina, and Arts Commission).

GENERAL BUSINESS

City Council

12. Council Adoption of Resolution No. 2019-__: Accepting the 2018 Annual Progress Report of the Suisun City General Plan and Housing Element - (McNamara/Kearns).
13. Council Adoption of Resolution No. 2019-__: Approving a Priority List of Community Events for Fiscal Year 2019-20 – (Lofthus).

PUBLIC COMMENT

(Additional time for request by citizens to discuss any matter under our jurisdiction other than an item posted on this agenda limited to no more than 3 minutes.)

ADJOURNMENT

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CITY OF SUISUN CITY

701 Civic Center Blvd.
Suisun City, California 94585
Incorporated October 9, 1868

March 19, 2019

The Honorable Jim Beall
California State Senate
State Capitol Building, Room 2082
Sacramento, CA 95814

The Honorable Mike McGuire
California State Senate
State Capitol Building, Room 5061
Sacramento, CA 95814

Re: SB 5 (Beall/McGuire) Local-State Sustainable Investment Incentive Program
Notice of SUPPORT (As Introduced 12/03/2018)

Dear Senator Beall and Senator McGuire:

The City of Suisun City supports your SB 5 (Beall/McGuire), the Local-State Sustainable Investment Incentive Program.

The elimination of redevelopment in 2011 created a huge deficit in community revitalization resources throughout California, including an annual loss of \$1 billion in funding for low- and moderate-income housing.

SB 5 provides the opportunities for communities to access additional tax increment revenues to fund affordable housing, infrastructure, and economic development projects that advance state and local priorities, including reducing greenhouse gas emissions, expanding transit oriented development (TOD), addressing poverty, and revitalizing neighborhoods.

The City of Suisun City commends you for recognizing the diversity of California cities and acknowledging the need for flexible funding to spur housing construction and revitalize communities.

DEPARTMENTS: AREA CODE (707)

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March 19, 2019

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The time is right for the state to fill the void left by the elimination of redevelopment and provide more tools to support local efforts to build more affordable housing, provide essential infrastructure, and create opportunities in underserved communities. The City of Suisun City applauds your leadership in this effort to give cities the tools they need to improve their communities.

For these reasons, the City of Suisun City supports SB 5 (Beall/McGuire).

Sincerely,

Lori Wilson
Mayor
City of Suisun City

cc: Senator Bill Dodd
Assembly Member Jim Frazier
Nancy Hall Bennett, League of California Cities, Regional Public Affairs Manager
Meg Desmond, League of California Cities

AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: Informational update on the Traffic Committee accomplishments in first quarter of 2019.

FISCAL IMPACT: There is no fiscal impact at this time.

BACKGROUND: Suisun City's Traffic Committee (Committee) members include the Police Commander, Fire Chief, Public Works Director/City Engineer, Development Services Director and the Director of Recreation, Parks and Marina (RPM). The Committee meets as needed, depending on the nature and number of agenda items, to assess and to arrive at resolutions to public concerns relating to traffic safety and traffic management.

Through the advice of and the decisions made by the Committee, numerous improvements have been completed during the first quarter of the 2019 calendar. The Staff Report includes a summary of the five (5) most notable accomplishments.

STAFF REPORT:

The traffic committee coordinated to resolve and research traffic challenges to improve traffic and safety for the Suisun City motorists, bicyclists, pedestrians and public. In this report we have summarized six (6) of the most notable accomplishments of the Traffic Committee for the first quarter of 2019.

1. Installation of a 20 mph Curve Warning Sign

<u>Location:</u> East Wigeon Way, between Honker Land and Blue Wing Drive
<u>Reported issue:</u> Resident complaint of speeding traffic
<u>Background:</u> The segment of East Wigeon Way contains a horizontal curve as shown in the attached location map, Exhibit A. A homeowner at this location has reported vehicular speeding as an item of concern.
<u>Solution(s):</u> After reviewing engineering guidelines for streets with horizontal curves, it was apparent that the south-east bound direction has limited corner sight distance when vehicles are parked along the curb and a driver traveling at or above the speed limit might not have sufficient stopping sight distance to stop to avoid an object in the street. The Engineering Division determined that installation of a warning curve symbol/20 MPH sign would encourage drivers to slow down to a safe speed for the corner. The north-east bound direction has sufficient stopping sight distance. The curve warning sign is installed. If speeding persists the following two (2) further options will be considered by the Committee, install centerline striping and increased speed limit enforcement. The homeowner is currently satisfied with this approach. See attached location map, Exhibit A.

PREPARED BY: Nick Lozano, Associate Engineer
REVIEWED/APPROVED BY: Matthew J. Medill, Public Works Director/City Engineer
 Richard J. Ramirez, Interim City Manager

2. Painting of Existing Curb Red

<u>Location</u> : East side Village Drive, directly north of Merganser Drive.
<u>Reported issue</u> : Inadequate sight distance
<u>Background</u> : Westbound motorists on Merganser Drive turning left onto southbound Village Drive have reported sight distance limitations as related to oncoming southbound vehicles.
<u>Solution(s)</u> : Staff review of site conditions, indicate a need to improve the sight distance. To accomplish this goal, the curb on the eastside of Village Drive directly north of Merganser Drive has been painted red. See attached location map, Exhibit C. This is a curb segment that is adjacent to the southbound left turn pocket on Village Drive. While the improvement has taken away three parallel parking spaces, it has provided the necessary sight distance. See attached location map, Exhibit B.

3. Painting of Existing Curb Red

<u>Location</u> : Train Depot, specifically the area fronting the main entrance door
<u>Reported issue</u> : Vehicle parking in existing crosswalk
<u>Background</u> : Along the Main Street side of the train depot building, the curb abutting the sidewalk was painted red as part of the Train Depot Renovation Project, which was completed in the summer of 2016. A short gap in this curb was not painted red since it is at a pedestrian crosswalk. It has been reported that cars continually stop on this crosswalk, which is at the unpainted segment of the curb, to drop off or pick up passengers.
<u>Solution(s)</u> : The curb was recently painted red to designate this location as a no stopping or parking zone. See attached location map, Exhibit C.

4. Installation of High Visibility Crosswalk and Curb Ramps

<u>Location</u> : Intersection of Potrero Circle and Hammond Lane
<u>Reported issue</u> : Lack of crosswalk and curb ramps to and from Falls Park in the Lawler Ranch Subdivision
<u>Background</u> : This item is in response to resident's request. The resident has a teenage son who is a wheelchair user and who routinely cross at this subject location to enjoy the amenities at Falls Park. His typical day also includes going to the 10-acre Lawler Ranch Park via a route requires crossing Lawler Ranch Parkway, which currently does not have crosswalks except at each end of this relatively long roadway.
<u>Solution(s)</u> : A new high visibility crosswalk has been installed. Improvements include upgrading an existing curb ramp to an ADA-compliant curb ramp; installing a new curb ramp; and installing associated striping and advance warning signs. See attached location map, Exhibit D.

5. Installation of Rectangular Rapid Flashing Beacons (RRFB)

<u>Locations</u> : 1) Lawler Ranch Parkway, 2) Merganser Drive, fronting the Senior Center, and 3) Pintail Drive at Scoter Way, fronting Suisun Elementary School and the library.
<u>Reported issues</u> : a) Location #1 - Lack of crosswalk and curb ramps on Lawler Ranch Parkway at existing concrete path to/from Lawler Falls Park. Existing crosswalks are currently located just at each end of this relatively long roadway. b) Locations #2 and #3 – The existing in-roadway lighted crosswalk at these locations constantly require maintenance and are in need of replacement.
<u>Background</u> : Highway Safety Improvement Program (HSIP) Cycle 9 grant funding

grant funding in the amount of \$248,100 has been secured by the Solano Transportation Authority (STA) and the Suisun City Public Works Department to install rectangular rapid flashing beacons (RRFB) at these three locations. There is no local match requirement. These projects are anticipated to be designed and constructed this year.

The City currently has one location, at the Marina Boulevard/Lotz Way intersection, with RRFB. The RRFB at this particular location was installed as part of the Grizzly Island Trail Project and was completed in early 2013. The driver yield rate has been high and the system has not required maintenance since its installation.

Solution(s): a) Location #1 - The improvements at this location will include a high visibility crosswalk, as well as associated striping and advance warning signs. Improvements may also include a curb bump out to reduce the pedestrian crossing distance at the proposed crosswalk. b) Locations #2 and #3 – At these locations the existing in-roadway lighted crosswalk system will be replaced with RRFB.

6. Repair of Damaged Traffic Signal Post and Associated Devices

Locations: Southwest corner of Walters Road and Petersen Road.

Reported issue: Damaged traffic signal pole.

Background: Last year, one of the traffic signal posts at the southwest corner of the Walters Road/Petersen Road intersection was damaged by a vehicle. See attached location map, Exhibit A. Mounted on this post is a pedestrian signal head and a pedestrian pushbutton.

Solution(s): The traffic signal post and associated devices have been re-installed. The completion of the replacement of those devices supports the safe use of the north-south crosswalk located on the west side of the intersection as well as the safe use of the east-west crosswalk located on the south side of the intersection. See attached location map, Exhibit E.

Conclusion/Next Steps: Staff will provide an update of second quarter accomplishments in June 2019.

STAFF RECOMMENDATION: No Council action is required at this time.

ATTACHMENTS:

- Exhibit A – East Wigeon Way Location Map.
- Exhibit B – Village Drive Location Map.
- Exhibit C – Train Depot Location Map.
- Exhibit D – Potrero Circle and Hammond Lane Location Map.
- Exhibit E – Walters Road and Petersen Road Location Map.

EXHIBIT A East Wigeon Way Location Map



SUBJECT CURVED ROADWAY SEGMENT

EXHIBIT B
Village Drive Location Map



CURB PAINTED RED

EXHIBIT C
Train Depot Location Map



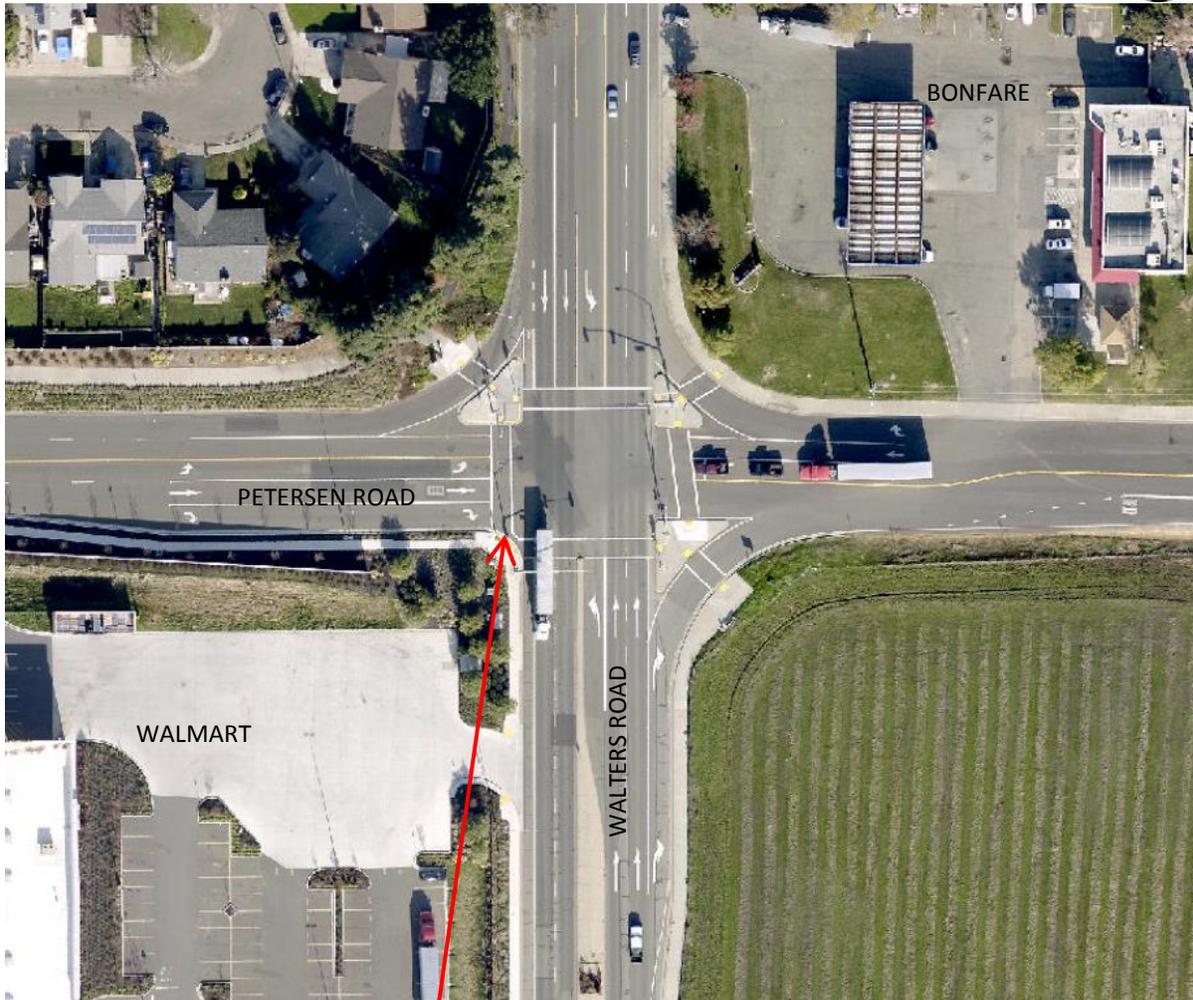
CROSSWALK

CURB PAINTED RED

EXHIBIT D
Potrero Circle/Hammond Lane Location Map



EXHIBIT E
Walters Road/Petersen Road Location Map



REPLACED POST WITH PEDESTRIAN
SIGNAL AND PUSHBUTTON

AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: Adoption of Council Resolution No. 2019-__: Authorizing the City Manager to Enter into a Construction Contract on the City's Behalf with W. Bradley Electric, Inc. for the Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project.

FISCAL IMPACT: The Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project (Project), Federal Project No. HSIPL-5032(030), would have no fiscal impact on the General Fund. City Public Works Engineering staff applied for and was awarded a Highway Safety Improvement Program (HSIP) grant allocation in the amount of \$224,100 from the California Department of Transportation for this Project. The Project budget includes \$181,000 budgeted for construction, of which \$162,900 is funded by the HSIP grant and \$18,100 is being funded by the Off-site Street Improvement Program (OSSIP) for the required 10% local match.

BACKGROUND:

The City was awarded a total of \$224,100 in HSIP grant funds for environmental clearance, preparation of construction documents, construction, and City staff charges on this Project. The City is required to provide a 10% local match of \$24,900, which will be supplied by OSSIP. This provides a total of \$249,000 to complete the Project.

The Project will install countdown pedestrian head modules at existing traffic signals on Sunset Avenue and also at existing traffic signals on Walters Road. The Project also includes improvements to the intersection of Sunset Avenue and "old" Railroad Avenue. This T-intersection is currently signalized and is located approximately 200 feet south of the active railroad track that separates Suisun City from Fairfield. When a train is present, the signal at this intersection indicates an all-red phase in all directions. A more desirable scenario when a train is present would allow traffic movement of the vehicles wishing to turn southbound onto Sunset Avenue from westbound "old" Railroad Avenue. The Project will install a new dedicated left turn arrow and a 24"x 30" light emitting diode (LED) message sign for motorists on westbound Railroad Avenue. The dedicated left turn arrow will allow westbound motorists to turn onto southbound Sunset Avenue when a train is passing, but only after the southbound lanes on Sunset Avenue between the train tracks and Railroad Avenue vehicle queue clears. The LED message sign board will be blank until an oncoming train triggers it to turn on the "no right turn" symbol for westbound motorists.

STAFF REPORT: On Wednesday, January 9, 2019, and on Friday, January 18, 2019, the construction bid documents for the Project were advertised in the Daily Republic newspaper. On the bid submittal deadline of January 31, 2019, only one bid was received. The lone bid of \$251,252.96, which was \$70,252.96 over the construction budget, was subsequently rejected at the February 5, 2019 City Council meeting.

PREPARED BY:
REVIEWED BY:
APPROVED BY:

Nick Lozano, Associate Engineer
 Matt Medill, Public Works Director
 Richard Ramirez, City Manager

Soon after the City Council meeting, City staff revised the construction bid documents, including re-scoping and re-advertising the Project. Public Works maintenance crews installed eight (8) audible pedestrian countdown timers at the Sunset Avenue and the Heritage Parking Shopping Center to address an immediate accessibility issue for a visually impaired Suisun City resident whom requested the audible equipment be installed. The revised Project scope reduced the number of countdown pedestrian modules to be installed from six (6) signalized intersections to two (2) signalized intersections, or from forty-six (46) countdown pedestrian modules to fourteen (14) countdown pedestrian modules.

On Friday, February 8, 2019, and on Sunday, February 17, 2019, the revised construction bid documents were advertised in the Daily Republic newspaper.

Bids were opened on March 7, 2019, at 3:00 PM, at which time five (5) bids were received and read aloud. Staff has reviewed the five bids and has determined that the construction budget of \$181,000 is enough to award the contract. In addition, it was determined that the bid submitted by W. Bradley, Electric, Inc. is a responsive bid and represents the lowest bid received for the Project. The five proposals received for the Project are as follows:

<u>Company</u>	<u>Total</u>
<i>Engineer's Estimate</i>	<u>\$ 83,126.00</u>
W. Bradley Electric, Inc.	\$ <u>70,408.00</u>
St. Francis Electric, LLC	\$ <u>72,488.00</u>
Mike Brown Electric Co.	\$ <u>72,500.00</u>
Swierstock Enterprise, Inc.	\$ <u>138,505.00</u>
Columbia Electric, Inc.	\$ <u>171,252.96</u>

Given that the construction budget is enough to cover the construction contract for this Project, staff recommends awarding the construction contract in the amount of \$70,408.00 to W. Bradley Electric, Inc. for the Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project. Furthermore, given that the W. Bradley's unit price (\$685.00) for each countdown pedestrian module is more than reasonable, City staff will negotiate a contract change order approximately (\$16,440) with the Contractor to install the remaining twenty-four (24) audible countdown pedestrian timers, at the three (3) remaining signalized intersections, that were removed from the original project scope. In consideration of the \$70,408.00 construction bid, the proposed estimated \$16,440 potential change order, and a \$10,000 contingency the total anticipated budget for construction of this project is \$96,848.

RECOMMENDATION: It is recommended that the City Council adopt Resolution No. 2019-___: Authorizing the City Manager to Enter into a Construction Contract on the City's Behalf with W. Bradley Electric, Inc. for the Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project.

ATTACHMENTS:

1. Resolution No. 2019-___: Authorizing the City Manager to Enter into a Construction Contract on the City's Behalf with W. Bradley Electric, Inc. for the Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project.
2. Project Location Map.

RESOLUTION NO. 2019 - _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
AUTHORIZING THE CITY MANAGER TO ENTER INTO A CONSTRUCTION
CONTRACT ON THE CITY'S BEHALF WITH W. BRADLEY ELECTRIC, INC.
FOR THE SUNSET AVENUE AND RAILROAD AVENUE TURN SIGNAL AND
AUDIBLE COUNTDOWN PEDESTRIAN CROSSWALK TIMERS PROJECT**

WHEREAS, the City's Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project (Project) has been awarded Highway Safety Improvement Program (HSIP) grant allocation in the amount of \$224,100, which requires a 10% local match of \$24,900; and

WHEREAS, the HSIP allocation covers environmental clearance, design and construction of the Project; and

WHEREAS, the Project has \$181,000 budgeted for construction, of which \$162,900 is being funded by the HSIP grant and the required 10% local match (\$18,100) is being funded by Off-Site Street Improvement Program (OSSIP); and

WHEREAS, the Project will install audible countdown pedestrian crosswalk timers at existing traffic signals on Sunset Avenue and on Walters Road; and

WHEREAS, the Project will modify the traffic signal at the intersection of Sunset Avenue and "old" Railroad Avenue to address current traffic signal limitations when a train is passing at the nearby train tracks; and

WHEREAS, the City's design consult has prepared plans, specifications; and engineer's cost estimate for the Project; and

WHEREAS, the construction documents for the Project were advertised on January 9, 2019 and January 18, 2019 in the Daily Republic newspaper; and

WHEREAS, the lone bid received on January 31, 2019 was \$70,252.96 over the construction budget, and was rejected at the February 5, 2019 City Council meeting; and

WHEREAS, City staff revised the construction documents with a reduced scope and re-advertised the project on February 8, 2019 and February 17, 2019 in the Daily Republic newspaper; and

WHEREAS, five (5) sealed bid proposals were received by the City on March 7, 2019, by 3:00 pm, and bids were opened and read aloud; and

WHEREAS, W. Bradley Electric, Inc. provided the lowest responsive bid of \$70,408.00.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Suisun City authorizes the City Manager to enter into a construction contract on behalf of the City with W. Bradley Electric, Inc. for the Sunset Avenue and Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project in the amount of \$70,408.00 and to take any and all necessary and appropriate actions to implement this contract. The City Council further authorizes the City Manager to approve a contract change order to add twenty-four (24) audible timers at one (1) signalized intersection on Sunset Avenue and at two (2) signalized intersections on Walters Road for approximately \$16,440 and additionally authorizes project contingencies not to exceed \$10,000 for a total project construction cost of \$96,848.

PASSED AND ADOPTED at a Regular Meeting of the City Council of the City of Suisun City duly held on Tuesday, the 19th day of March 2019, by the following vote:

AYES: Councilmembers: _____
NOES: Councilmembers: _____
ABSENT: Councilmembers: _____
ABSTAIN: Councilmembers: _____

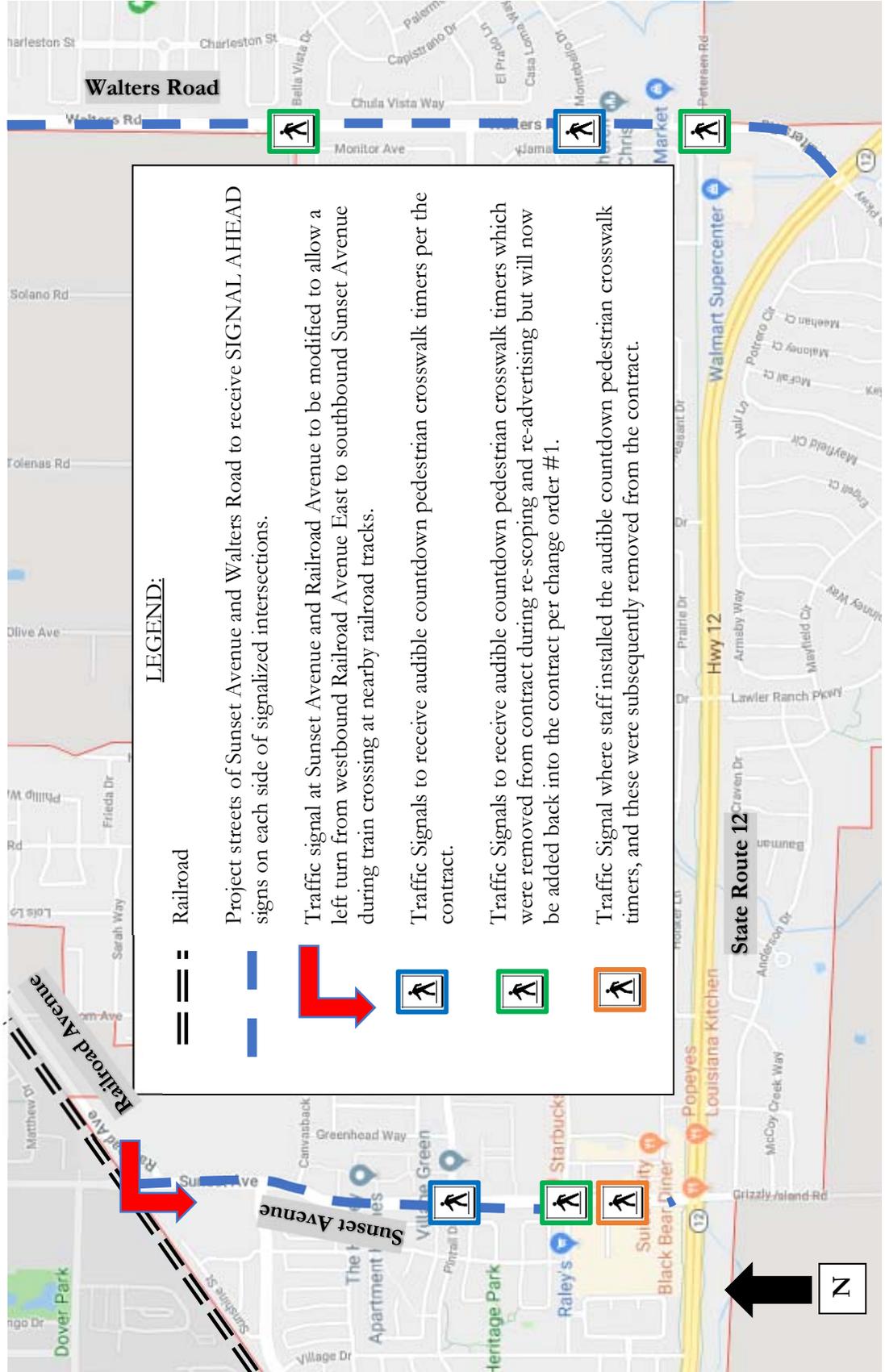
WITNESS my hand and the seal of the City of Suisun City this 19th day of March 2019.

Linda Hobson, CMC
City Clerk

ATTACHMENT NO. 2

LOCATION MAP

Sunset Avenue & Railroad Avenue Turn Signal and Audible Countdown Pedestrian Crosswalk Timers Project



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AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: Suisun City Marina Fuel System Upgrade:

- a. Council Adoption of Resolution No. 2019-__: Adopting the 4th Amendment to the Annual Appropriation Resolution No. 2018-68 to Appropriate Funds for the Marina Fuel System Upgrade Project; and
- b. Council Adoption of Resolution No. 2019-__: Approving the Marina Fuel System Upgrade Project, and Authorizing the City Manager to Enter into an Agreement with Remediation Risk Management dba Triton Construction to Install the Improvements.

FISCAL IMPACT: Based on the low responsive bid, the project costs would include \$198,454 for construction, \$19,845 for contingency, and \$2,500 for inspection for a total of \$220,799. The FY 2018-19 budget includes an appropriation of \$111,300 for this project producing a funding shortfall of \$109,499. The shortfall will be covered by appropriating \$134,700 in available fund balance from reimbursement received through the Recognized Obligations Payment Schedule (ROPS) for Marina capital improvements and \$85,900 from the Marina Emergency Reserve. The amount contributed by the Emergency Reserve will be placed on a future ROPS for reimbursement. A resolution to amend the annual appropriations resolution accordingly is included in the Staff Recommendation.

BACKGROUND: The 20 plus year old Marina fueling system is past its expected life and is in need of updating. In 2016, about half of the fuel system was upgraded due to a catastrophic failure causing fuel to leak inside of a transition sump, which also houses electrical wires. Work for that repair included replacement of solenoid valves; installed mechanical leak detector to diesel and gasoline submersible turbine pumps; installed tank gauging, appropriate tank decals, and new sump leak monitor. Fuel system shutdowns cause an inconvenience to the boating public, as well as a negative economic impact to both Marina users and the City.

In October 2017, the City Council authorized the City Manager to enter into an agreement with West Star Marine Environmental, Inc. to upgrade the remaining original infrastructure. Due to personal issues with the principal manager of West Star Marine, Inc. the project was delayed for several months. West Star Marine Environmental, Inc. was eventually prepared to complete the work as delineated by the bid they submitted and was approved in October 2017. Further delays occurred and the City made the decision to not move forward with West Star Marine Environmental, Inc. At this time, the fuel system and the electrical system that powers the fuel system have failed and are in desperate need of immediate replacement.

STAFF REPORT: The project was advertised starting on February 19, 2019, and bids were opened on March 13, 2019, at 2:00 pm. The four proposals to address the needs of the fuel system are as follows:

PREPARED BY:

Kris Lofthus, Recreation, Parks, and Marina Director

REVIEWED AND APPROVED BY:

Richard J. Ramirez, City Manager

<u>Company</u>	<u>Submitted Bid</u>
Remediation Risk Management (Triton Construction)	\$198,454.00
GEMS Environmental Management Services, Inc.	\$235,751.04
Bellingham Marine Industries, Inc.	\$458,975.00
West Star Environmental, Inc.	\$169,205.00

West Star Environmental, Inc.'s bid was found to be non-responsive due to the following:

- West Star Environmental, Inc. submitted a bid that required the City to “Install extension on dock to attach piping system” counter to the requirements in the bid specifications.
- West Star Environmental, Inc. submitted a bid that states “Contractor to utilize existing Chase Tubing from gangway to existing piping sump.” The bid specifications state: “All materials and equipment shall be new and unused unless approved in writing by the City.”

Remediation Risk Management dba Triton Construction was selected as the lowest responsible bid for the Marina Fuel System Upgrade. The work to be completed is follows:

- Drain and remove the existing fuel in the existing fuel delivery lines.
- Remove and dispose of existing combined gas and diesel the fuel dispenser, card reader, and fuel lines in accordance with applicable regulations.
- Replace fuels dispenser and card reader with new until that meets all current standards for dispensing f fuel for credit card security and is able to be updated as needed
- Inspect & repair the sump containment as needed.
- Replace fuel lines and all fittings as needed from the containment sump to the fuel dispenser.
- Remove and replace existing electrical conduit, conductors and parts for fuel system
- Make all connections and conduct a pressure test the system
- Connect fuel system with current SCRIBBLE management software system
- All materials and equipment shall be new and unused unless approved in writing by the City of Suisun
- All work is to begin no later than 15 calendar days after the award of the contract.
- The contractor shall diligently prosecute the work to completion, including corrective punch list items before the expiration 45 working days. Moreover the Contractor shall pay to the City of Suisun City the sum of \$600 per day of each and every calendar day's delay in finishing the work.

STAFF RECOMMENDATION: It is recommended that the City Council:

1. Adopt Resolution No. 2019-__: Adopting the 4th Amendment to the Annual Appropriation Resolution No. 2018-68 to Appropriate Funds for the Marina Fuel System Upgrade Project; and
2. Adopt Resolution No. 2019-__: Approving the Marina Fuel System Upgrade Project, and Authorizing the City Manager to Enter into an Agreement with Remediation Risk Management dba Triton Construction to Install the Improvements.

ATTACHMENTS:

1. Resolution No. 2019-__: Adopting the 4th Amendment to the Annual Appropriation Resolution No. 2018-68 to Appropriate Funds for the Marina Fuel System Upgrade Project.
2. Resolution No. 2019-__: Approving the Marina Fuel System Upgrade Project, and Authorizing the City Manager to Enter into an Agreement with Remediation Risk Management dba Triton Construction to Install the Improvements.

RESOLUTION NO. 2019-__

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
ADOPTING THE 4th AMENDMENT TO THE ANNUAL APPROPRIATION
RESOLUTION NO. 2018-68 TO APPROPRIATE FUNDS FOR THE
MARINA FUEL SYSTEM UPGRADE PROJECT.**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SUISUN CITY:

THAT Section 909 of Part III of the Annual Appropriation Resolution No. 2018-68 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: BUILDING & PUBLIC WORKS DEPARTMENT Capital Improvements	\$ 134,900
TOTAL Section 909	<u>\$ 134,900</u>

THAT account titles and numbers requiring adjustment by this Resolution are as follows:

	<u>Sources</u>	<u>Uses</u>
<u>Marina Operations Fund</u>		
Revenues:		
A/C No. 909-70101-0000 Beginning Balance	\$ (134,900)	\$ -
A/C No. 909-98200-8910 Emergency Reserve	\$ (85,900)	
Appropriations:		
A/C No. 909-96310-9983 CIP Construction	<u>\$ -</u>	<u>\$ 220,800</u>
Total Marina Operations Fund	<u>\$ (220,800)</u>	<u>\$ 220,800</u>

THAT the purpose is to appropriate unexpended funds consistent with capital improvement purposes described in the Recognized Obligations Payment Schedule (ROPS).

ADOPTED AND PASSED at a regular meeting of the City Council of the City of Suisun City duly held on the 19th day of March 2019 by the following vote:

AYES:	COUNCILMEMBERS:
NOES:	COUNCILMEMBERS:
ABSENT:	COUNCILMEMBERS: None
ABSTAIN:	COUNCILMEMBERS: None

WITNESS my hand and seal of the said City this 19th day of March 2019.

Donna Pock, CMC
Deputy City Clerk

RESOLUTION NO. 2019-__

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
APPROVING MARINA FUEL SYSTEM UPGRADE PROJECT, AND AUTHORIZING
THE CITY MANAGER TO ENTER INTO AN AGREEMENT WITH REMEDIATION
RISK MANAGEMENT DBA TRITON CONSTRUCTION TO INSTALL THE
IMPROVEMENTS**

WHEREAS, the 20 plus year old Marina fueling system has outlived its useful life; and

WHEREAS, a catastrophic failure has occurred leaving the fuel system nonoperational;
and

WHEREAS, the fuel system failure is causing an inconvenience to the boating public, as well as a negative economic impact to marina users and the City; and

WHEREAS, the City received four proposals to address the needs of the fuel system from: Remediation Risk Management dba Triton Construction, Bellingham Marine, West Star Environmental, Inc., and GEMS Environment Management Services, Inc.; and

WHEREAS, Remediation Risk Management dba Triton Construction was selected as the lowest responsive and responsible bidder for the Marina Fuel System Upgrade; and

WHEREAS, Remediation Risk Management dba Triton Construction would accomplish these repairs for \$198,454 for construction, \$19,845 for contingency, and \$2,500 for inspection for a total of \$220,799.

NOW, THEREFORE, BE IT RESOLVED by the City of Suisun City City Council that hereby approves the Marina Fuel System Upgrade Project, and authorizes the City Manager to execute an agreement with Remediation Risk Management dba Triton Construction to perform the repairs, as well as approve change orders up to a total of 10% of the award.

PASSED AND ADOPTED by the said City Council at a regular meeting thereof on the 19th day of March, 2019, by the following vote:

AYES: _____
NOES: _____
ABSENT: _____
ABSTAIN: _____

WITNESS my hand and seal of the said City this 19th day of March, 2019.

Linda Hobson, CMC
City Clerk

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AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: Council Adoption of Resolution No. 2019-___: Rejecting all bids for Landscape Maintenance Contract Services for the Landscaping and Lighting Districts for FY2019-20.

FISCAL IMPACT: There is no impact to the General Fund at this time. Source of funding for this contract is the individual Landscaping and Lighting Districts budgets. Each District pays their individual contract amount for maintenance of their District.

BACKGROUND: There are currently eleven (11) Landscaping and Lighting Districts (LLD) within Suisun City that contract out for landscape maintenance services. Required maintenance activities for these Districts are primarily performed through contract with a commercial landscape maintenance service provider. The current contract for these services is with New Image Landscape of Fremont. The contract extension was approved by the City Council on May 1, 2018. The current contract expires on June 30, 2019. The amount of the current contract is \$207,500 annually.

STAFF REPORT: The City of Suisun City put out a Request for Proposals for landscape maintenance contract services for the Lighting and Landscape Districts on February 8, 2019. The Proposal had a due date of 2:00 PM, March 7, 2019. The Proposal was posted to BPXpress's website and the City's website. Staff contacted other cities in Solano County for vendor referrals, as well as did online research for commercial landscapers in the area. Staff directly contacted thirteen (13) commercial landscaping contractors. In order to ensure the successful bidder had a proper understanding of contract requirements and expectations, a mandatory pre-bid conference was conducted on February 21, 2019. Six (6) landscape maintenance contractors attended: Terracare Associates, New Image Landscape, LandCare, Figeroua Landscape, Arborist/Homescapes Now, and Rubicon Landscape.

On March 7th at 2:00 PM. the City received three (3) proposals from: Terracare Associates, New Image Landscape, and LandCare. At the time of the proposal opening, New Image Landscape was the apparent low bidder. It should be noted that this particular Proposal award is not solely based on the low bid.

During review and analysis of the submitted proposals, it was determined by Staff that none of the three (3) submitting vendors clearly understood the specifics of the proposal request. Some examples of concerning bid results include: 1) one vendor bid Level of Service A & B at the exact same cost, 2) one vendor had a Level of Service B at a higher monthly cost than Level of Service A, and 3) one vendor bid an exorbitantly high amount for monthly maintenance of our smallest District, with the least amount of landscaping.

PREPARED BY:
REVIEWED BY:
APPROVED BY:

Amanda Dum, Management Analyst I
 Matt Medill, P.E., Public Works Director
 Richard J. Ramirez, Interim City Manager

As a result of the received Proposals concerns and after consultation with the Interim City Manager, Staff is recommending that City Council reject all current bids and that Staff revise current language in the Proposal package. Staff has provided a chart showing the existing Levels of Service for each District below. This will be a starting off point for revising and recreating the RFP. The revised Proposal will decrease the available Levels of Service from three Levels (A, B, and C) to only two Levels, the Existing Level and one Level up in service. Additional clarifying updates include breaking out each District individually and listing specific tasks for each individual District separately. The past RFPs include all service tasks, for all Levels of Service (A, B, and C) on one Level of Service Schedule that applied to all Districts.

District Name	Current Contract - Levels of Service
Blossom	B
Amberwood	C
Heritage Park	C
Lawler Ranch	B
Railroad Ave.	C
Peterson Ranch	B
Peterson Ranch/Zephyr	A
Walmart - Tax Zone #6	B
Vic Harbor - Zone A	B
Vic Harbor - Zone B	C
Vic Harbor - Zone C-D	C
Vic Harbor - Zone E	A
Vic Harbor - Zone F	A

Staff plans to re-scope and re-advertise this Request for Proposals for re-advertising in early April. The new Proposal will include another mandatory meeting however; as part of the RFP process, Staff will review the bid documents with the prospective bidders, with staff pointing out the specifics of each District and the requirements of each District bid service level. The new timeline for this new proposal would include opening bids in April and City Council consideration for award in May 2019. This timeline allows plenty of time for the contract to go into place on July 1, 2019 for the FY2019-20 forward. Public Works staff realize that the success of this contract is of the utmost importance to the District residents as well as the City Council, and Public Works Staff are confident that rejecting all bids, re-scoping and re-advertising this RFP will prove to be successful in setting up our District for continued success over the next five (5) year contract and well into the future.

Staff recommends rejecting proposals and allowing Staff to release a revised Request for Proposals

RECOMMENDATION: It is recommended that the City Council adopt Resolution No. 2019-____: Rejecting all bids for Landscape Maintenance Contract Services for the Landscaping and Lighting Districts for FY2019-20.

ATTACHMENTS:

1. Council Resolution 2019-___: Rejecting all bids for the Landscape Maintenance Contract Services for Landscaping and Lighting Districts for FY2019-20.

RESOLUTION NO. 2019- __

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
REJECTING ALL BIDS FOR LANDSCAPE MAINTENANCE CONTRACT SERVICES
FOR THE LIGHTING AND LANDSCAPE DISTRICTS FOR FY19-20**

WHEREAS, A request for bids for Maintenance of Landscape Districts FY2019-20 was advertised on February 8, 2019 with a due date of 2:00 PM, March 7, 2019; and

WHEREAS, the City held a mandatory pre-bid meeting for potential bidders for the Landscape Maintenance Contract Services contract, of which six (6) companies participated; and

WHEREAS, the City received three (3) proposals for this work from: New Image Landscape Company of Fremont, California; Terracare Associates of Martinez, California, and LandCare of American Canyon, California; and

WHEREAS, during review and analysis of the three submitted proposals, City staff found several areas where every contractor failed to provide accurate pricing information for each Level of Service which deemed all proposals as non-responsive; and

WHEREAS, staff plans to re-scope and re-advertise the Request for Proposals for a revised Landscape Maintenance Contract in April, 2019;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Suisun City reject all bids submitted for the Landscape Maintenance Contract Services FY2019-20 contract.

PASSED AND ADOPTED at a Regular Meeting of the City Council of the City of Suisun City duly held on Tuesday, the 19th day of March, 2019 by the following vote:

AYES:	Councilmembers:	_____
NOES:	Councilmembers:	_____
ABSENT:	Councilmembers:	_____
ABSTAIN:	Councilmembers:	_____

WITNESS my hand and the seal of said City this 19th day of March, 2019.

Donna Pock, CMC
Deputy City Clerk

AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

AGENDA ITEM: Fiscal Year 2017-18 Year End Budget Amendments:

1. Council Adoption of Resolution No. 2019-__: Adopting the 16th Amendment to the Annual Appropriation Resolution No. 2017-44 to Appropriate Funding in Various Programs Citywide to Meet Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.
2. Successor Agency Board Adoption of Resolution No. SA 2019-__: Adopting the 1st Amendment to the Annual Appropriations Resolution No. 2017-03 to Appropriate Funding to Meet Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.
3. Housing Authority Board Adoption of Resolution No. HA 2019-__: Adopting the 3rd Amendment to the Annual Appropriation Resolution No. HA 2017-01 to Appropriate Additional Funding to Meeting Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.

FISCAL IMPACT: There would be no fiscal impact as the funds are currently available in retained earnings, grant funds or unanticipated revenues already received for a specific purpose.

BACKGROUND: At the conclusion of a fiscal year, variances between estimated and actual expenditures are identified, and an amendment to the Appropriations Resolution is brought to the Council to make adjustments necessary to reflect actual obligations incurred. The purpose of this process is to meet three primary objectives:

- Align the annual auditing and budgeting processes,
- Provide policy oversight for City financial management, and
- Ensure transparency to the public regarding fiscal stewardship.

The budget amendments being proposed for the FY 2017-18 budget fall into two primary categories:

- Appropriating retained earnings to fund actual expenses that exceeded estimates, such as additional federal Housing and Urban Development Section 8 Funds to pay for additional Section 8 Vouchers, and
- Appropriating new unanticipated revenues, either by grants, donations or insurance recoveries, to fund specific activities, such as staff costs associated with Hazard Mitigation Planning.

STAFF REPORT: The first category of adjustments is necessary to appropriate funding on hand to address expenses that exceeded estimates in the FY 18 budget. These transfers are:

PREPARED BY:
REVIEWED BY:
APPROVED BY:

Scott T. Corey, Senior Management Analyst
 Joe Dingman, Administrative Services Director
 Richard Ramirez, Interim City Manager

- Peterson Ranch MAD Fund - \$9,300 to appropriate funds from unappropriated fund balance to provide additional district landscaping services.
- Housing Authority Section 8 - \$387,300 to appropriate unappropriated fund balance and federal Housing and Urban Development Section 8 funding to underwrite Section 8 Vouchers.

The second category of adjustments is necessary to appropriate new revenues to fund specific programs or for specific purposes. These transfers are:

- Road Maintenance and Rehabilitation Fund - \$4,000 to appropriate tax proceeds for road improvement projects.
- Train Depot Operating & Maintenance (O&M) Fund - \$3,400 to appropriate from Transportation Development Act grant proceeds to pay for additional maintenance staff work at the Train Depot.
- Bureau of Justice Assistance (BJA) Safety Equipment Grant Fund - \$1,200 to appropriate reimbursement revenue for the purchase of safety vests for Police Officers.
- Firefighter Assistance Grant Fund - \$17,000 to appropriate reimbursement revenue for staff costs associated with producing the Hazard Mitigation Plan.
- Successor Agency Administration Fund - \$41,300 to appropriate reimbursement revenue for staff costs to operate the Successor Agency.

RECOMMENDATION: It is recommended that the:

1. City Council Adopt Resolution No. 2019-__: Adopting the 16th Amendment to the Annual Appropriation Resolution No. 2017-44 to Appropriate Funding in Various Programs Citywide to Meet Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.
2. Successor Agency Board Adopt Resolution No. SA 2019-__: Adopting the 1st Amendment to the Annual Appropriations Resolution No. 2017-03 to Appropriate Funding to Meet Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.
3. Housing Authority Adopt Resolution No. HA 2019-__: Adopting the 3rd Amendment to the Annual Appropriation Resolution No. HA 2017-01 to Appropriate Additional Funding to Meeting Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.

ATTACHMENTS:

1. Resolution No. 2019-__: Adopting the 16th Amendment to the Annual Appropriation Resolution No. 2017-44 to Appropriate Funding in Various Programs Citywide to Meet Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations
2. Resolution No. SA 2019-__: Adopting the 1st Amendment to the Annual Appropriations Resolution No. 2017-03 to Appropriate Funding to Meet Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.
3. Resolution No. HA 2019-__: Adopting the 3rd Amendment to the Annual Appropriation Resolution No. HA 2017-01 to Appropriate Additional Funding to Meeting Actual Fiscal Year 2017-18 Obligations Pursuant to Audit Determinations.

RESOLUTION NO. 2019-__

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
ADOPTING THE 16TH AMENDMENT TO THE ANNUAL APPROPRIATION
RESOLUTION NO. 2017-44 TO APPROPRIATE FUNDING IN VARIOUS PROGRAMS
CITYWIDE TO MEET ACTUAL FY 2017-18 OBLIGATIONS PURSUANT
TO AUDIT DETERMINATIONS**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SUISUN CITY:

THAT Section 110 of Part III of the Annual Appropriation Resolution No. 2017-44 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: BUILDING & PUBLIC WORKS DEPARTMENT Road Maintenance and Rehabilitation Account	\$ 4,000
TOTAL Section 110	<u>\$ 4,000</u>

THAT Section 117 of Part III of the Annual Appropriation Resolution No. 2017-44 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: BUILDING & PUBLIC WORKS DEPARTMENT Train Depot O&M	<u>\$ 3,400</u>
TOTAL Section 150	<u>\$ 3,400</u>

THAT Section 150 of Part III of the Annual Appropriation Resolution No. 2017-44 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: POLICE DEPARTMENT Police Operations	<u>\$ 1,200</u>
TOTAL Section 211	<u>\$ 1,200</u>

THAT Section 161 of Part III of the Annual Appropriation Resolution No. 2017-44 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: FIRE DEPARTMENT Public Works Maintenance	<u>\$ 17,000</u>
TOTAL Section 430	<u>\$ 17,000</u>

THAT Section 445 of Part III of the Annual Appropriation Resolution No. 2017-44 be and is hereby amended as follows:

Increase/

Item 7
Attachment 1

(Decrease)

TO:	BUILDING & PUBLIC WORKS DEPARTMENT Public Works Maintenance	\$ 9,300
	TOTAL Section 435	<u>\$ 9,300</u>

THAT account titles and numbers requiring adjustment by this Resolution are as follows:

	<u>Sources</u>	<u>Uses</u>
<u>Road Maintenance and Rehabilitation Fund</u>		
Revenues:		
A/C No. 110-76129-6329	Road Maintenance Rehab Account	\$ (4,000) \$ -
Appropriations:		
A/C No. 110-85115-6329	To Transportation Capital Projects Fund	\$ - \$ 4,000
	Total Road Maintenance and Rehabilitation Fund	<u>\$ (4,000) \$ 4,000</u>
<u>Train Depot O&M Fund</u>		
Revenues:		
A/C No. 117-76521-3355	TDA Art 4	\$ (3,400) \$ -
Appropriations:		
A/C No. 117-90160-3355	Salary Transfers	\$ - \$ 3,400
	Total Train Depot O&M Fund	<u>\$ (3,400) \$ 3,400</u>
<u>BJA Safety Equipment Grant Fund</u>		
Revenues:		
A/C No. 150-76220-2407	Safety Vests Grant	\$ (1,200) \$ -
Appropriations:		
A/C No. 150-91455-2407	Field Equipment Under \$5k	\$ - \$ 1,200
	Total BJA Safety Equipment Grant Fund	<u>\$ (1,200) \$ 1,200</u>
<u>Firefighter Assistance Grant Fund</u>		
Revenues:		
A/C No. 161-76710-2622	FEMA Grant/Storm Channels	\$ (17,000) \$ -
Appropriations:		
A/C No. 161-90160-2622	Salary Transfers	\$ - \$ 17,000
	Total Firefighter Assistance Grant Fund	<u>\$ (17,000) \$ 17,000</u>
<u>Peterson Ranch MAD Fund</u>		
Revenues:		
A/C No. 445-70101-0000	Beginning Balance	\$ (9,300) \$ -
Appropriations:		
A/C No. 445-91431-6445	Contract Services/Other	\$ - \$ 9,300
	Total Peterson Ranch MAD Fund	<u>\$ (9,300) \$ 9,300</u>

THAT the purpose is to appropriate funds to make interfund transfers to meet current obligations.

ADOPTED AND PASSED at a regular meeting of the City Council of the City of Suisun City duly held on the 19th day of March, 2019 by the following vote:

AYES:	COUNCILMEMBERS
NOES:	COUNCILMEMBERS
ABSENT:	COUNCILMEMBERS
ABSTAIN:	COUNCILMEMBERS

WITNESS my hand and seal of the said City this 19th day of March 2019.

Linda Hobson, CMC
City Clerk

RESOLUTION NO. SA 2019-__

A RESOLUTION OF THE SUISUN CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF SUISUN CITY ADOPTING THE 1ST AMENDMENT TO THE ANNUAL APPROPRIATION RESOLUTION NO. SA 2017-03 TO APPROPRIATE ADDITIONAL FUNDING TO MEET ACTUAL FISCAL YEAR 2017-18 OBLIGATIONS PURSUANT TO AUDIT DETERMINATIONS

BE IT RESOLVED BY THE SUISUN CITY HOUSING AUTHORITY:

THAT Section 901 of Part III of the Annual Appropriation Resolution No. SA 2017-03 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: DEVELOPMENT SERVICES DEPARTMENT	\$ 72,400
Successor Agency Administration	
TOTAL Section 932	<u>\$ 72,400</u>

THAT account titles and numbers requiring adjustment by this Resolution are as follows:

	<u>Sources</u>	<u>Uses</u>
<u>SA Administration Fund</u>		
Revenues:		
A/C No. 901-76802-3511 RPTTF Payment/ACA	\$ (41,300)	\$ -
A/C No. 901-90160-3511 Salary Transfer	\$ (31,100)	
Appropriations:		
A/C No. 901-90110-3511 Regular Salary	<u>\$ -</u>	<u>\$ 10,200</u>
Total HA Administration Fund	<u>\$ (72,400)</u>	<u>\$ 10,200</u>

THAT the purpose is to appropriate retained earnings for supplemental administrative support.

ADOPTED AND PASSED at a regular meeting of the City Council Acting as the Successor Agency to the Redevelopment Agency of the City of Suisun City duly held on the 19th day of March, 2019 by the following vote:

AYES: BOARDMEMBERS
NOES: BOARDMEMBERS
ABSENT: BOARDMEMBERS
ABSTAIN: BOARDMEMBERS

WITNESS my hand and seal of the said Agency this 19th day of March 2019.

Linda Hobson, CMC
City Clerk

RESOLUTION NO. HA 2019-__

A RESOLUTION OF THE SUISUN CITY HOUSING AUTHORITY ADOPTING THE 3rd AMENDMENT TO THE ANNUAL APPROPRIATION RESOLUTION NO. HA 2017-01 TO APPROPRIATE ADDITIONAL FUNDING TO MEET ACTUAL FISCAL YEAR 2017-18 OBLIGATIONS PURSUANT TO AUDIT DETERMINATIONS

BE IT RESOLVED BY THE SUISUN CITY HOUSING AUTHORITY:

THAT Section 932 of Part III of the Annual Appropriation Resolution No. HA 2016-03 be and is hereby amended as follows:

	<u>Increase/ (Decrease)</u>
TO: DEVELOPMENT SERVICES DEPARTMENT	\$ 387,300
Housing	
TOTAL Section 932	<u>\$ 387,300</u>

THAT account titles and numbers requiring adjustment by this Resolution are as follows:

	<u>Sources</u>	<u>Uses</u>
<u>HA Section 8 Operating Fund</u>		
Revenues:		
A/C No. 932-70101-0000 Beginning Balance	\$ (346,300)	\$ -
A/C No. 932-76410-3455 HUD/Sec 8 Vouchers	\$ (41,000)	
Appropriations:		
A/C No. 932-91910-3455 Hsg. Assist. Pyt.	<u>\$ -</u>	<u>\$ 387,300</u>
Total HA Administration Fund	<u>\$ (387,300)</u>	<u>\$ 387,300</u>
	<u>Sources</u>	<u>Uses</u>

THAT the purpose is to appropriate retained earnings for supplemental administrative support.

ADOPTED AND PASSED at a regular meeting of the Suisun City Housing Authority duly held on the 19th day of March, 2019 by the following vote:

AYES: BOARDMEMBERS
NOES: BOARDMEMBERS
ABSENT: BOARDMEMBERS
ABSTAIN: BOARDMEMBERS

WITNESS my hand and seal of the said Housing Authority this 19th day of March 2019.

Linda Hobson, CMC
 City Clerk

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AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: PUBLIC HEARING: Request to Establish the Heritage Shopping Center Special Sign Overlay District (SSOD) at the Northwest Corner of Highway 12 and Sunset Avenue and to Approve a Pylon Sign at the Heritage Park Shopping Center.

- a. Council Introduction and Waive Reading of Ordinance No.____: An Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
- b. Council Adoption of Resolution No. 2019-____: A Resolution of the City Council of the City of Suisun City Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).

FISCAL IMPACT: The project, if approved, would provide better advertisement for businesses within the SSOD. This is likely to provide a positive economic impact on the shopping center and the land uses within the proposed district and provide for increased sales within the District.

BACKGROUND: On September 3, 2013, the City Council amended the City’s Zoning Code to include Special Sign Overlay District regulations that allow the establishment of up to five Special Sign Overlay Districts along Highway 12.

The applicant, ProEquity Asset Management Corporation (representing the Heritage Park Shopping Center, has submitted an application to establish a Special Sign Overlay District along Highway 12. The application was submitted with the Development Services Department on December 13, 2018. Additionally, the Applicant has requested approval of a 60-foot-tall pylon sign. Around the same time the pylon sign across the street was being constructed in 2018, Heritage Park Shopping Center was asked to remove their existing sign because it was on top of a Pacific Gas and Electric underground facility that required maintenance. The removal of the sign prompted a relatively quick response to build a new sign.

Under the City’s regulations, there are two distinct approvals and this project review considers these actions concurrently. While the City Council may approve the design of the pylon sign, such approval would not take effect until after the Heritage Park Shopping Center Special Sign Overlay District (SSOD) is approved and in effect. Without the SSOD, a sign of the proposed height and “off-premise” signage on the pylon would not be allowed. The ordinance would take effect 30-days after adoption.

On February 26, 2019, the Suisun City Planning Commission held a Public Hearing and voted 5-0 (Commissioners Pal and Ramos abstained) recommending the City Council adopt the proposed Special Sign Overlay District and pylon sign.

PREPARED BY:
REVIEWED BY:
APPROVED BY:

John Kearns, Senior Planner
 Tim McNamara, Development Services Director
 Richard Ramirez, Interim City Manager

STAFF REPORT: In establishing the “Special Sign Overlay District” provisions in Title 18 of the Suisun City Municipal Code, the interests included increasing the economic viability of commercial properties along Highway 12 by providing better advertising at key intersections and diverting travelers off of the highway to use the city’s commercial services.

The Applicant has requested the establishment of a Special Sign Overlay District (SSOD) for the Heritage Park Shopping Center. The application encompasses 15+ acres including APNs (0173-010-380; 390, 400, 410, 420, and 430). Attachment 1 identifies the proposed boundaries of the Heritage Park Shopping Center SSOD.

The City’s Zoning Code establishes that such approval of a SSOD is granted through adoption of an ordinance by the City Council. Once established, future signage within the SSOD is reviewed subject to the provisions of the Zoning Code regarding Special Sign Overlay Districts.

Key provisions of the City’s SSOD regulations include:

- Each SSOD may have only one highway-oriented sign within the district.
- The highway oriented sign may advertise businesses located on a different parcel than the sign (referred to as off-premise advertising), but may not advertise businesses located outside of the SSOD boundaries.
- Up to five SSODs may be designated within the Highway 12 corridor. However, no highway-oriented SSOD sign may be constructed within 100 feet of any existing highway-oriented SSOD sign in an adjacent SSOD.
- Generally, the highway-oriented SSOD sign permitted by the establishment of the SSOD shall not exceed 60 feet.
- Highway-oriented SSOD signs shall be context-sensitive to its location, complementary to the materials and design of buildings in proximity to the sign, and landscaped to enhance the aesthetics of the sign.
- Illumination shall be shielded to prevent light from being directed toward roads, to prevent glare, and to prevent impairment of driver vision. Illumination shall not interfere official traffic signs, devices, signals, or pavement markings.
- If the SSOD is located within a named business center, the name of the business center shall be included on the highway-oriented SSOD sign.
- An application for a highway-oriented SSOD sign permit shall include a proposed signage reduction plan.

If approved, the boundaries of the Heritage Park SSOD would be established. Once an SSOD is established, the regulations within the Zoning Code related to SSOD’s are applied to the review of individual sign applications. In this case, the City is considering approval of the Heritage Park SSOD and the design of a 60-foot-tall pylon sign concurrently.

Heritage Park Pylon Sign

As noted above, the Applicant is seeking concurrent approval of a 60-foot-tall pylon sign that would be allowed in the Heritage Park SSOD if established. If the proposed pylon sign is approved by the City Council, such approval would not take effect until the Heritage Park SSOD is approved and in effect.

The review of a highway-oriented sign within a SSOD is reviewed for consistency with the above noted standards and may include site plan review and design review of the proposed sign and its location. Specific design elements and features of the proposed highway-oriented sign include:

- The sign, including its decorative elements, shall not exceed 60' in height;
- The maximum width of the sign shall be 19'.
- The total number of panels shall be 12 per side. 1 Sign panel shall be 5'6" x 14', 3 Sign panels shall be 3' x 14' and 8 panels shall be 2' x 6'10";
- All of the signage panels on the sign shall be internally illuminated;
- The sign may be designed to accommodate internal cellular or other communications antennas and equipment. No exterior cellular or other communications antennas will be allowed; and
- No electronic message boards or digital signage of any type shall be permitted.

The Heritage Park pylon sign's background is muted in color (aluminum). The center identification and tenant names will be individual illuminated channel letters. The illumination of the letters will be similar to typical channel letters mounted on buildings. The channel letters have translucent acrylic faces that are illuminated internally with LED or a similar light source. The brightness and intensity depends on the color of acrylic faces. Some of the colors are more translucent than others and will transmit more light. For example, white faces would transmit more light than dark blue faces.

The proposed Heritage Park Center Highway-Oriented Sign is consistent with City standards as follows:

1. Each SSOD may have only one highway-oriented sign within the district.
 - a. The proposed sign will replace the existing highway oriented sign and will be the sole highway oriented sign within the Heritage Park SSOD.
2. The highway oriented sign may advertise businesses located on a different parcel than the sign (referred to as off-premise advertising), but may not advertise businesses located outside of the SSOD boundaries.
 - a. The proposed sign will be monitored for compliance with allowed advertising.
3. Up to five SSODs may be designated within the Highway 12 corridor. However, no highway-oriented SSOD sign may be constructed within 100 feet of any existing highway-oriented SSOD sign in an adjacent SSOD.
 - a. There are no other SSOD's or SSOD highway-oriented signs within 100 feet of the proposed Heritage Park sign.
4. Generally, the highway-oriented SSOD sign permitted by the establishment of the SSOD shall not exceed 60 feet.
 - a. The proposed sign is 60 feet in height and therefore complies with this standard.
5. Highway-oriented SSOD signs shall be context-sensitive to its location, complementary to the materials and design of buildings in proximity to the sign, and landscaped to enhance the aesthetics of the sign.
 - a. The design of the sign utilizes materials consistent with the Heritage Park Shopping Center and will enhance the character and appearance of the existing shopping center by replacing a dilapidated sign providing a more modern and functional sign.

6. Illumination shall be shielded to prevent light from being directed toward roads, to prevent glare, and to prevent impairment of driver vision. Illumination shall not interfere official traffic signs, devices, signals, or pavement markings.
 - a. The internal illumination of the sign and the placement of the sign would assure that not impact to driver safety would result from sign installation.
7. If the SSOD is located within a named business center, the name of the business center shall be included on the highway-oriented SSOD sign.
 - a. The sign design includes the business center name.
8. An application for a highway-oriented SSOD sign permit shall include a proposed signage reduction plan.
 - a. The Applicants will remove the existing, aging monument sign and will remove temporary signage. The SSOD regulations generally apply to new construction and the City does not seek removal of existing signage from existing businesses.

ALUC Review

Since the proposal includes a zoning overlay, it was required to go before the Solano County Airport Land Use Commission (ALUC) to consider the project's consistency with the adopted Travis Airport Land Use Compatibility Plan. The ALUC voted unanimously in favor of a consistency determination at their March 14 meeting with the following condition "The sign shall be illuminated in such a way as to not cause glint or glare detectable by overflying aircraft". This condition is consistent with Section 18.44.090.H.5.c which states "Illumination shall be effectively shielded so as to prevent light from being directed at any portion of the traveled rights of way, to prevent glare, and to prevent impairment of driver vision or vehicle operation or airport flight operations at Travis AFB. Illumination shall not interfere with the effectiveness or obscure an official traffic sign, device, signal, or pavement marking".

CEQA Review

Establishment of the Heritage Park SSOD and approval of the design of the Heritage Park Pylon Sign are both projects under the California Environmental Quality Act and, therefore, the Planning Commission must consider the potential impacts these projects could have on the environment.

The Heritage Park SSOD would not result in any new building square footage and therefore would have no effect on conditions such as traffic, air quality, noise and other impacts typically associated with urbanization. Current regulations allow a sign up to 60 feet in height. Therefore, allowing signage up to 60 feet in height will not be out of character with the Highway 12 corridor and will not result in significant visual impacts.

The proposed Heritage Park highway-oriented sign has been designed to fit with the architectural character of the surrounding shopping center, relies upon internal illumination that will avoid impacts of glare and will replace an aging and unattractive existing sign.

Based upon the above evaluation there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park highway-oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban

development and no significant impacts on the aesthetics of the project or its surrounding environment.

RECOMMENDATION: It is recommended that the City Council:

1. Introduce and Waive Reading of Ordinance No.____: An Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District (SSOD) at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
2. Adopt Resolution No. 2019-____: A Resolution of the City Council of the City of Suisun City Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).

ATTACHMENTS:

1. Council Introduction and Waive Reading of Ordinance No.____: An Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District (SSOD) at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
2. Council Adoption of Resolution No. 2019-____: A Resolution of the City Council of the City of Suisun City Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).
3. Application Materials.
4. PowerPoint Presentation

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ORDINANCE NO.

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY,
APPROVING A SPECIAL SIGN OVERLAY DISTRICT AT THE NORTHWEST
CORNER OF HIGHWAY 12 AND SUNSET AVENUE**

WHEREAS, the Chapter 18.44.040 (Ord. No. 743, § 3, 3-21-2017; Ord. No. 748, § 4, 5-15-2018) of the Suisun City Municipal Code allows for Special Sign Overlay Districts to be established; and

WHEREAS, the Planning Commission at its regular meeting on February 26, 2019, did hold a public hearing to consider the application and, following public comment and due consideration, did vote to recommend the City Council approve the requested Special Sign Overlay District; and

WHEREAS, notice of the City Council’s public hearing to consider the application was published in the *Daily Republic* on or before March 9, 2019, consistent with State Law and the Suisun City Code; and

WHEREAS, the City Council at its regular meeting on March 19, 2019, did hold a public hearing to consider the application and, following public comment and due consideration, introduced and waived first reading of Ordinance No. ____.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SUISUN CITY as follows:

SECTION 1. The City Council of the City of Suisun City hereby approves the Special Sign Overlay District (Ordinance No. _____), consistent with the boundaries included in Exhibit A.

SECTION 2. This Ordinance shall be effective 30 days following its adoption by the City Council. A summary of this Ordinance shall, within fifteen (15) days after passage, be published in accordance with Section 36933 of the Government Code of the State of California with the names of the City Councilmembers voting for and against it.

PASSED, APPROVED, AND ADOPTED as an Ordinance at a regular meeting of the City

1 Council of the City of Suisun City, California, on this ___ day of ___ 2019.

2

3

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Lori Wilson
Mayor

5 **CERTIFICATION**

6 I, Linda Hobson, City Clerk of the City of Suisun City, California, do hereby certify
7 that the foregoing Ordinance was introduced at a regular meeting of the City Council on ___
8 ___, 2019 and passed, approved, and adopted by the City Council of the City of Suisun City at
a regular meeting held on the ____ day of ____ 2019 by the following vote:

9

AYES: Councilmembers:

10 **NOES:** Councilmembers:

ABSENT: Councilmembers:

11 **ABSTAIN:** Councilmembers:

12

WITNESS my hand and the seal of said City this ___ day of _____ 2019.

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Linda Hobson, CMC
City Clerk

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Exhibit A

Heritage Park Sign District

The City of Suisun makes no representations about the suitability of the information provided for any purpose. All information and related graphics are provided "as is" without warranty of any kind.

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RESOLUTION NO. 2019 -

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
APPROVING A 60-FOOT-TALL PYLON SIGN AT THE HERITAGE PARK
SHOPPING CENTER (APNS 0173-010-430).**

WHEREAS, the Planning Commission at its regular meeting on February 26, 2019 did review application AR18/19-002 for a 60' pylon sign at the Northwest corner of Highway 12 and Sunset Avenue; and

WHEREAS, the public hearing notice for the City Council Public Hearing was published in the Daily Republic on March 9, 2019; and

WHEREAS, the City Council at its regular meeting on March 19, 2019 did review application AR18/19-002 for a 60' pylon sign at the Northwest corner of Highway 12 and Sunset Avenue; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, this project has been considered regarding all applicable city regulations and ordinances; and

WHEREAS, there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park Highway-Oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment; and

WHEREAS, the construction of the proposed sign is to be located consistent with Exhibit A; and

WHEREAS, the construction and design of the proposed sign is to be consistent with Exhibit B and is to follow the following criteria:

A. Purpose

The City has adopted this Specific Sign District in accordance with the provisions of the Sign Ordinance in order to:

1. Update the existing regulations regarding Highway Oriented Signs for a portion of the northwest corner of Sunset Avenue and Highway 12 (the “District”).
2. Through the construction of more modern multi-tenant freeway visible signage, enhance the economic vitality of the businesses within the District and encourage the development of vacant parcels and renovation of existing business properties within the District.
3. Provide a framework for focusing signage on a single-pylon leading to an enhanced appearance for the entire business community within the District.

B. Applicability

This Special Sign District applies to signage within the boundaries of the District, as defined by the Sign Ordinance. Except as specifically set forth herein, all other and all existing provisions of the Sign Ordinance shall remain in effect within the District.

C. District Boundaries

District: The boundaries of the District are as shown as Exhibit A of the Heritage Park SSOD ordinance.

D. Description and Location of Pylon Sign

Pylon: A freestanding freeway-oriented structure up to 60 feet tall in substantial conformity with the illustration attached to the Heritage Park Highway-Oriented SSOD sign Resolution as Exhibit B which shall be erected in the approximate location shown as Exhibit A of the Heritage Park Highway-Oriented SSOD sign Resolution. In addition to its decorative elements, the Pylon shall contain 6 sign panels and 6 logo panels on each side.

E. Approvals

1. Relation to Sign Ordinance. Any person desiring to erect or place a sign on the Pylon shall comply with all provisions of the Sign Ordinance, unless specifically modified herein.
2. Types of Businesses Generally Allowed on Pylon. Businesses located within the District whose primary objective at their business location is retail sales, lodging or recreation shall be allowed to install signage on the Pylon. Such uses shall include:
 - (a) Hotels and motels;
 - (b) Commercial recreation;
 - (c) Restaurants (quick service and sit down dining);
 - (d) New auto, truck and recreational vehicle sales;
 - (e) Convenience stores
 - (f) Furniture and antique sales;
 - (g) Full Service Banking Institutions with retail/storefront;
 - (h) Grocery stores;

- (i) Discount retail stores;
 - (j) Appliance stores;
 - (k) Gasoline and service stations;
 - (l) Nails/Hair Salon;
 - (m) Gym/Fitness Building;
 - (n) Building Materials Store;
 - (o) Eyeglasses/Optometrists/Chiropractor Services;
 - (p) Tax Preparation Business;
 - (q) Veterinary Clinic; and
 - (r) Such similar uses as may be determined as consistent therewith by the Development Services Director, or designee, on a case by case basis.
3. Sign Permit Required. A Sign Permit as provided in §18.44.040 of the Suisun City Municipal Code shall be required for any Pylon sign face change (including new businesses).

F. Specifications Applicable to the Pylon and Pylon Sign Panels

1. Pylon Specifications. The following rules and regulations shall apply to the Pylon:
 - a) The sign, including its decorative elements, shall not exceed 60' in height;
 - b) The maximum width of the sign shall be 19'.
 - c) The total number of panels shall be 12 per side. 1 Sign panel shall be 5'6" x 14', 3 Sign panels shall be 3' x 14' and 8 panels shall be 2' x 6'10";
 - d) All of the signage panels on the sign shall be internally illuminated;
 - e) The sign may be designed to accommodate internal cellular or other communications antennas and equipment.
 - f) No exterior cellular or other communications antennas will be allowed; and
 - g) No electronic message boards or digital signage of any type shall be permitted.
2. Pylon Sign Panels. The following rules and regulations shall apply to the signs on the Pylon:
 1. No business signage or advertising shall be allowed on the Pylon except utilizing the 12 two-sided sign panels.
 2. No sign panel may contain the signage of more than one business;
 3. No business may use more than one sign panel for its business;

G. Administration and General Provisions

1. **Review of Final Designs.** The Development Services Director shall review and approve the final specifications for the Pylon and the sign panels thereon so as to ensure consistent design themes and are otherwise consistent with Exhibit B.
2. **Other Requirements May Still Apply.** Nothing in this Special Sign District ordinance eliminates the need for obtaining any other approval or entitlement required by provisions of City Code or the requirements of any City department, or any local, State or Federal agency.
3. **Responsibility for Administration.** The Development Services Director, or designee, shall be responsible for administering the provisions of this Special Sign District. This shall include the responsibility and authority to interpret any section of this document.

WHEREAS, the applicant agrees to keep the Special Sign Overlay District free of illegal temporary signage at all times and make every effort to reduce the prospective signage in the district; and

WHEREAS, approval of said Highway-Oriented SSOD Sign will not take effect until the a SSOD has been established and has taken effect by law; and

WHEREAS, based on evidence presented to the City Council by City Staff and the applicant, the following Findings are hereby made:

1. That the project is categorically exempt from the California Environmental Quality Act, there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park Highway-Oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment.
2. That the Highway-Oriented SSOD Sign has been considered through an Architectural Review process as required by the Suisun City Zoning Ordinance.
3. That the Highway-Oriented SSOD Sign, will not conflict with the Goals, Objectives, and Policies of the General Plan.

4. That the Highway-Oriented SSOD Sign, will not have significant noise, traffic, or parking impacts on the neighborhood.
5. That the Highway-Oriented SSOD Sign, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such district, nor detrimental to properties or improvements in the vicinity, nor to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED THAT the City Council of the City of Suisun City does hereby adopt Resolution 2019 - ____; A Resolution of the City Council of the City of Suisun City Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APNs 0173-010-430).

PASSED AND ADOPTED at a Regular Meeting of the City Council of the City of Suisun City duly held on Tuesday, the 19th day of March 2019, by the following vote:

AYES:	COUNCILMEMBERS	_____
NOES:	COUNCILMEMBERS	_____
ABSTAIN:	COUNCILMEMBERS	_____
ABSENT:	COUNCILMEMBERS	_____

WITNESS my hand and the seal of the City of Suisun City this 19th day of March 2019.

Linda Hobson, CMC
City Clerk

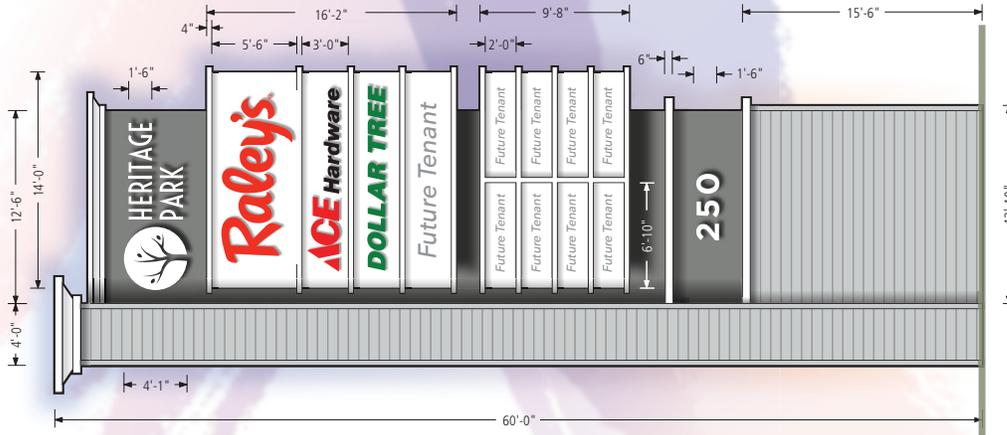


Exhibit A

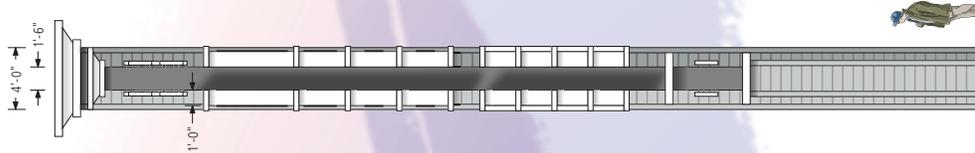
Heritage Park Proposed Sign Site

The City of Suisun makes no representations about the suitability of the information provided for any purpose. All information and related graphics are provided "as is" without warranty of any kind.

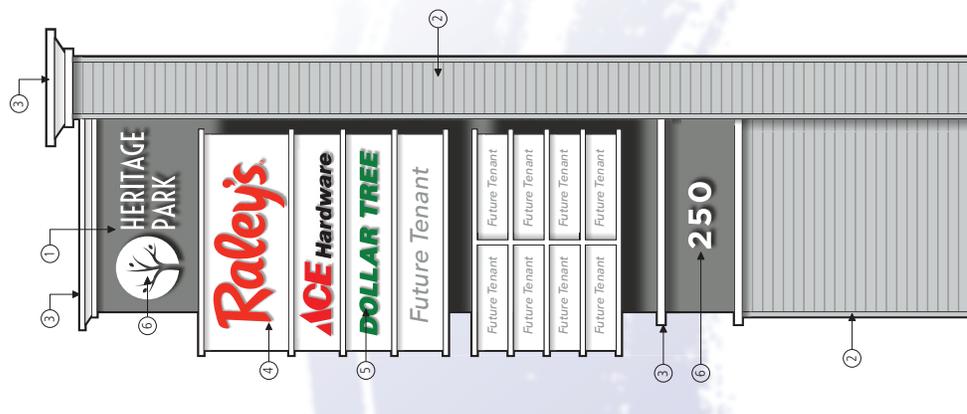
Freestanding Sign | D/F Shared Tenant Pylon Sign



A D/F Multi-Tenant Pylon Sign (Side 1)
Scale 1/8" = 1'-0"



A End View (Street Side)
Scale 1/8" = 1'-0"



A D/F Multi-Tenant Pylon Sign (Side 2)
Scale 1/8" = 1'-0"

Material Schedule

- 1 **Recessed Fin Background**
Fin to be fabricated aluminum with a light beige finish. Faces and corners to be painted to match Sherwin Williams SW 7057 Claycape.
- 2 **Pole Cover and Base**
Fabricated frame structure to be skinned with James Hardie Hardie Plank cement fiber board siding with corner rails painted to match Sherwin Williams SW 7062 Evening Shadow.
- 3 **Comics and Tenant Panel Dividers**
Fabricated aluminum construction with light texcote (sand) finish. All exposed surfaces to be painted White.
- 4 **Tenant Cabinet / Panel Faces**
Comics and tenant panels to be fabricated aluminum construction. Tenant faces to be routed out aluminum (for tenant graphics) with a light texcote (sand) finish. Tenant panel faces and returns to be painted White. Cabinet to be internally illuminated with H.O. fluorescent lamps as req'd.
- 5 **Tenant Panel Graphics**
All graphics to be push-thru clear acrylic with 3M White Diffuser film applied to face. 3M colored vinyl film to be applied over diffuser as per tenant's color specifications. Raley's logo to be 3M PMS-485C Heat vinyl film overlay to match PMS-485C.
- 6 **Shopping Center Identity / Address**
Shopping center graphics to be fabricated aluminum, reverse pan channel halo illuminated construction. Faces and returns to be painted White with tin finish. Backs to be fabricated aluminum with diffuser. Letters to be internally illuminated with White L.E.D. modules, letter sign cabinets and graphic rule to be pegged off of recessed fin background surface with 1-1/2" tube spacer standoffs.

ESTABLISHED 1946
PACIFIC NEON

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **17-0093-05**

Account Executive: **Ralph Condiff**

Project: **Heritage Park Shopping Center**

Address: **250 Sunset Ave. Suisun City, CA**

Drawn By: **William Dickson**
Date: **3.30.17**
Revision: **11.26.18**
12.30.18
1.15.19

Customer Approval:

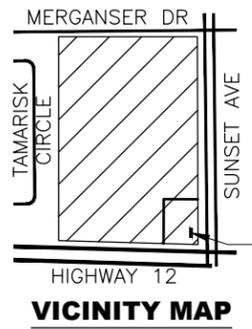
UL Listed
Signs to be manufactured to U.L. Specifications and will be used in accordance with the National Electrical Code and other applicable local codes. This includes proper grounding and bonding of the sign.
Electrical Details
Customer to provide primary dedicated electrical circuit with a separate ground to the electrical panel. L.E.D. Electronics to have a separate dedicated 120V complete circuit (line, load and neutral). Common ground to electrical panel acceptable.

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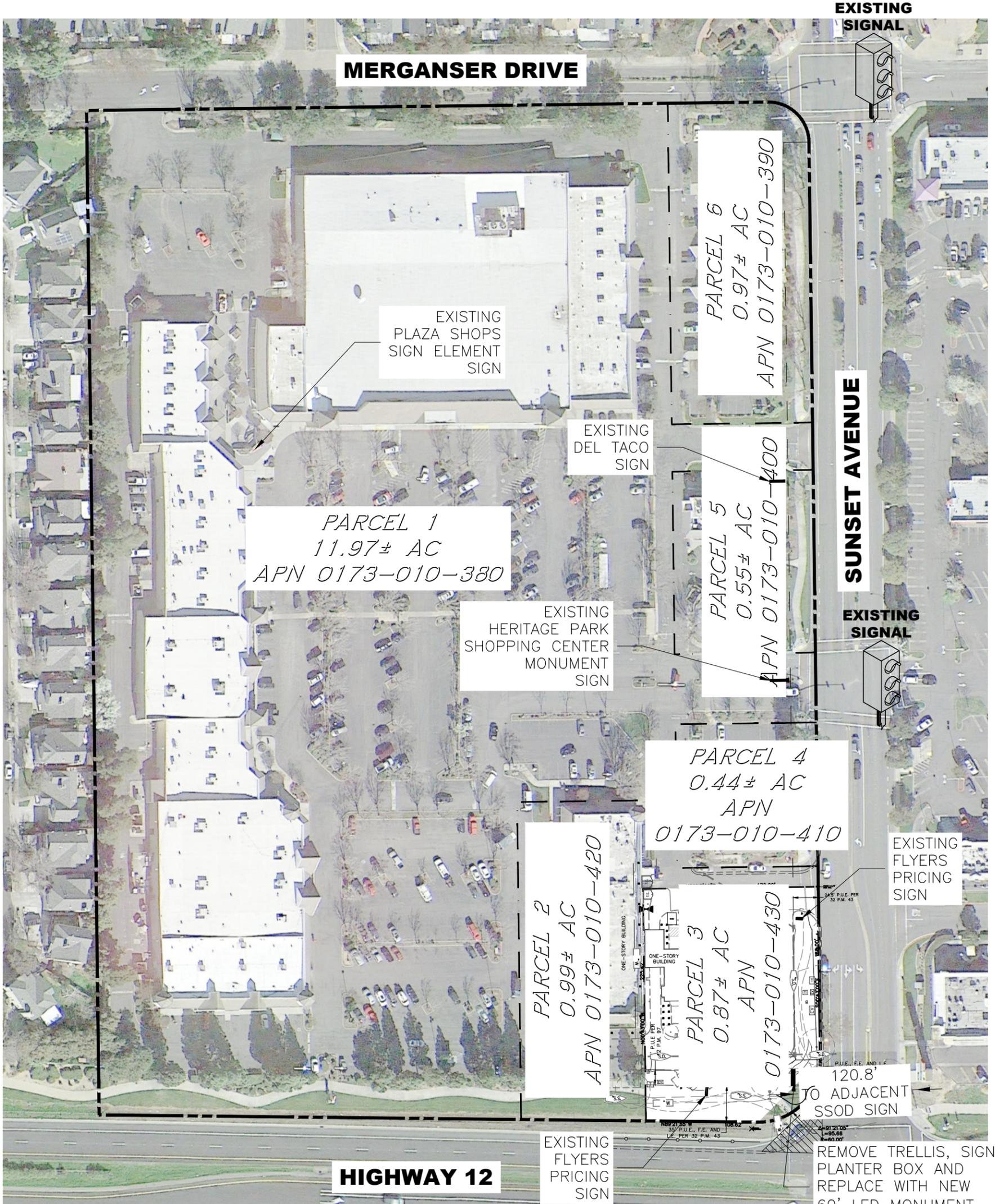
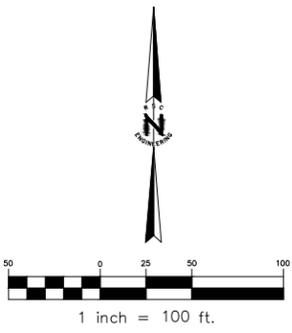
California Title 24 Compliant

Sheet No. **12**

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PROJECT LOCATION



LEGEND:

--- SIGN DISTRICT BOUNDARY

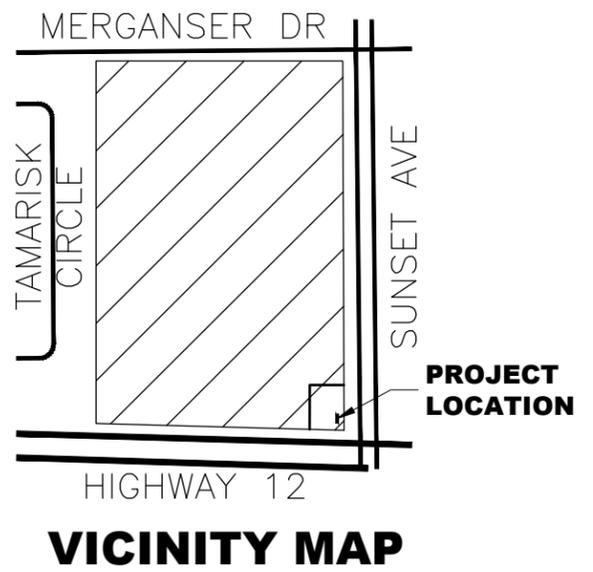
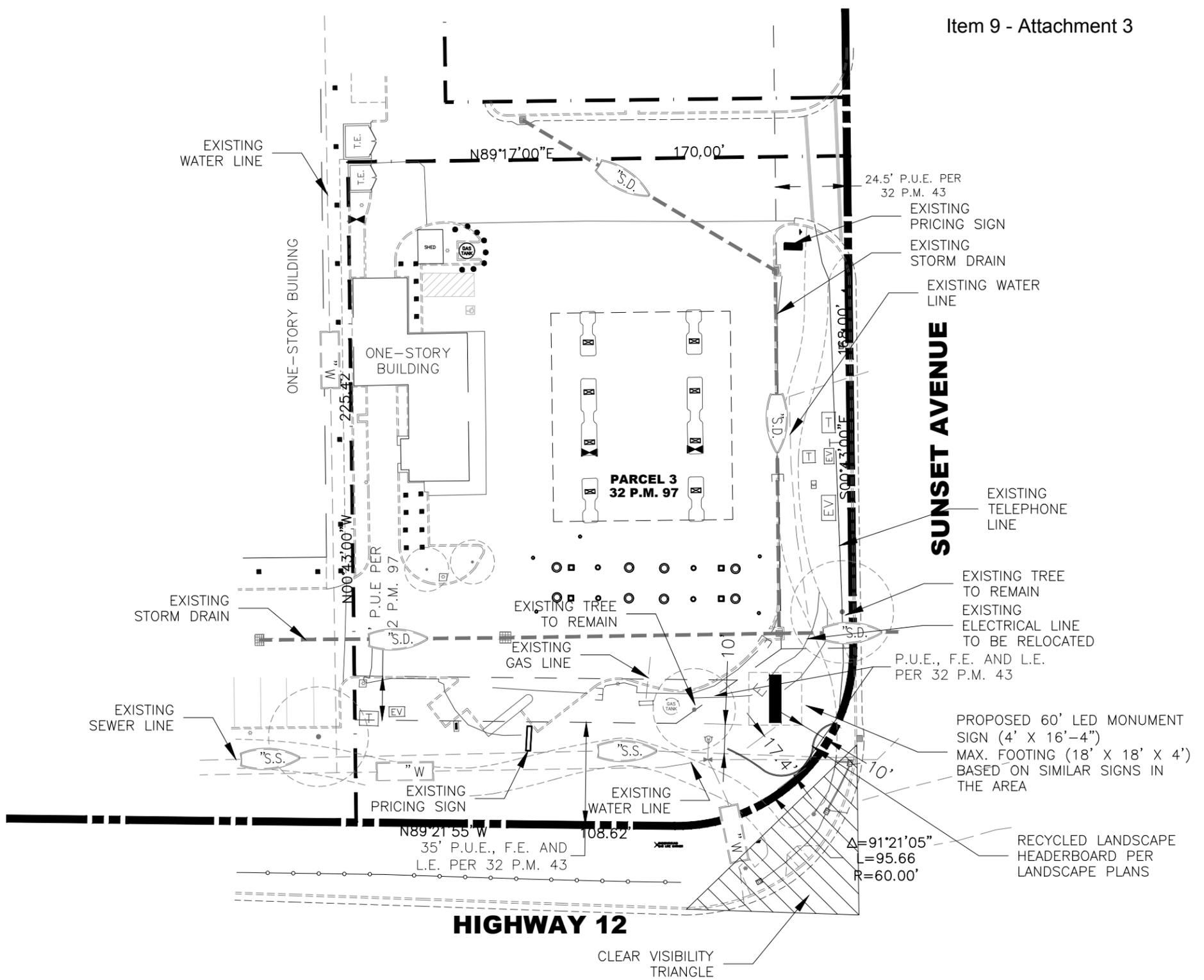
NOTE:

- SIGN DISTRICT TO INCLUDE PARCELS 1, 2, 3, 4, 5 AND 6 OF THAT PARCEL MAP OF HERITAGE CENTER, FILED JULY 29, 1988, IN BOOK 32 OF PARCEL MAPS, PAGE 96, SOLANO COUNTY RECORDS.
- REFER TO LANDSCAPE AND IRRIGATION PLANS FOR PROPOSED PLANTING AND IRRIGATION

**SIGN DISTRICT AND
SITE INVENTORY PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA
SHEET 2 OF 18**

Scale: 1"=100' Date: JANUARY 16, 2019 Job Number: 218-001
P:\218-001\Planning\Conceptual\218001_SP.dwg, 01-16-19

RSC ENGINEERING
2250 Douglas Blvd. Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408



LEGEND			
	SUPPORT COLUMN		FUEL STORAGE ACCESS COVER
	CANOPY SUPPORT COLUMN		FUEL STORAGE ACCESS COVER
	DRAIN INLET		FIRE HYDRANT
	SEWER CLEANOUT		BACKFLOW PREVENTER
	SEWER MANHOLE		WATER VALVE
	ELECTRIC BOX		ADA ACCESSIBLE PARKING SPACE
	TRANSFORMER	F.E.	FENCE EASEMENT
	ELECTRIC VAULT	L.E.	LANDSCAPE EASEMENT
	LIGHT	P.M.	PARCEL MAP (BOOK/PAGE)
	SIGN	P.U.E.	PUBLIC UTILITY EASEMENT
	STEEL BOLLARD	T.E.	TRASH ENCLOSURE
	TRAFFIC SIGNAL		CONCRETE
	TRAFFIC SIGNAL BOX		CHAIN LINK FENCE
			PUE, FE & LE PER 32 PM 43

NOTE:

- SIGN DISTRICT TO INCLUDE PARCELS 1, 2, 3, 4, 5 AND 6 OF THAT PARCEL MAP OF HERITAGE CENTER, FILED JULY 29, 1988, IN BOOK 32 OF PARCEL MAPS, PAGE 96, SOLANO COUNTY RECORDS.
- SEE DEMOLITION PLAN, SHEET 4 OF 15
- FOOTING DETAIL PER SIGN COMPANY, SEE SHEET X OF 15
- REFER TO LANDSCAPE AND IRRIGATION PLANS FOR PROPOSED PLANTING AND IRRIGATION

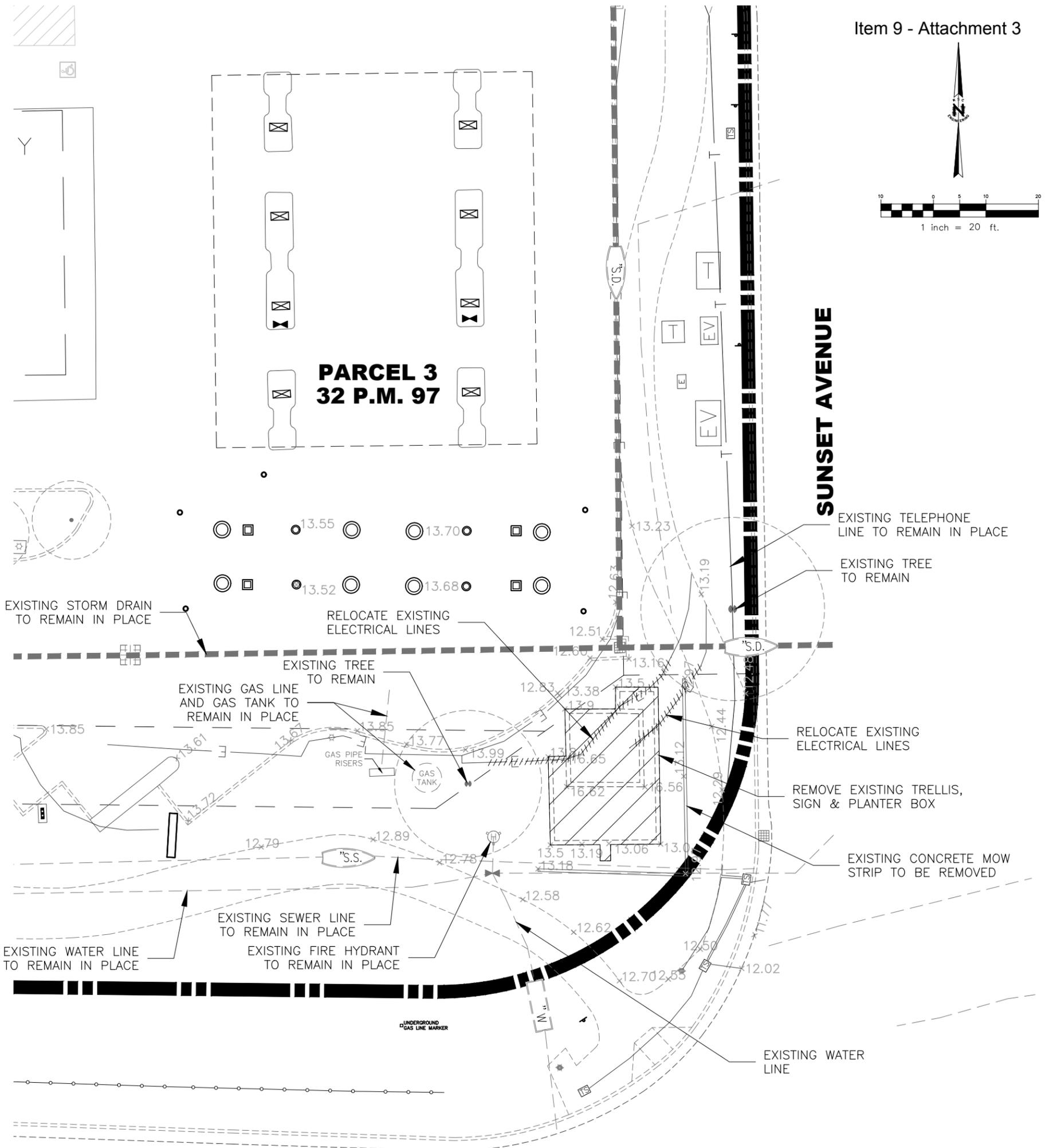
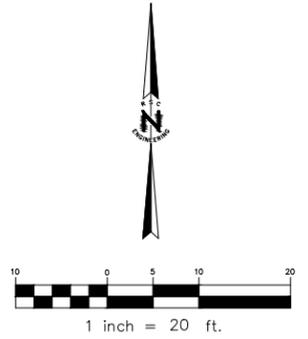
SITE PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA

SHEET 3 OF 18

Scale: 1"=40' Date: JANUARY 16, 2019 Job Number: 218-001

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RSC ENGINEERING
 2250 Douglas Blvd. Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408



LEGEND

	SUPPORT COLUMN		FUEL STORAGE ACCESS COVER	EV	ELECTRIC VAULT	L.E.	LANDSCAPE EASEMENT
	CANOPY SUPPORT COLUMN		FUEL STORAGE ACCESS COVER		LIGHT	P.M.	PARCEL MAP (BOOK/PAGE)
	DRAIN INLET		FIRE HYDRANT		SIGN	P.U.E.	PUBLIC UTILITY EASEMENT
	SEWER CLEANOUT		BACKFLOW PREVENTER		STEEL BOLLARD	T.E.	TRASH ENCLOSURE
	SEWER MANHOLE		WATER VALVE		TRAFFIC SIGNAL		CONCRETE
	ELECTRIC BOX		ADA ACCESSIBLE PARKING SPACE		TRAFFIC SIGNAL BOX		CHAIN LINK FENCE
	TRANSFORMER	F.E.	FENCE EASEMENT				

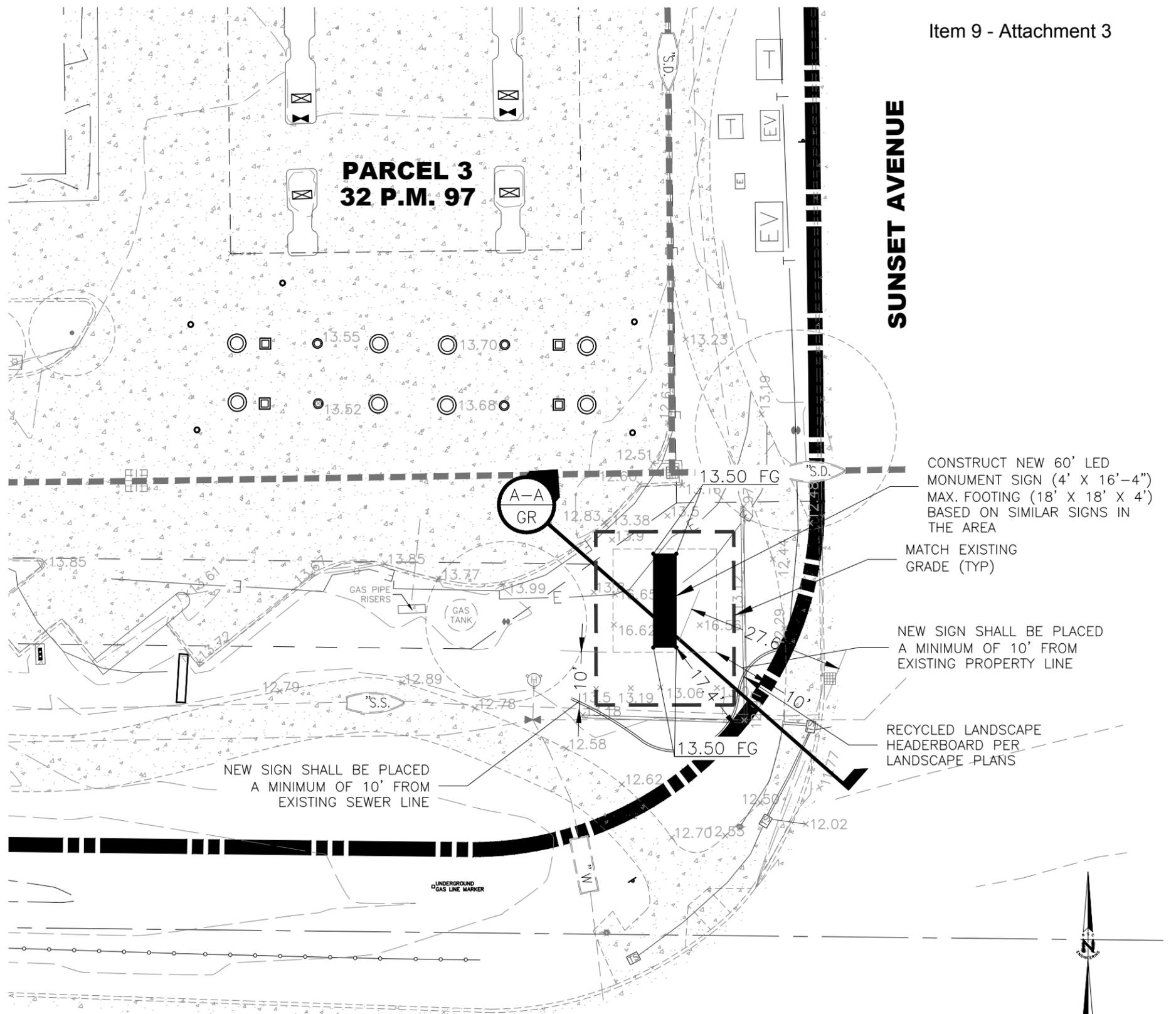
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- REFER TO LANDSCAPE PLANS FOR REMOVAL OF EXISTING LANDSCAPING

**DEMOLITION PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA**

SHEET 4 OF 18

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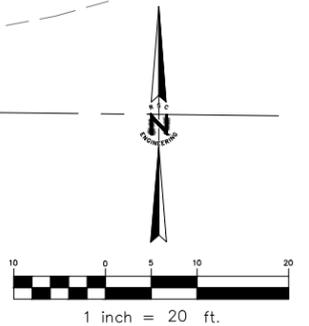
CONSTRUCT NEW 60' LED MONUMENT SIGN (4' X 16'-4") MAX. FOOTING (18' X 18' X 4') BASED ON SIMILAR SIGNS IN THE AREA

MATCH EXISTING GRADE (TYP)

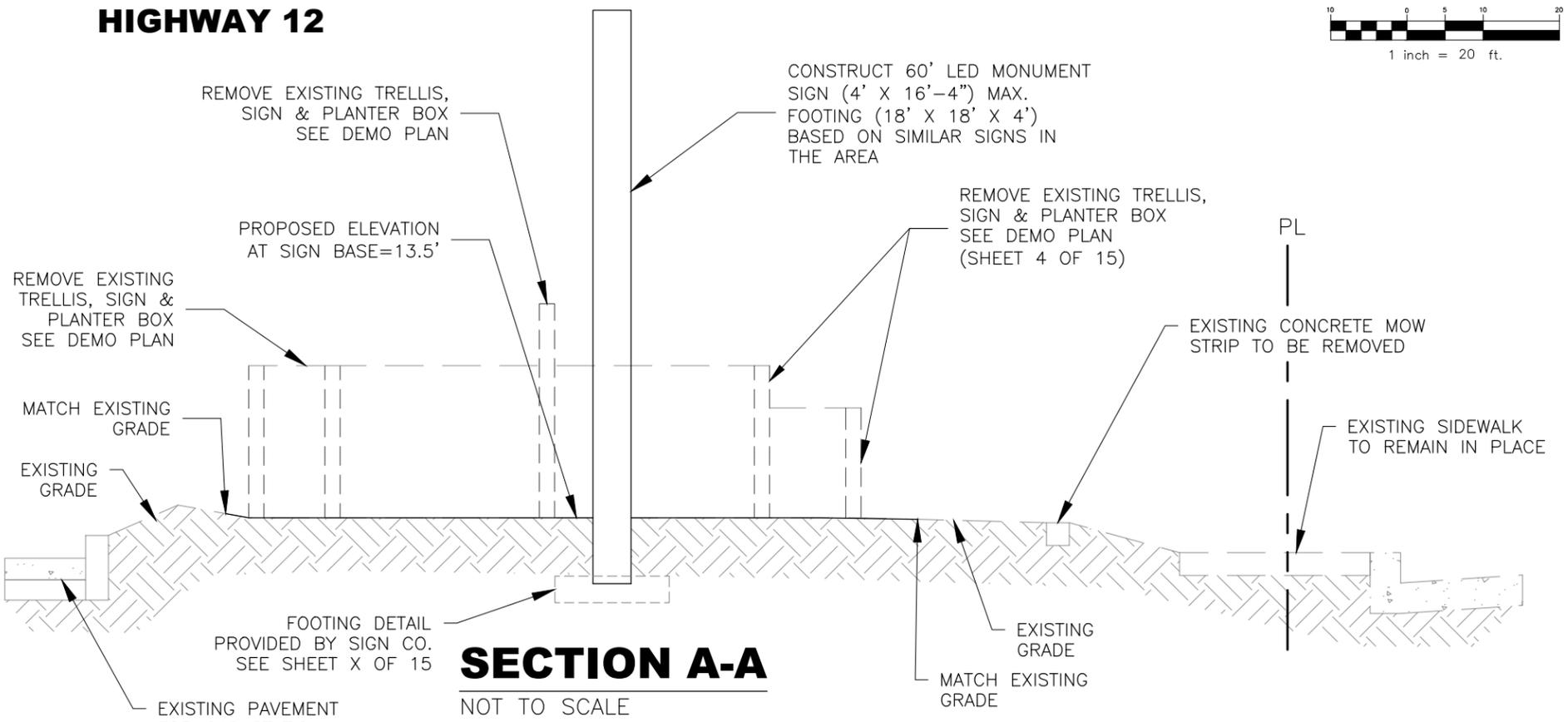
NEW SIGN SHALL BE PLACED A MINIMUM OF 10' FROM EXISTING PROPERTY LINE

RECYCLED LANDSCAPE HEADERBOARD PER LANDSCAPE PLANS

NEW SIGN SHALL BE PLACED A MINIMUM OF 10' FROM EXISTING SEWER LINE



HIGHWAY 12



SECTION A-A

NOT TO SCALE

NOTE:

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- SEE DEMOLITION PLAN, SHEET 4 OF 15
- FOOTING DETAIL PER SIGN COMPANY, SEE SHEET X OF 15
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GRADING PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA

SHEET 5 OF 18

Scale: 1"=40' Date: JANUARY 16, 2019 Job Number: 218-001
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HERITAGE PARK MONUMENT SIGN 200 SUNSET AVENUE SUISUN CITY, CALIFORNIA

Landscape Development Plans

PLANTING NOTES

1. Installing Contractor shall verify quantities and areas to be planted prior to start of job. Notify Landscape Architect of any discrepancies prior to starting work.
2. All planting areas shall be completely free of trash, debris, rocks, and construction materials larger than 2", and shall be brought to finish grade before planting begins. Finish grade shall be 2" below surface of walks, curbs, and paved areas in planting areas where bark is to be installed. Grades shall be flush at catch basins. Surfaces shall be sloped with regard to drainage requirements so that water does not puddle or stand.
3. If additional soil is required, it shall be approved leam as similar to the existing soil as possible, free of debris and noxious weeds. Prior to placing additional soil, disc or scarify the sub-grade to a depth of at least 8" to permit bonding to the sub-grade. Spread and rototill a one inch layer of new soil, then proceed to place remaining soil and establish finish grade.
4. Landscape contractor must conduct a soils test to determine amendment quantities. For bid purposes, assume the following soil preparation for all planting areas: Apply nitrified wood product amendment at a minimum rate of 6 cubic yards per 1000 sq. ft. and commercial fertilizer (16-16-16 NPK or equal) at a rate of 30 lbs per 1000 sq.ft. for shrub and ground cover areas, 20 lbs. per 1000 sq.ft. for lawn areas. Rototill to a depth of 6" to 10". Compact and settle all areas by application of heavy irrigation to a minimum depth of 12".
5. Recycled plastic header shall be installed between all lawn and shrub/ground cover areas. Install per plans and details provided.
6. All plants shall be top quality nursery stock, free of disease and insect pests. Plants shall be normal size for container, vigorous, and true to name and variety. Plant holes shall be the same depth as the root ball, and three times the width for shrubs and four times the width for trees, see details.
7. Backfill for the plant holes shall be existing soil which has been previously amended. Apply Osmocote Controlled Release Formula fertilizer (18-6-12, 4 month formula) per manufacturer's recommendations.
8. When planted, crown of plant shall be 1-1/2" above finish grade. Prepare a water basin by forming a soil ring at least 3" high and as wide around the outer edge of the new plant hole. Water thoroughly to eliminate air pockets.
9. Upon completion of planting all containerized material, rake all shrub and ground cover areas to smooth grade, leaving watering basins intact. Prior to placement of bark mulch, all shrub and ground cover areas shall be treated with a pre-emergent herbicide (Ronstar or equal) per manufacturer's directions. Contractor to verify with manufacturer that pre-emergent will not adversely affect plant health.
10. Place a 3" layer of 'Walk-On' fir bark mulch, or approved equal, in all shrub and ground cover areas. Shredded redwood 'Gorilla Hair' is not acceptable.
11. Ground cover plants shall be planted in straight rows and evenly triangularly spaced at intervals noted in plant legend. Plant each rooted plant with its proportionate amount of rooting soil in a manner that will insure minimum disturbance of the root system.
12. For trees that require staking, use two 3" diameter treated lodgepole stakes set at minimum of 12" into undisturbed subgrade below the root ball. Place ties and stakes only to the level which will hold the tree upright; proper height is 6" above the point where the tree will snap to an upright position by itself if the top is pulled to one side as if wind loaded and then released. Ties shall be cinch-tie flexible vinyl (or equal) nailed to stake with galvanized nails, see details.
13. Sod lawns: After soil preparation, carefully smooth all surfaces and roll to expose depressions and irregularities. Regrade as necessary. Lay first strip of sod slabs along a straight line. Butt joints tightly, do not overlap edges. For remaining strips, stagger joints much as laying bricks. Use a sharp knife to cut sod to fit curves, edges, sprinkler heads, etc. When a conveniently large area has been sodded, water lightly to prevent drying. After laying all sod, roll lightly to eliminate irregularities and to form good contact between sod and soil. Water thoroughly; soil should be moistened at least 8 inches deep. Repeat sprinkling at regular intervals to keep sod moist at all times until rooted. After sod is established, decrease frequency and increase amount of water per application as necessary.
14. Contractor shall furnish all labor, material, equipment, and services required to maintain the landscape in an attractive condition as specified herein for a period of 60 days after final acceptance by Owner. Maintenance Period shall commence after all planting and related work has been completed in accordance with Plans and Notes. A prime requirement is that all lawn areas shall show an even, healthy stand of grass which shall have been mown at least twice. Any materials found to be dead, missing, or in poor condition during the Maintenance Period shall be replaced within 10 days of written notification by the Owner. Contractor shall not be held responsible for damage arising from acts of God, vandalism, theft, or negligence by Owner during the Maintenance Period.

IRRIGATION NOTES

1. Installing Contractor shall verify all dimensions and areas prior to start of job. Intent is for full coverage of planting. Notify Landscape Architect of any discrepancies prior to trenching.
2. Plan is diagrammatic and not intended to show exact locations of piping and valves. Install valves and piping in landscape areas whenever possible. Install valves near curbs and sidewalks whenever possible. Sprinkler head spacings are shown accurately and shall be installed as indicated by the center of the symbol. Contractor is responsible for pipe sizing the irrigation system correctly.
3. All materials shall be new and in perfect condition. No deviations from the specifications will be allowed without prior written approval of Landscape Architect.
4. Mainline shall be SCH 40 PVC or CL315 at a minimum depth of 18" below finish grade. Lateral lines shall be SCH 40 PVC at a minimum depth of 12" below grade. Use only the solvent supplied and recommended by the pipe manufacturer to make plastic pipe joints. Allow 15 minutes set-up curing time before moving or handling, and 24 hour curing time before water is placed in PVC pipe. Center load pipe with a small amount of backfill to prevent arching and whipping under pressure.
5. Where more than one pipe is installed in a trench, place pipe side by side at a minimum of 2" apart. Where soil conditions are rocky place a 4" layer of fine material on bottom of trench prior to installation of pipe.
6. All valves shall be installed in Carson poly-plastic valve boxes with flush covers, or approved equal. Remote control valves shall be installed in Carson 1419 12" depth standard rectangular valve boxes; Drip zone remote control valves with filters and PRVs shall be installed in Carson 1220 12" depth jumbo rectangular valve boxes; Ball valves shall be installed in Carson 0011 10" diameter round valve boxes. Top of valve boxes shall be 1" above finish grade.
7. Install pop-up shrub heads and lawn spray heads 2" from curbs and walks.
8. At valves, both wires shall be brought into valve box and shall have an excess loop of 24" before being spliced into the solenoid pigtailis using Pentite connectors.
9. After valves have been installed, test all mainlines for leaks at full line pressure for a period of 2 hours with couplings exposed and pipe sections center loaded. Before testing, fill line with water for at least 24 hours. Provisions shall be made for thoroughly bleeding the line of air and debris. Correct all defects and retest.
10. All excavations shall be backfilled with fine material to 4" above crown of pipe and tamped; then fill with earth and tamp. All trenches shall be left flush with adjoining grade and in a firm unyielding condition. Any subsequent settling shall be corrected by the Contractor.
11. Install systems without spray nozzles, drip emitters or rotor heads. Flush and operate each valve system at full pressure until all debris is removed. Install spray nozzles, drip emitters and rotor heads.
12. Test to determine that all sprinklers function according to manufacturer's data and give full coverage according to intent of drawing. Replace and adjust as necessary. Additional heads shall be provided by the Contractor to cover areas shown to be deficient by test.
13. Contractor shall set initial program for the controller. Contractor shall provide Owner with the instruction manual and demonstrate its operation to the Owner.
14. Contractor shall guarantee all parts and labor for one year with exception of damage caused by vandalism, theft, adverse natural conditions, or anything beyond the control of the Contractor.

GENERAL NOTES

1. Landscape areas not covered with live material shall be covered with a 3" 'Walk-On' fir bark mulch layer.
2. Adjust location of plant material to avoid interference with building numbers and addresses at mature height.
3. Provide a minimum three foot clearance around all fire protection equipment and associated landscape apparatus.
4. Landscaping shall be placed and pruned as to retain the required clearance for ladder access to windows around the building and to not interfere at maturity with 13'-6" emergency vehicle access clearance.
5. Turf slopes cannot exceed 4:1.
6. Maintain a minimum distance of 18" between edge of lawn and trunk of tree(s).
7. Landscape contractor shall provide protection for all concrete surfaces when installing landscape materials. Staining of concrete from dirt, tire marks and damaged curbs will not be permitted. All damaged surfaces shall be cleaned or replaced.
8. Landscape contractor shall coordinate and install the sleeving and stubbing for irrigation crossing parking lots and paved areas.
9. Landscape contractor shall grade all landscape areas 2% min. to drain to the street. Landscape contractor is responsible to provide positive drainage away from all buildings. All planters and planter islands should be crowned to prevent standing water.
10. Root barriers are required in all locations where trees are placed closer than 48" from curbs, sidewalks, concrete or asphalt refer to detail for specification and installation.
11. Quantities found in the plant legend are for contractor convenience. In the event that the quantities in the legend differ from those found on the plans, the quantities found on the plans will take precedence.
12. Contractor to hand dig only under existing tree canopies, no mechanical excavation will be allowed; do not cut any roots 2" or larger in diameter, if it is necessary to prune roots 2" in diameter or larger, contractor shall hire the services of a licensed arborist to supervise and direct the work, follow all recommendations of the arborist.

DRAWING INDEX

- L-0.1 - COVER SHEET
- L-1.1 - IRRIGATION PLAN
- L-2.1 - PLANTING PLAN
- L-2.2 - EXISTING PLANTING PLAN
- L-3.1 - IRRIGATION DETAILS
- L-3.2 - PLANTING DETAILS AND WATER CALCULATIONS

HERITAGE PARK MONUMENT SIGN LANDSCAPE DEVELOPMENT PLANS 200 SUNSET AVENUE SUISUN CITY, CALIFORNIA



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Sheet Title: COVER SHEET



No. _____ Title Revision
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Project Name: JMA
 Drawn By: CJM
 Scale:
 Date: 15 JAN 19
 File Name: HP-CV 6 of 18 sheets
L-0.1



YAMASAKI
LANDSCAPE ARCHITECTURE

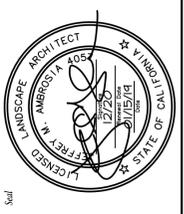
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Sheet Title: **IRRIGATION PLAN**



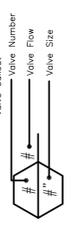
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Project No.: JMA
Drawn by: CJM
Scale: 1"=10'
Date: 15 JAN 19
File Name: HP-IR 7 of 18 sheets

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
⊕ 200	Hunter MP800SR PRO5-06-PRS40-CV Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body, AD=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	40
⊕	Hunter ICZ-101-25 Drip Control Zone Kit, 1" ICV Globe Valve with 1" HY100 Filter system, Pressure Regulation: 25psi, Flow Range: 2 GPM to 20 GPM, 150 mesh stainless steel screen.	
⊕	Netafim TLFV-1 Automatic Flush Valve, with insert inlet	
⊕	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.	
▨	Area to Receive Dripline Netafim TLCV-06-18 Techline Pressure Compensating Landscape Dripline with Check Valve, 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern, 17mm.	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊕	Existing Remote Control Valve
⊕	TSM Doubler Follow manufacturer's instructions for installation.
---	Irrigation Lateral Line: PVC Schedule 40
---	Irrigation Mainline: PVC Schedule 40
---	Pipe Sleeve: PVC Schedule 40



VALVE SCHEDULE

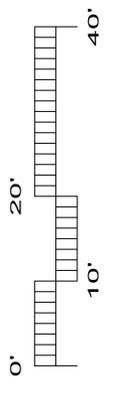
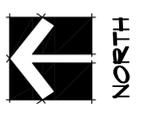
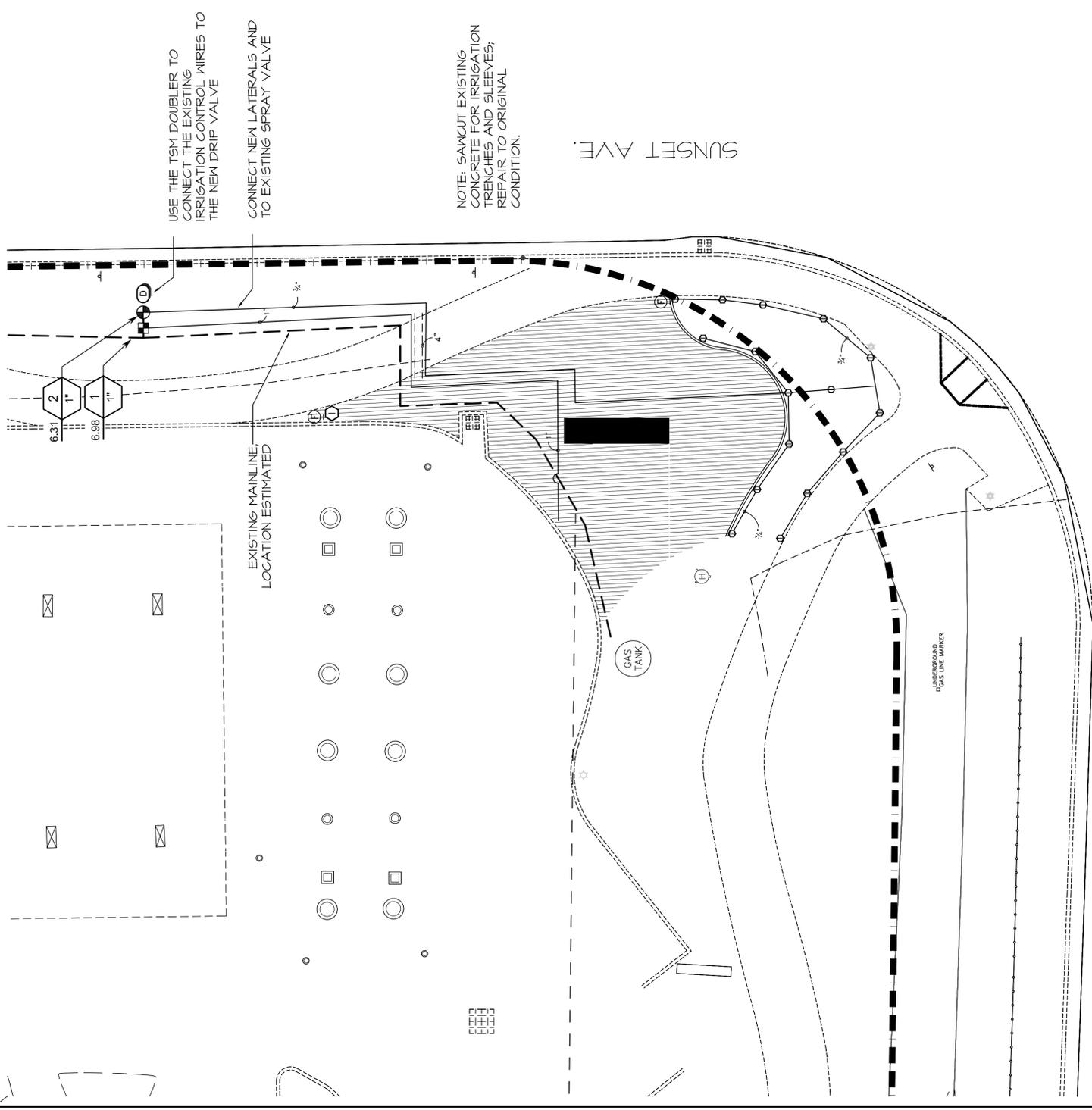
NUMBER	MODEL	SIZE	TYPE	AREA FOR DRIPLINE	GPM
1	Hunter ICZ-101-25	1"	Area for Dripline	6.98	6.31
2	Existing Remote Control Valve	1"	Turf Rotary		6.31

NOTES

Remove existing irrigation heads, rotors, and laterals.

Irrigation design is based on a maximum demand of 8 GPM with a minimum operating pressure of 55 PSI. Irrigation design was conducted before the exact pressure was determined. Landscape Contractor shall test and verify pressure and flow prior to starting job and notify Landscape Architect immediately if water and pressure flows do not meet these minimum requirements. If available pressure does not meet the minimum operating pressure of 55 PSI, Landscape Contractor shall contact Landscape Architect for irrigation redesign.

Irrigation plan is diagrammatic; install valves and irrigation lines in planters whenever possible.





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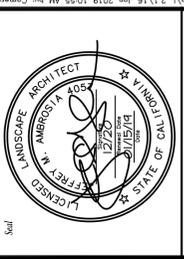
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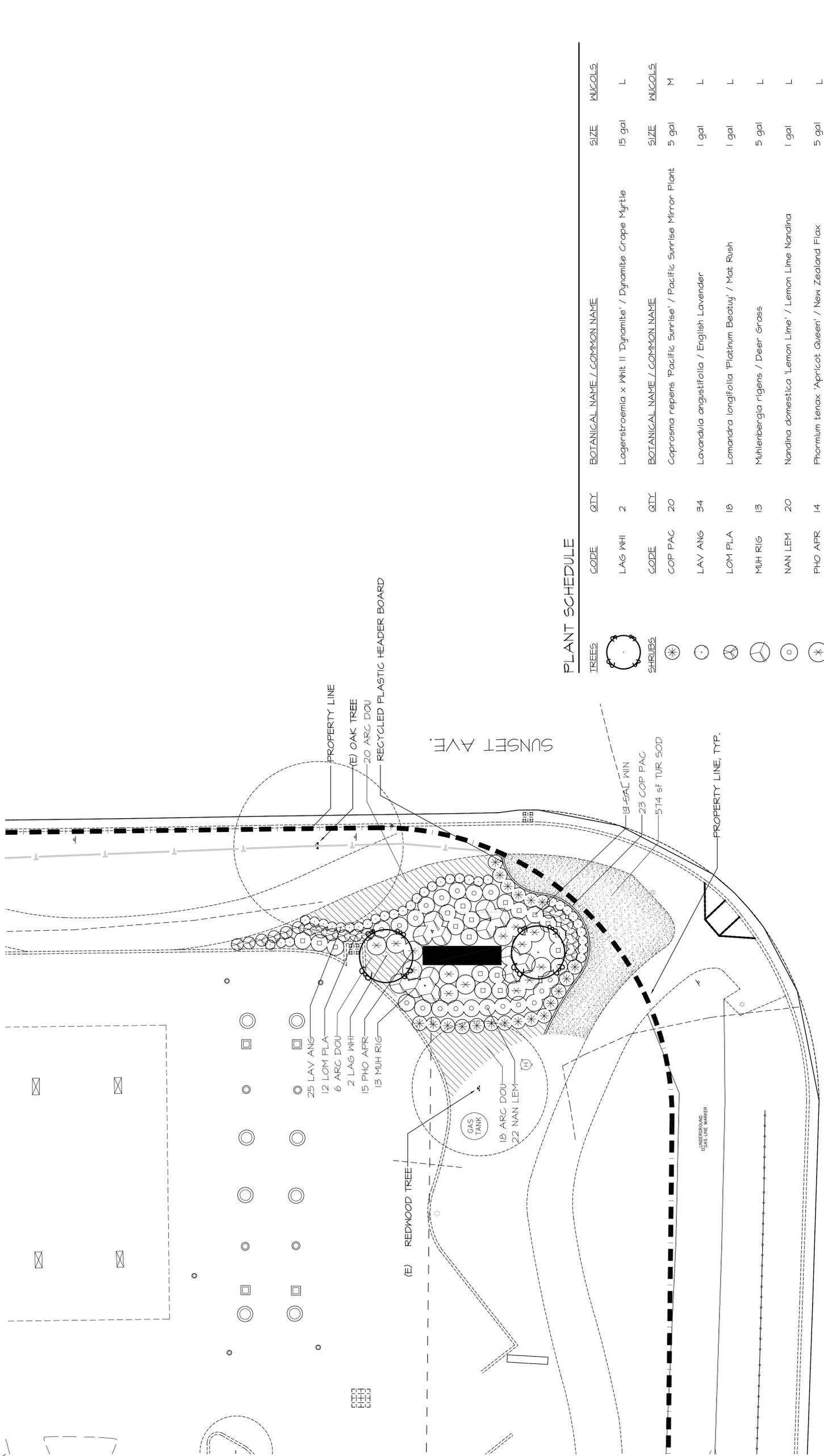
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Sheet Title:
PLANTING PLAN



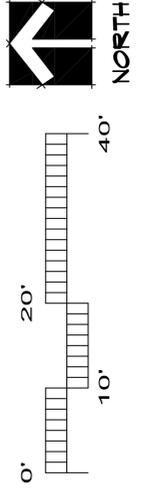
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Drawing: CJM
Scale: 1"=10'
Date: 15 JAN 19
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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	MISC.
	LAG WHI	2	Lagerstroemia x White II 'Dynamite' / Dynamite Crape Myrtle	15 gal	L
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	MISC.
	COP PAC	20	Coprosma repens 'Pacific Sunrise' / Pacific Sunrise Mirror Plant	5 gal	M
	LAV ANG	34	Lavandula angustifolia / English Lavender	1 gal	L
	LOM PLA	18	Lomandra longifolia 'Platinum Beauty' / Mat Rush	1 gal	L
	MUH RIG	13	Muhlenbergia rigens / Deer Grass	5 gal	L
	NAN LEM	20	Nandina domestica 'Lemon Lime' / Lemon Lime Nandina	1 gal	L
	PHO APR	14	Phormium tenax 'Apricot Queen' / New Zealand Flax	5 gal	L
	SAL MIN	18	Salvia clevelandii 'Minifred Gillman' / Cleveland Sage	5 gal	L
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	MISC.
	ARC DOU	44	Arctostaphylos x 'John Dourley' / John Dourley Manzanita	1 gal	36" o.c. L
SOD	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	MISC.
	TUR SOD	574 sf	Turf Sod Bolero Plus TM / Available From Delta Blue Grass Co.	sod	H



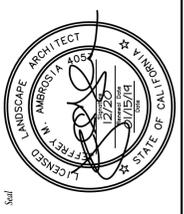


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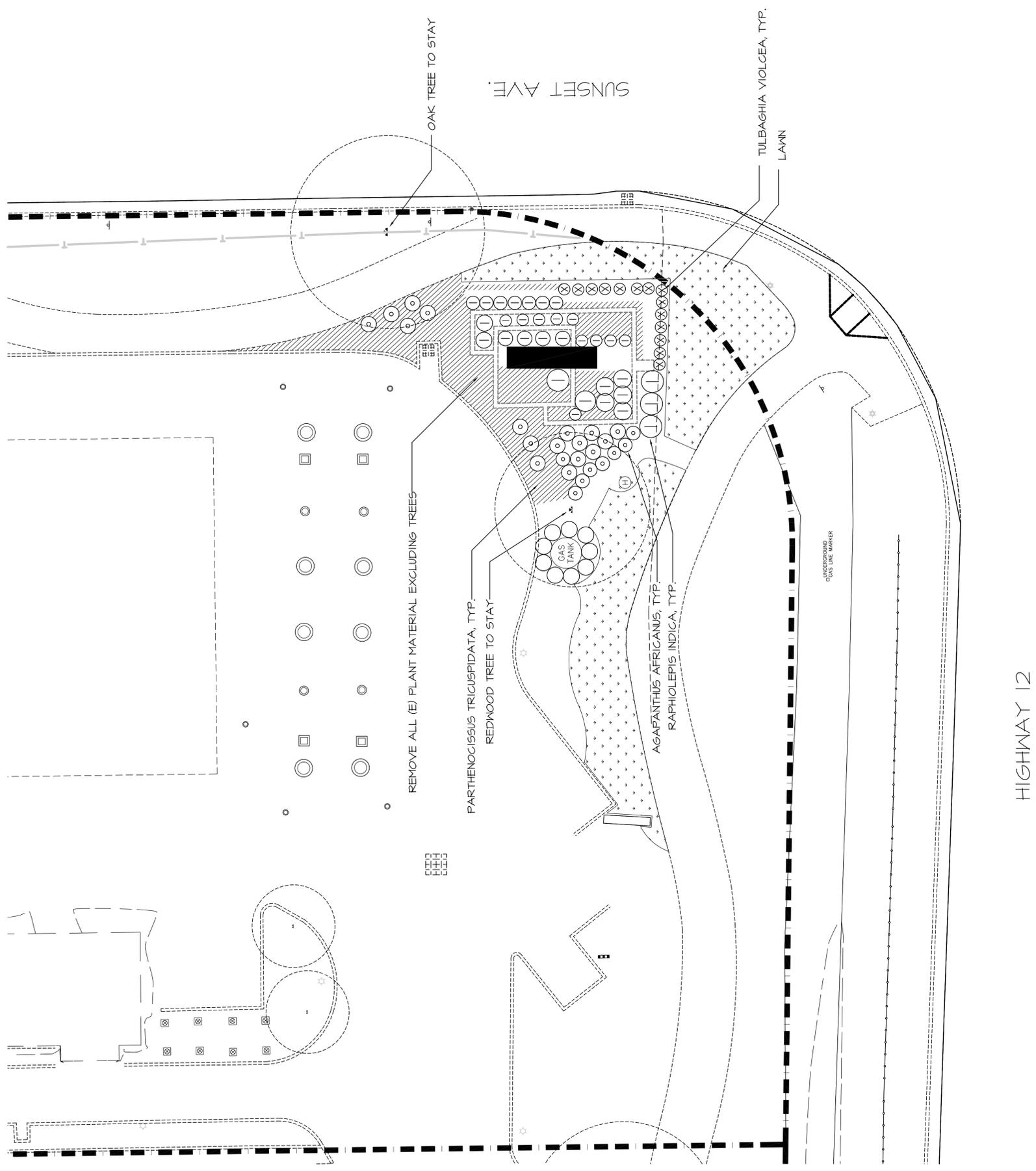
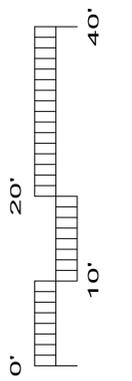
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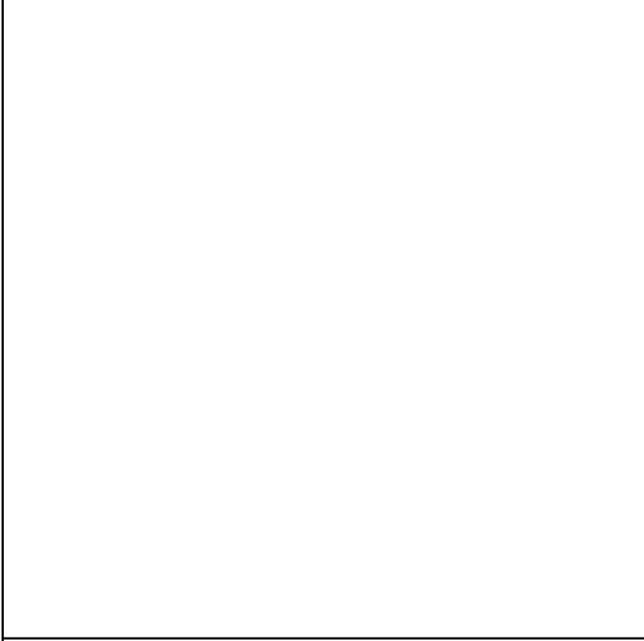
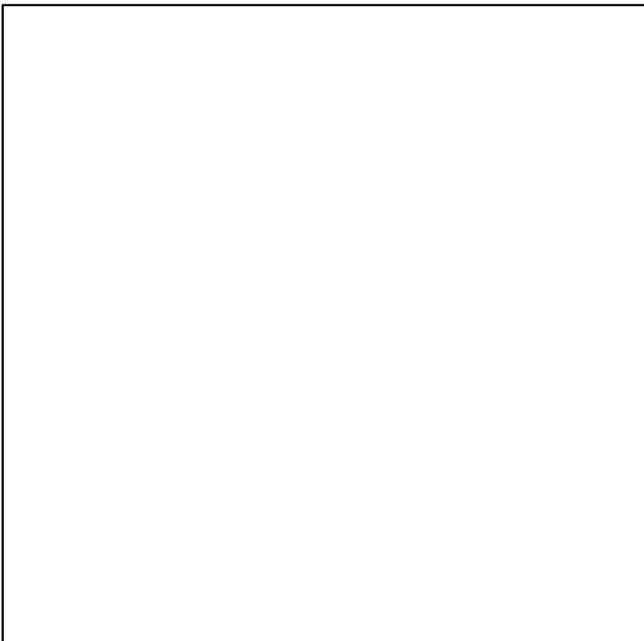
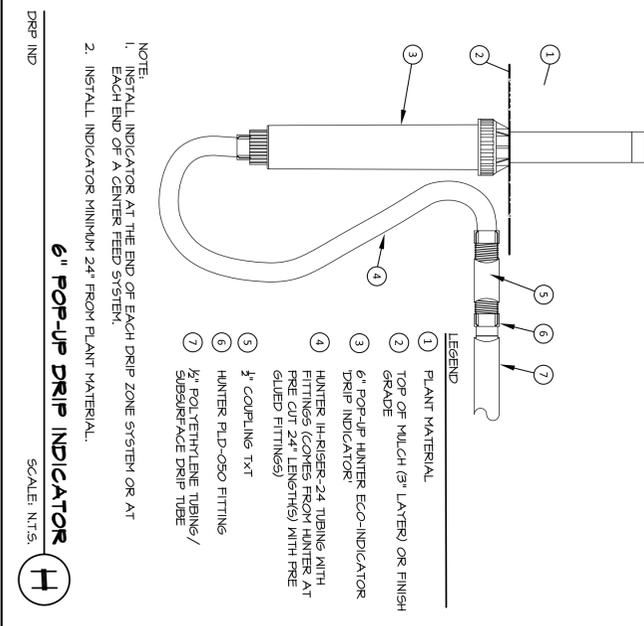
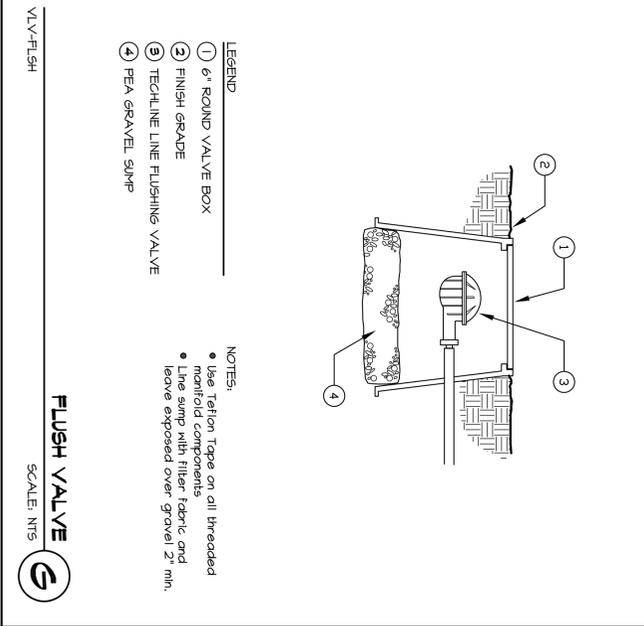
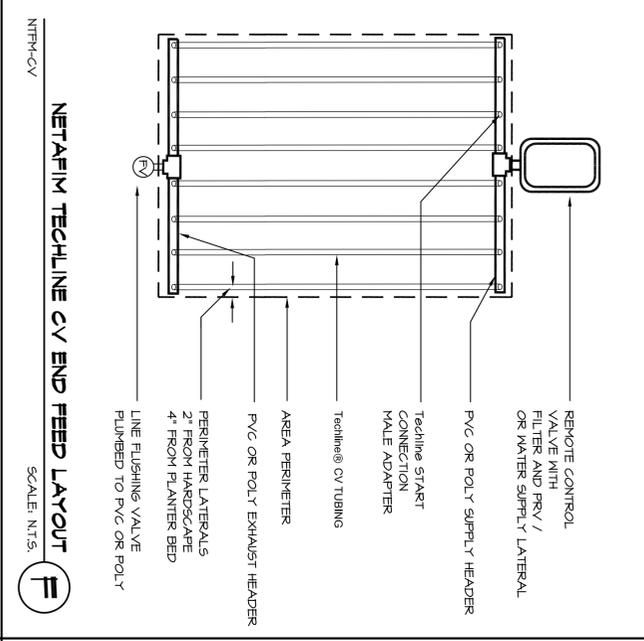
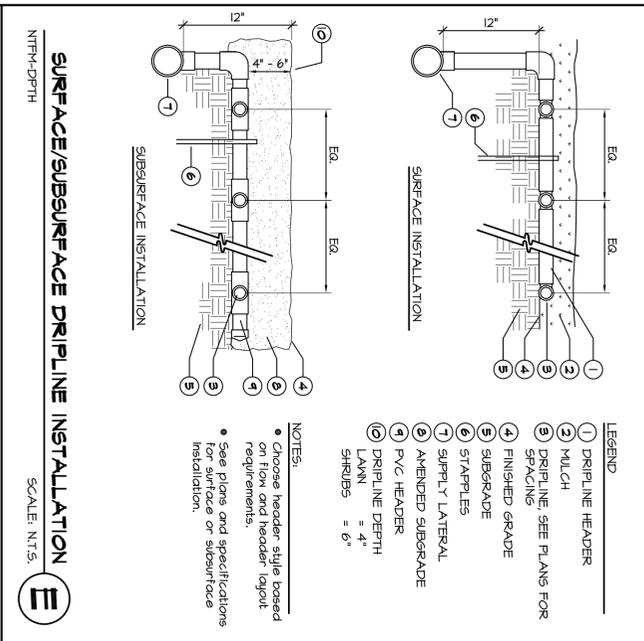
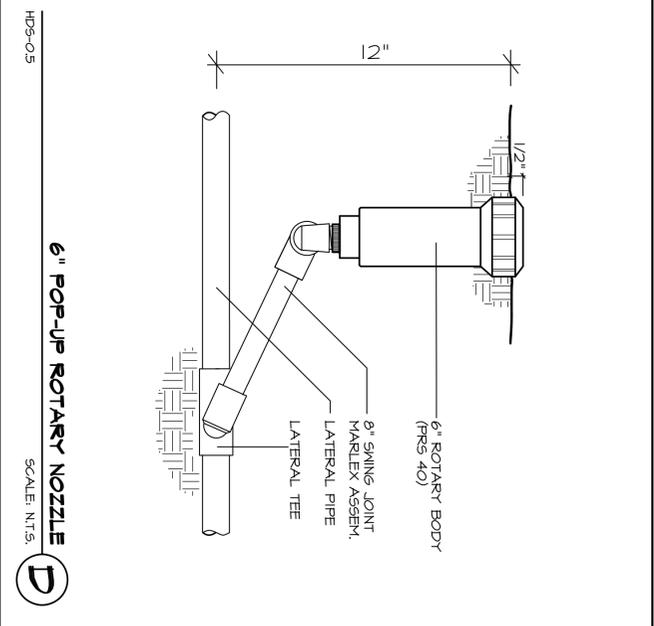
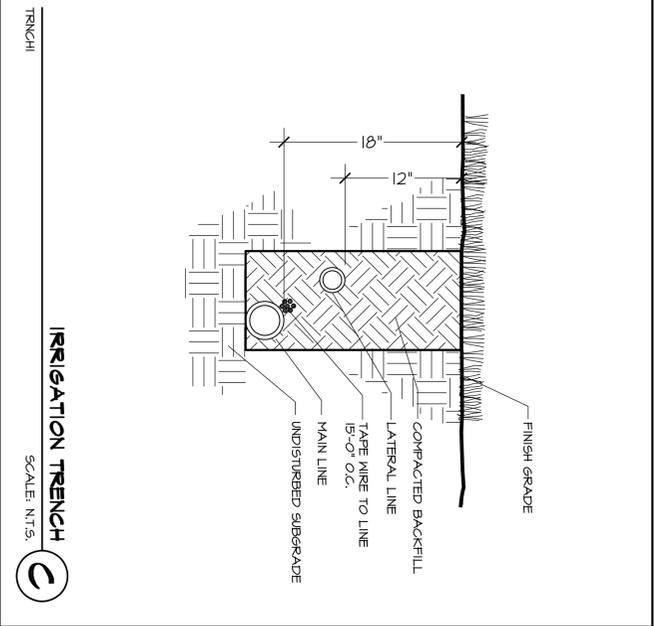
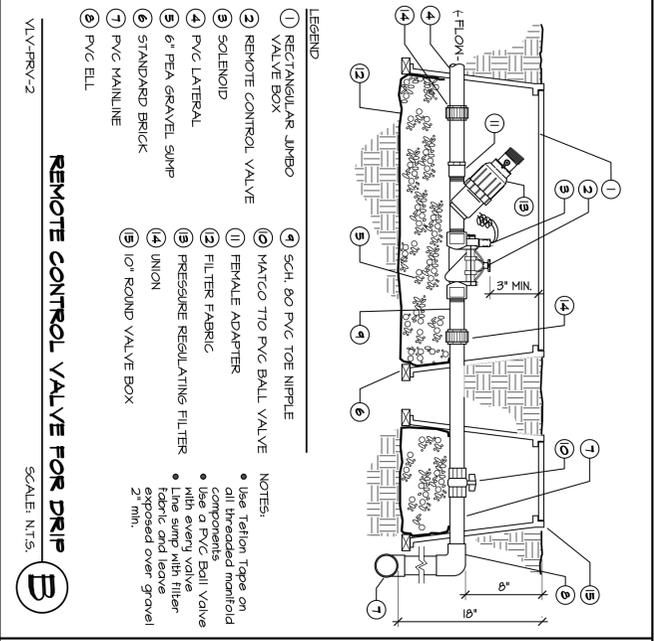
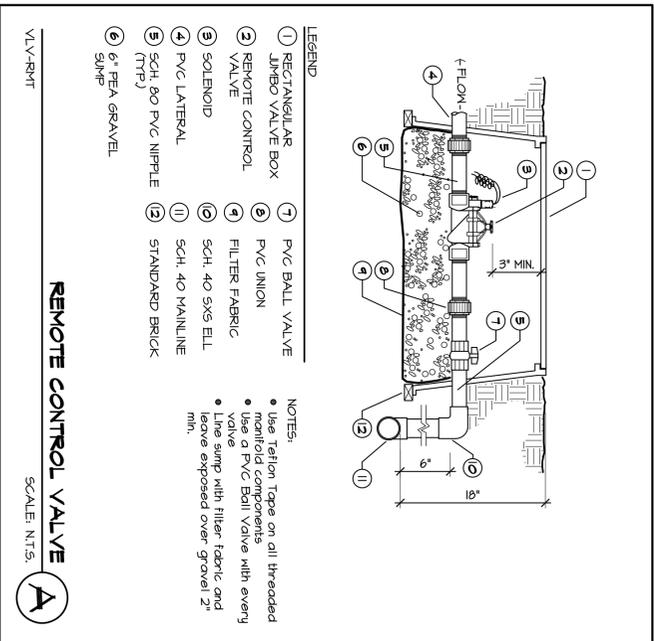
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File Name: HPP-EXIST 9 of 18 sheets





Sleeving Schedule

ALL PIPE SLEEVES TO BE SCHEDULE 40 PVC. ALL PLASTIC LINES SHALL BE INSTALLED IN SLEEVES UNDER PAVED AREAS. SLEEVES SHALL EXTEND AT LEAST 12 INCHES BEYOND THE EDGES OF THE PAVEMENT. SIZE OF SLEEVES SHALL BE AS FOLLOWS:

PIPE OR WIRE SIZE REQUIRED SLEEVE

3/4"	1-1/8"	1-1/4"	1-1/2"	1-3/4"	2"
1 INCH	1-1/4"	1-1/2"	1-3/4"	2"	2-1/4"
1-1/4"	1-3/4"	2"	2-1/4"	2-3/4"	3"
1-1/2"	2"	2-1/4"	2-3/4"	3"	3-1/4"
2 INCHES	2-1/4"	2-3/4"	3"	3-1/4"	3-3/4"
2-1/2"	2-3/4"	3"	3-1/4"	3-3/4"	4"
3 INCHES	3"	3-1/4"	3-3/4"	4"	4-1/4"
4 INCHES	4"	4-1/4"	4-3/4"	5"	5-1/4"
6 INCHES	6"	6-1/4"	6-3/4"	7"	7-1/4"

Pipe Sizing Schedule

PIPE SIZE	CL 200 (GPM)	CL 315 (GPM)	SCH 40 (GPM)
3/4"	6-10	7-9	5-8
1 INCH	11-16	11-14	9-13
1-1/4"	17-26	15-24	14-23
1-1/2"	21-35	25-33	24-32
2 INCHES	36-55	34-44	33-53
2-1/2"	56-83	50-74	54-74
3 INCHES	84-125	75-104	75-116
4 INCHES	126-200	110-160	117-200
6 INCHES	200-425	180-375	200-450

1. ALL LATERAL PIPE LARGER THAN 1/2" TO BE MINIMUM CLASS 200.
2. ALL MAINLINE PIPE 3/4" - 1 1/2" SHALL BE SCH 40.
ALL MAINLINE PIPE 2" - 4" SHALL BE CLASS 315.
ALL MAINLINE PIPE 6" AND GREATER SHALL BE CLASS 200.

HERITAGE PARK MONUMENT SIGN LANDSCAPE DEVELOPMENT PLANS

200 SUNSET AVENUE
SUISUN CITY, CALIFORNIA

YAMASAKI
LANDSCAPE ARCHITECTURE

JEFF AMBROSIA, ASLA C4057

1223 HIGH STREET
AUBURN, CALIFORNIA 95603
FAX (530) 885-0042
www.yamasaki-la.com

IRRIGATION DETAILS

Scale: 1/8" = 1'-0"

Sheet No. _____ of _____

Project No. JMA

Drawn By: CIM

Scale: SEE DRAWING

Date: 15 JAN 19

File Name: HP-INDT 10 of 18



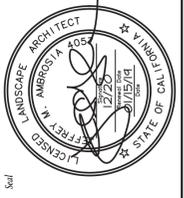
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www.yamasaki-la.com

HERITAGE PARK MONUMENT SIGN LANDSCAPE DEVELOPMENT PLANS 200 SUNSET AVENUE SUISUN CITY, CALIFORNIA

Sheet Title: **PLANTING DETAILS & WATER CALCULATIONS**



No. _____ Date _____ Revision _____

Project No.: JMA
Drawing: CJM
Scale: SEE DRAWING
Date: 15 JAN 19
File Name: HP-PLDT II of 18 sheets



Water Efficient Landscape Worksheet
Section A: Hydrozone Information Sheet

Irrigation Division
Irrigation Auditor Services (CIA)
LEED Certified Landscape Design
AB1881 Compliance Documentation

Hydro-zone	Zone or Valve #	Irrigation Method	Area (Sq. Ft.)	% of Landscape Area
L	1	Drip	1,639	77%
H	2	Rotor	503	23%
	3			0%
	4			0%
	5			0%
	6			0%
	7			0%
	8			0%
	9			0%
	10			0%
	11			0%
	12			0%
	13			0%
	14			0%
	15			0%
	16			0%
	17			0%
	18			0%
	19			0%
	20			0%
	21			0%
	22			0%
	23			0%
	24			0%
	25			0%
	26			0%
Total Bubbler Area				0
Total Area (Sq. Ft.)				2,142
				100%

Bubbler Area is deducted from Drip Area



PROJECT INFORMATION

Project Name: Heritage Park Shopping Center Date: 11/26/2018

Project Contact: Yamasaki Landscape Architecture
1223 High Street, Auburn, CA 95603
(530) 885-0040
Contact: Jeff Ambrosia
Owner: Michelle Simmons
ProEquity Asset Management Corporation
(916) 877-7878
200 Sunset Ave.
Suisun City, CA

Local Water Purveyor: City of Suisun City
Water Supply: Potable Water

Project Type: New Public Project

Total Landscape Area: 2,142 s.f.
Maximum Applied Water Allowance: 27,012 gallons
Estimated Total Water Use: 26,377 gallons

Document Check List:

- Project Information
- Water Efficient Landscape Worksheet
- Soil Management Report
- Landscape Design Plan
- Irrigation Design Plan
- Grading Design Plan

Applicant Signature: _____ Date: 11/26/2018

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."

Water Efficient Landscape Worksheet
Section B: Water Budget Calculation

Maximum Applied Water Allowance (MAWA)

Project Eto City: Suisun City

MAWA = (Eto) (0.62) [(0.45 x LA) + (0.55 x SLA)]

Insert: 45.2
2,142
0

Where:
MAWA = Maximum Applied Water Allowance (gallons per year)
Eto = Reference Evapotranspiration (inches per year)
0.45 = ET Adjustment Factor (ETAF) (AB 1881 Dec 1, 2015)
LA = Landscape Area (includes Special Landscape Area) (Sq. Ft.)
0.62 = Conversion Factor (to gallons per Sq. Ft.)
SLA = Special Landscape Area (Sq. Ft.)
0.55 = The additional ET Adjustment Factor for SLA (1.0-0.45=0.55)

MAWA = 45.2 (0.62) [(0.45 x 2,142) + (0.55 x 0)] = 27,012 Gal. / Yr

Maximum Applied Water Allowance: 27,012 Gal. / Yr

Effective Precipitation (Eppt)

If considering Effective Precipitation, use 25% of Annual precipitation.

MAWA = (Eto - Eppt) (0.62) [(0.45 x LA) + (0.55 x SLA)]

Annual Precip: 0 (x 0.25)

Eppt: 0

MAWA = 45.2 (0.62) [(0.45 x 2,142) + (0.55 x 0)] = 27,012 Gal. / Yr

Maximum Applied Water Allowance: 27,012 Gal. / Yr



Water Efficient Landscape Worksheet
Section B: Water Budget Calculation

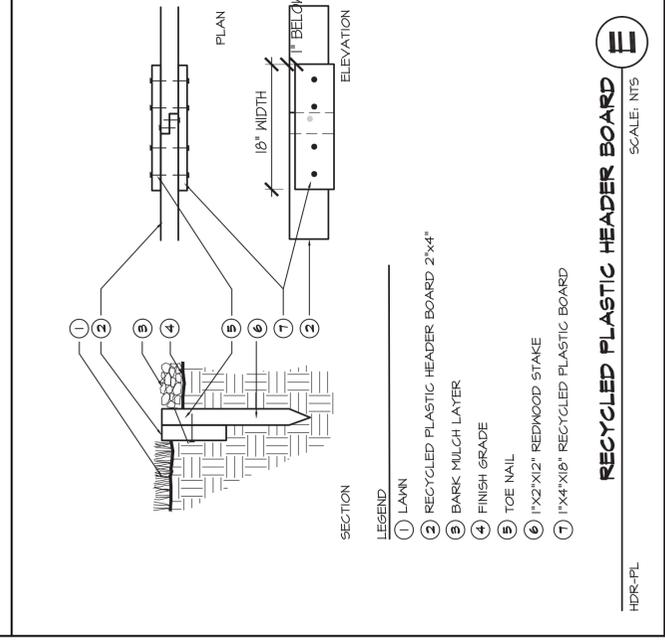
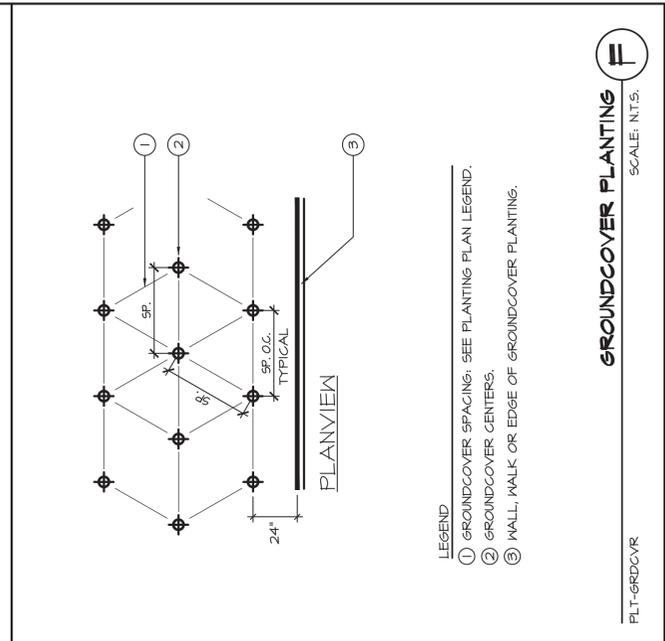
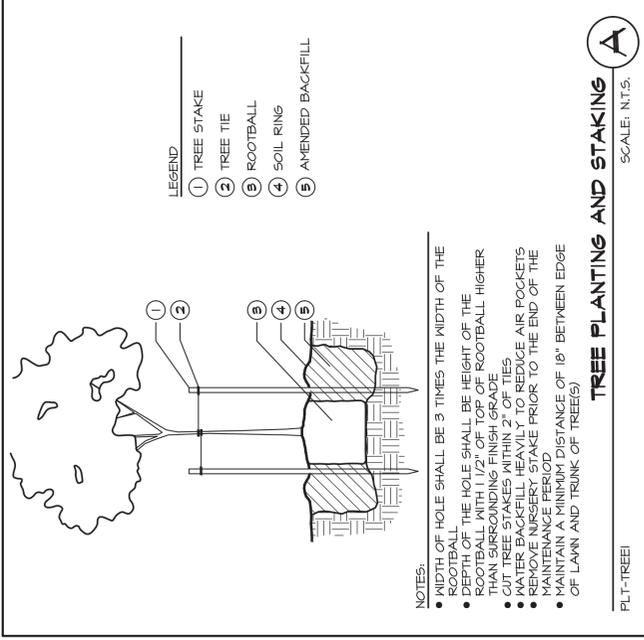
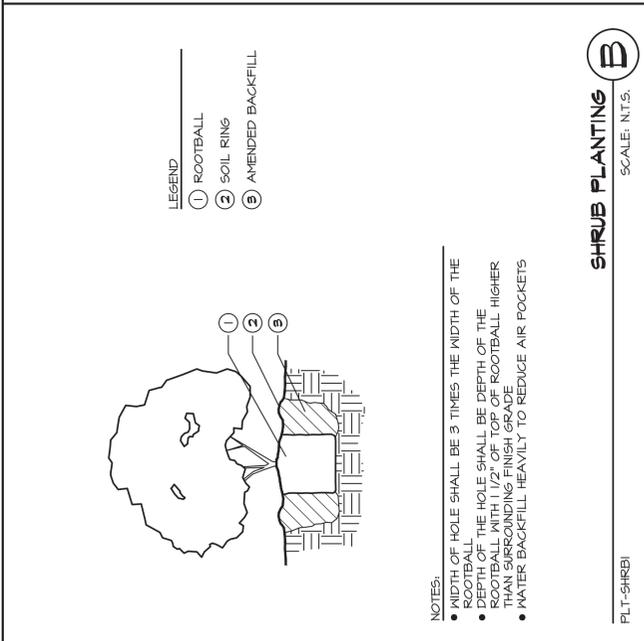
Irrigation Division
Irrigation Auditor Services (CIA)
LEED Certified Landscape Design
AB1881 Compliance Documentation

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	IE	ETAF (PP/IE)	Area (HA) (Sq. Ft.)	ETAF x Area	Estimated Total Water Use
1	Low (L)	0.2	0.81	0.25	1,639	405	11,341
2	High (H)	0.8	0.75	1.07	503	537	15,036
3							0
4							0
5							0
6							0
7							0
8							0
9							0
10							0
11							0
12							0
13							0
14							0
15							0
16							0
Total					2,142	941	26,377

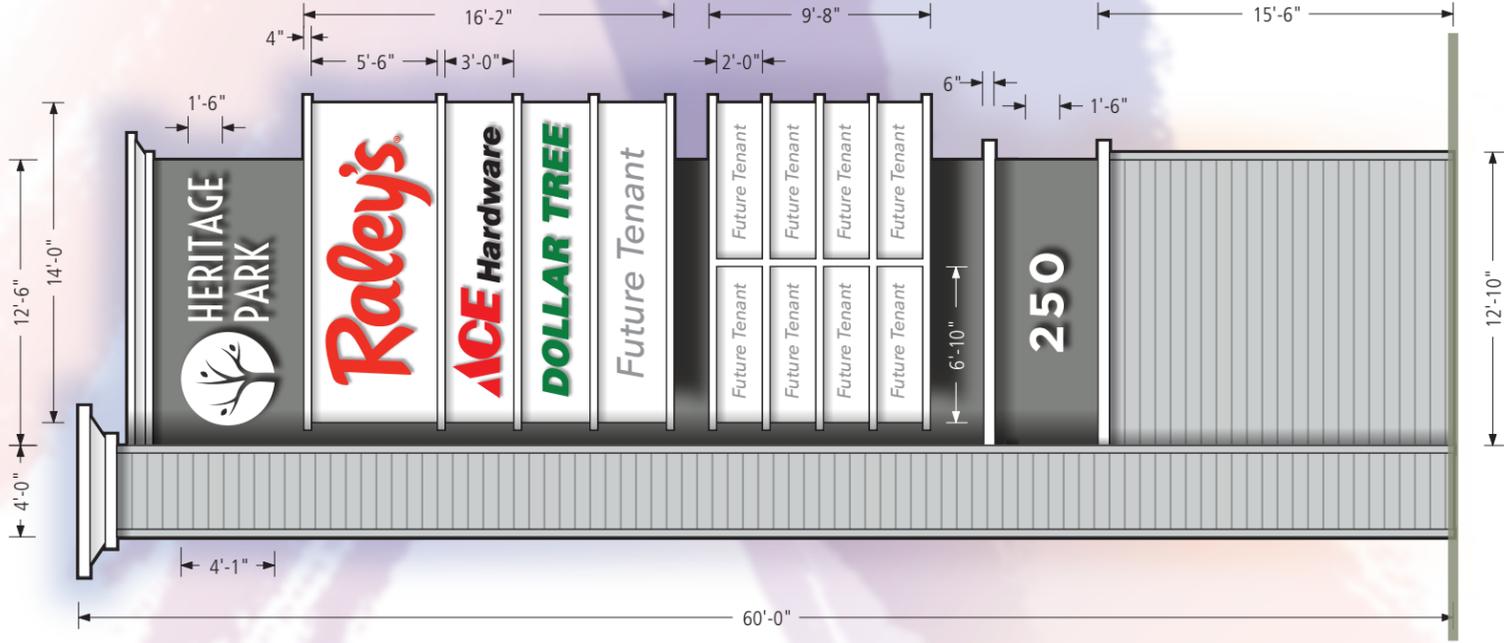
Special Landscape Areas

Regular Landscape ETWU: 0.00
Average ETAF: 0.00
SLA ETWU: 0.00
Stewide ETAF: 0.00

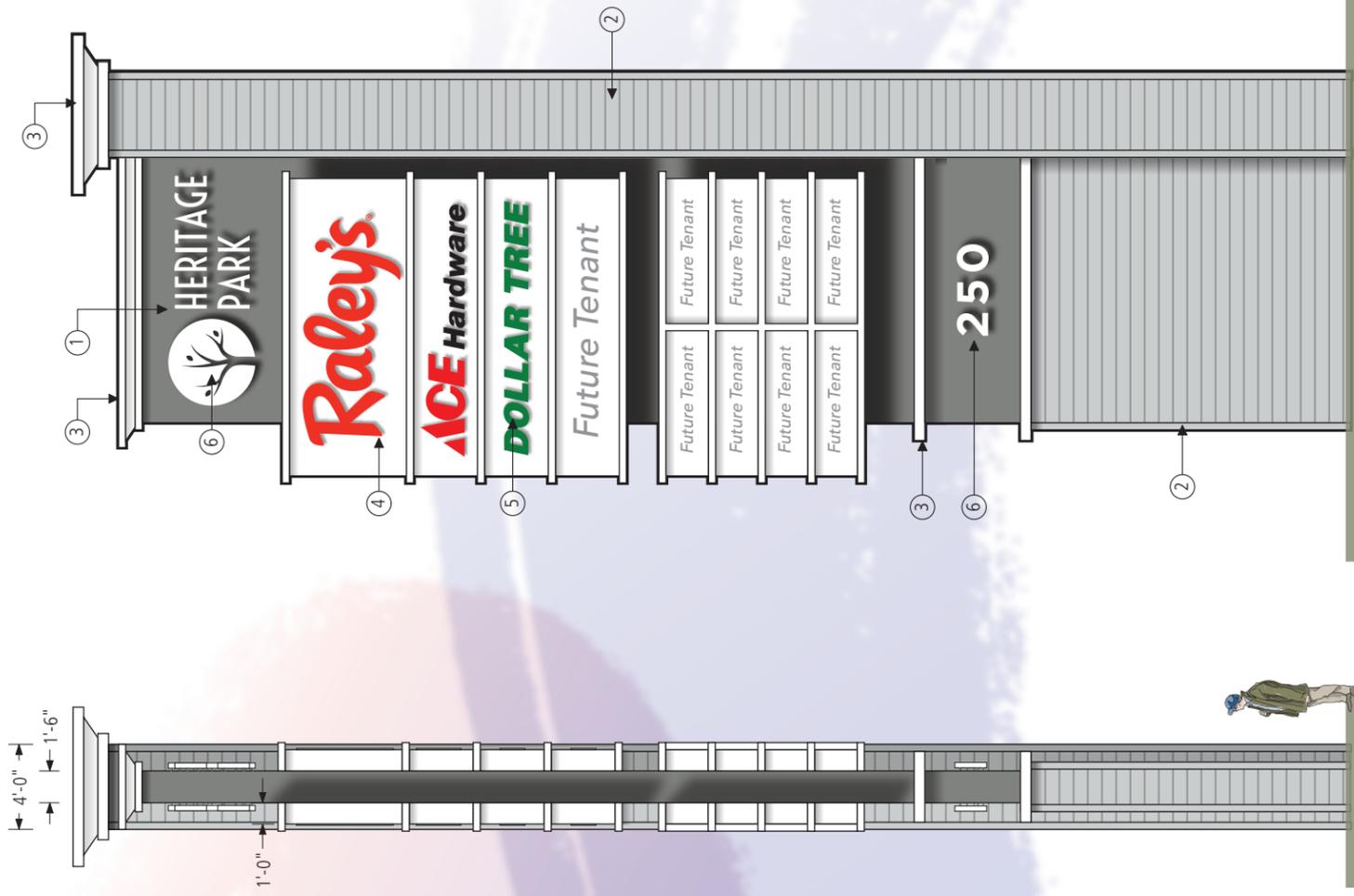
Estimated Total Water Use: 26,377



Freestanding Sign | D/F Shared Tenant Pylon Sign



A D/F Multi-Tenant Pylon Sign (Side 1)
Scale 1/8" = 1'-0"



A End View (Street Side)
Scale 1/8" = 1'-0"

A D/F Multi-Tenant Pylon Sign (Side 2)
Scale 1/8" = 1'-0"

Material Schedule

- ① **Recessed Fin Background**
Fin to be fabricated aluminum construction with texcote finish. Faces and returns to be painted to match Sherwin Williams SW 7067 Cityscape.
- ② **Pole Cover and Base**
Fabricated frame structure to be skinned with James Hardie Hardie Plank cement fiber board siding with corner rails painted to match Sherwin Williams SW 7662 Evening Shadow.
- ③ **Cornices and Tenant Panel Dividers**
Fabricated aluminum construction with light texcote (sand) finish. All exposed surfaces to be painted White.
- ④ **Tenant Cabinet / Panel Faces**
Cabinet to be fabricated aluminum construction. Tenant faces to be routed out aluminum (for tenant graphics) with a light texcote (sand) finish. Tenant panel faces and returns to be painted White. Cabinet to be internally illuminated with H.O. fluorescent lamps as req d.
- ⑤ **Tenant Panel Graphics**
All graphics to be push-thru clear acrylic with 3M White Diffuser film applied to face. 3M colored vinyl film to be applied over diffuser as per tenant's color specifications. Raley's logo to be 3M 3630-143 Red vinyl film overlay to match PMS 485C.
- ⑥ **Shopping Center Identity / Address**
Shopping center graphics to be fabricated aluminum, reverse pan channel halo illuminated construction. Faces and returns to be painted White, satin finish. Backs to be clear Lexan with White diffuser film. Letters to be internally illuminated with White L.E.D. modules. Letter sign cabinets and graphic rule to be pegged off of recessed fin background surface with 1-1/2" tube spacer standoffs.

UL Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. L.E.D. Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

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PACIFIC NEON

2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **17-0093-05**

Account Executive: **Ralph Cundiff**

Project:
Heritage Park Shopping Center

Address:
**250 Sunset Ave.
Suisun City, CA**

Drawn By: **William Dickson**
Date: **3.30.17**
Revision: **11.26.18
11.30.18
12.18.18
1.15.19**

Customer Approval:

Sheet No. **12**



D/F Multi-Tenant Pylon Sign - East Elevation



D/F Multi-Tenant Pylon Sign - West Elevation



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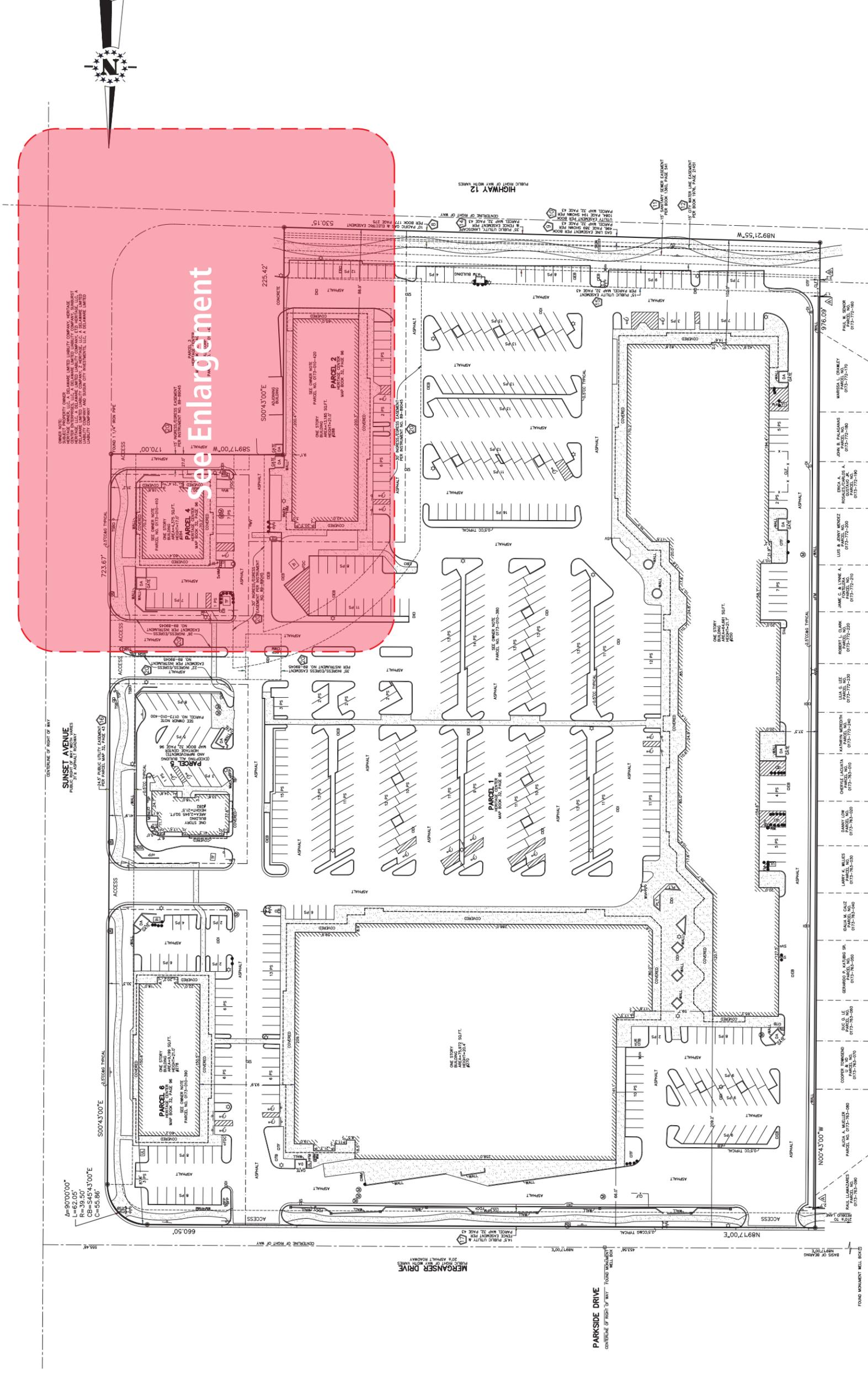
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Sheet No.

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 Revision: **11.26.18**

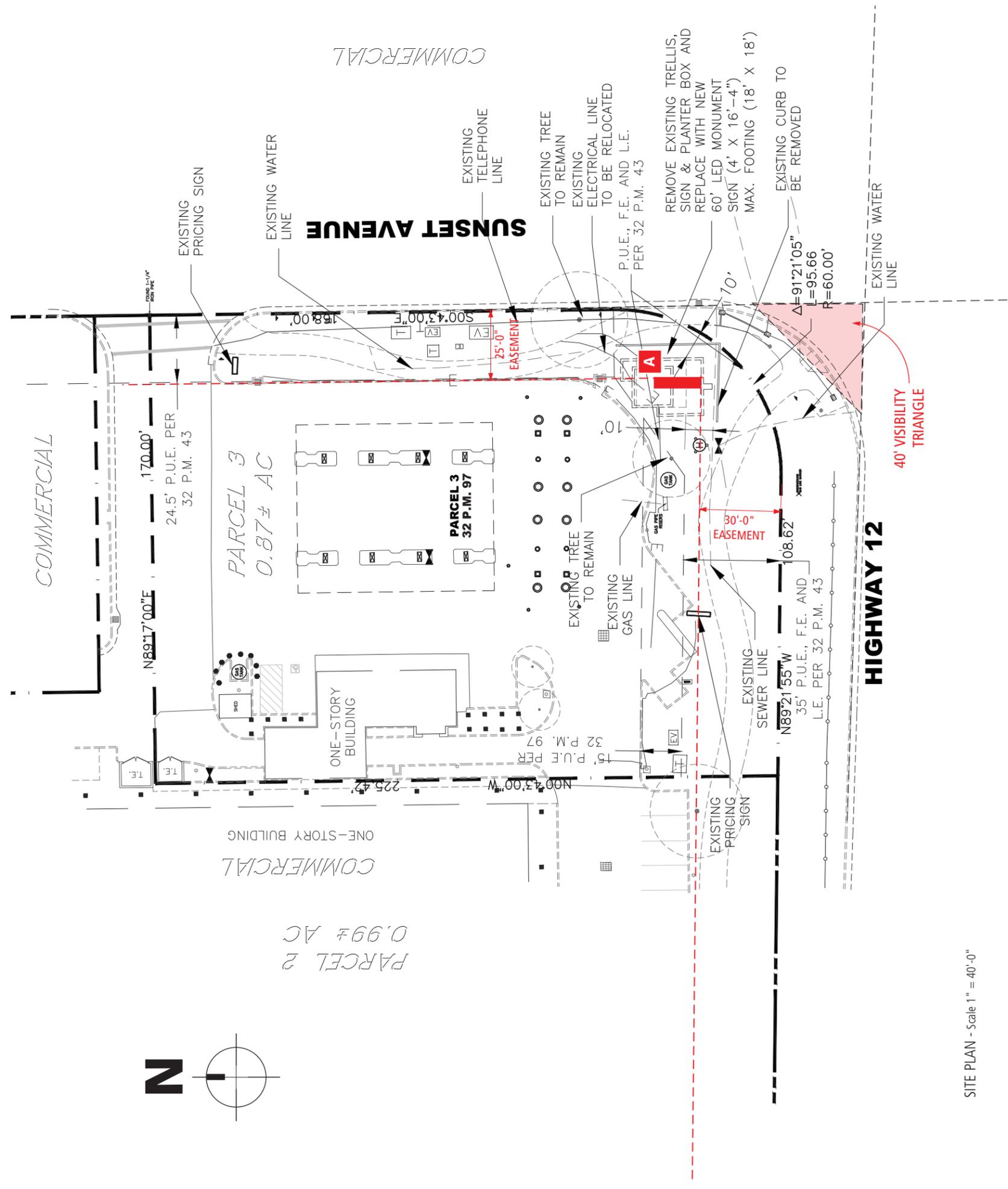
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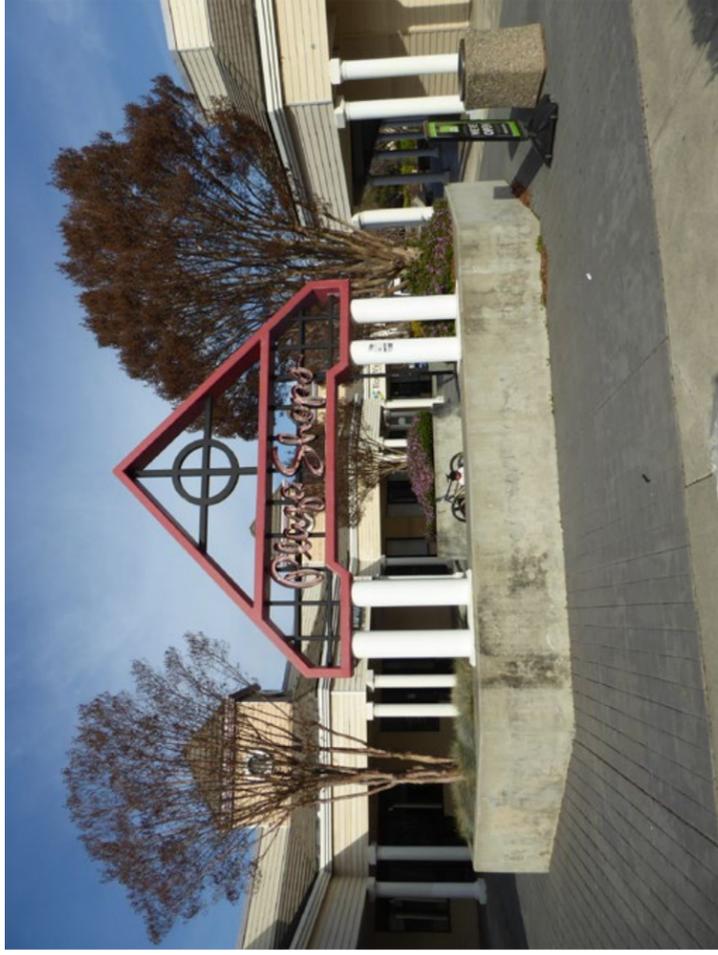
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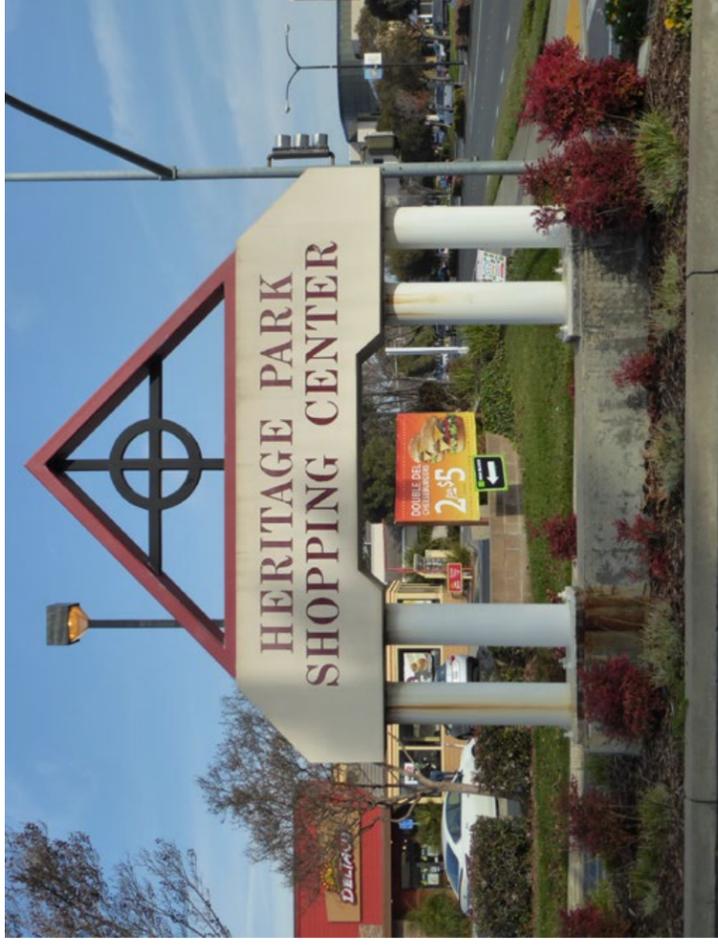
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SITE PLAN - Scale 1" = 40'-0"



1 Plaza Shops Sign - 8'-0" h x 14'-0" w O.A.



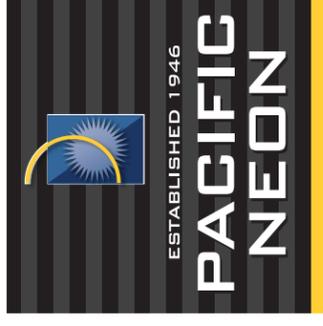
2 Shopping Center Entry Sign (Sunset Ave.) - 13'-6" h x 12'-6" w O.A.



3 Flyers Price Point Sign (Sunset Ave.) - 5'-5" h x 8'-1" w



4 Del Taco Sign (Sunset Ave.) - 3'-0" h x 8'-0" w



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Project:
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Date: **3.30.17**
Revision: **11.26.18
1.15.19**

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5 Flyers Price Point Sign (Hwy12) - 5'-5" h x 8'-1" w



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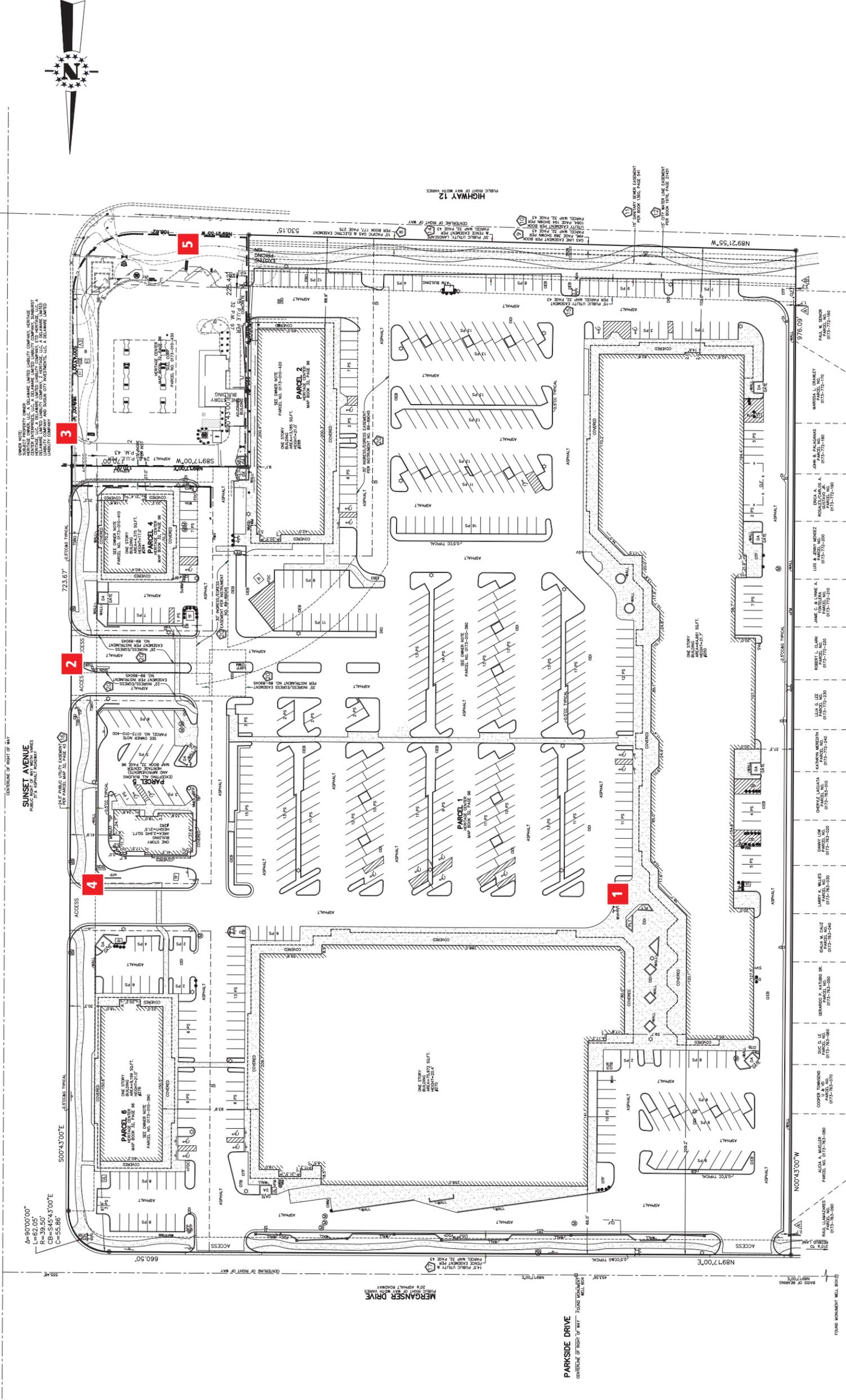
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Project No: **17-0093-06**

Account Executive: **Ralph Cundiff**

Project:
**Heritage Park
 Shopping Center**

Address:
 250 Sunset Ave.
 Suisun City, CA

Drawn By: **William Dickson**
 Date: **3.30.17**
 Revision: **11.26.18**
 11.30.18
 12.18.18
 1.15.19
 2.8.19

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D/F Multi-Tenant Pylon Sign - East Elevation



D/F Multi-Tenant Pylon Sign - West Elevation



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Project No: **17-0093-06**

Account Executive: **Ralph Cundiff**

Project:
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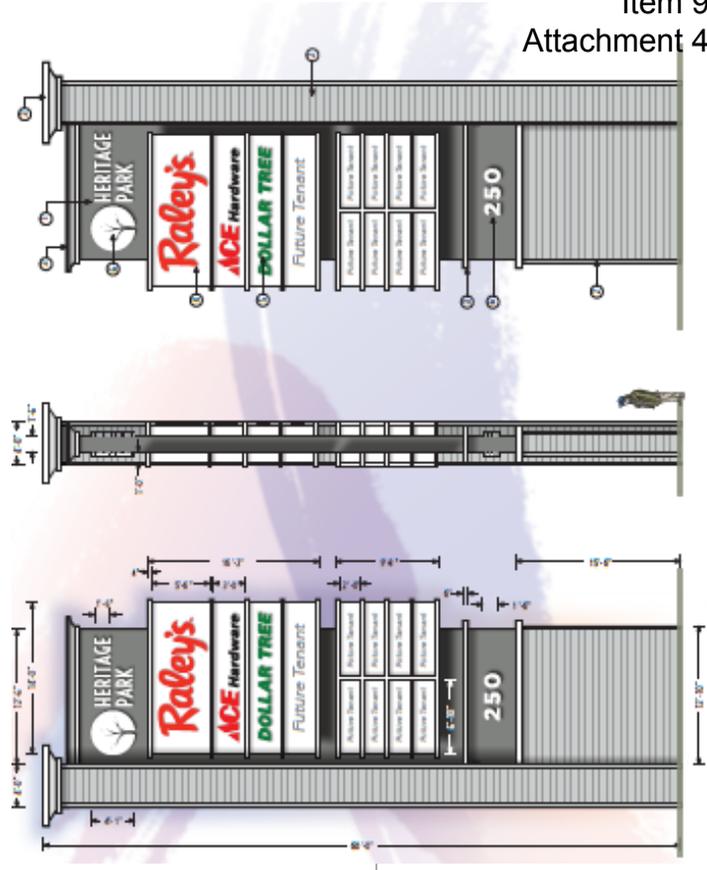




City Council Meeting

MARCH 19, 2019

Item 9
Attachment 4





Heritage Park Special Sign Overlay District and Pylon



- Agenda Item and Applicant Request
- Background
- Staff Analysis
- Planning Commission Recommendation
- City Council Action
- Staff Recommendation

Background

- ❑ On September 3, 2013, the City Council amended the City's Zoning Code to include Special Sign Overlay District regulations that allow the establishment of up to five Special Sign Overlay Districts along Highway 12.
- ❑ The applicant has submitted an application to establish a Special Sign Overlay District along Highway 12. Additionally, the Applicant has requested approval of a 60-foot-tall pylon sign.
- ❑ Previous sign was to be removed as it was directly above a PG&E facility.
- ❑ Under the City's regulations, these are two distinct approvals and this project review considers these actions concurrently. While the Planning Commission may recommend approval and the City Council may approve the design of the pylon sign, such approval would not take effect until after the Heritage Park Shopping Center Special Sign Overlay District is approved and in effect.





Staff Analysis

- The application encompasses 15+ acres including APNs (0173-010-380; 390, 400, 410, 420, and 430) – Attachment 1.
- Key Provisions of the SSOD code
- Applicant proposal



Special Sign Overlay District



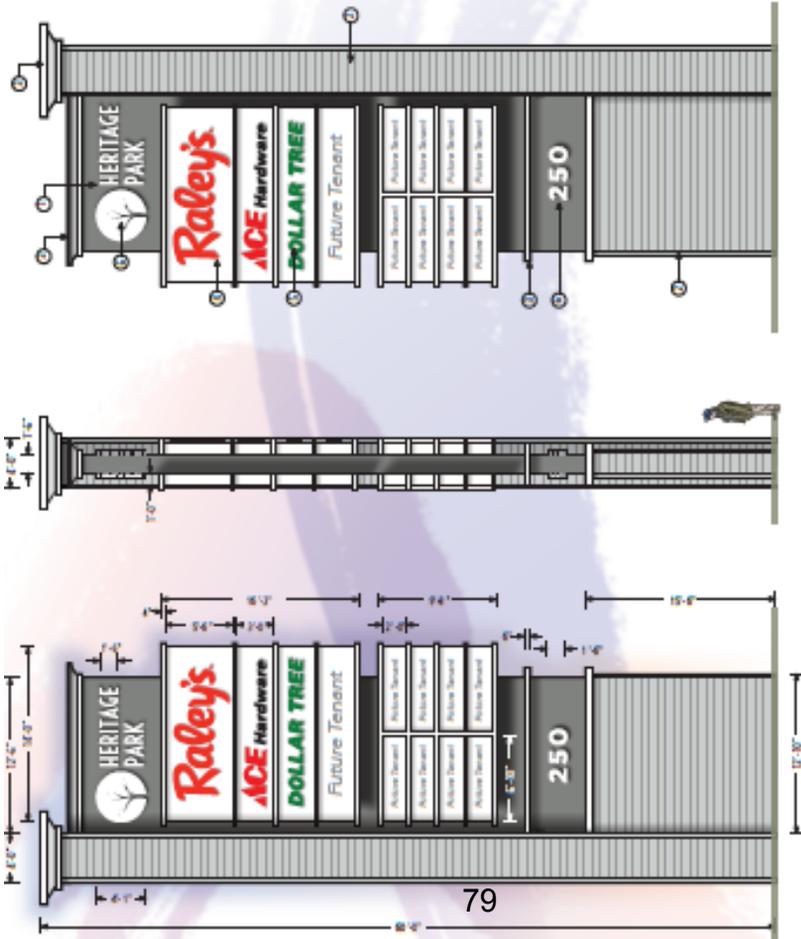


Pylon Sign – Location





Pylon Sign





Planning Commission Recommendation



The Commission provided two recommendations to the City Council at their January 29 Special Meeting:

1. Special Sign Overlay District Formation.
2. Pylon Sign Location and Construction.



City Council Action

The Commission is considering two actions this evening:

1. Council Introduction and Waive Reading of Ordinance No. ____: An Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
2. Council Adoption of Resolution No. 2019- ____: A Resolution of the City Council of the City of Suisun City Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).

Staff Recommendation

It is recommended that the City Council:

1. Introduce and Waive Reading of Ordinance No. ___: An Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
2. Adopt Resolution No. 2019- ____: A Resolution of the City Council of the City of Suisun City Approving a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).



AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: PUBLIC HEARING: Residential Yards and Parking Ordinance:

Council Introduction and Waive Reading of Ordinance No. ____: An Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties

FISCAL IMPACT: There is no anticipated fiscal impact associated with this item.

BACKGROUND: On March 21, 2017, the City Council adopted a comprehensive update of Title 18 “Zoning” of the Suisun City Code. Following that time, staff discovered that the section addressing treatment of front yards “Parking in Residential Front Yards” had been inadvertently deleted which left staff no code to enforce relative to paving in residential front yards.

In light of the void in the code, the City Council adopted Urgency Ordinance No. 746 on January 16, 2018 which put an immediate limitation on the amount of paving in residential front yards until the Zoning Code could be amended to include these provisions. The ordinance was extended by the City Council through Interim Ordinance No. 747 as staff worked through the drafting of revisions to the applicable portion of Title 18. Subsequently, staff prepared revisions to the Zoning Code which included language addressing front yard paving/parking. At the special meeting of March 19, 2018, the Planning Commission recommended the City Council adopt the proposed revisions absent the language on front yard paving/parking as the majority agreed it didn’t comprehensively address the issue. The City Council concurred and adopted the amendments without the parking/paving language.

Since the direction of the Planning Commission and City Council in 2018, staff has begun working on fully understanding the issue and how other communities have chosen to address it in their codes. Staff met with interested citizens on July 23, 2018 and October 30, 2018. This included sharing ideas and deeply discussing the issue from the residents’ perspective. The outcome of the research is that most cities address the issue(s) somewhat similarly, but in various sections of their codes.

At the December 18, 2018 Planning Commission meeting, the Commission held a Public Hearing to discuss the proposed Ordinance. The Commission discussed the matter and opened the Public Hearing. They took comments from the Public and ultimately closed the Public Hearing. While discussing the item, it was suggested that the item be continued to a future Planning Commission and an Ad Hoc of the Commission be formed. At the close of the meeting, the Commission appointed Commissioner’s Clemente, Borja and Thomas to the Ad Hoc Committee. Staff recommended a new Public Hearing be noticed as it was unclear specifically when the Ad Hoc would be available to meet.

PREPARED BY:

John Kearns, Senior Planner

REVIEWED BY:

Tim McNamara, Development Services Director

APPROVED BY:

Richard Ramirez, Interim City Manager

On January 29, 2019, the Commission voted 6-0 in favor of recommending the City Council adopt the proposed ordinance.

STAFF REPORT: The Ad Hoc of the Planning Commission met with staff on Thursday, January 10, 2019 to discuss the ordinance. In large part, the structure of the prior proposed ordinance was retained. However, certain changes were made to the revised ordinance as a result of the following circumstances:

1. Written comments and/or Public Comments received at the December 18, 2018 Public Hearing;
2. Development Services staff observations over the past several years; and
3. Identified repetitious provisions that needed to be deleted.

Specifically, staff would like the Council to understand the differences between the two ordinances. Below are points illustrating the differences:

1. Maximum paved areas (overall and specific application such as driveways) and minimum landscaped areas have been clarified and applied consistency throughout the ordinance;
2. “Side Driveway” was removed as a definition;
3. Recreational vehicles are proposed to not to be allowed within front, rear or side setback areas;
4. A basic maintenance or pruning standard has been included to allow for passage of pedestrians and vehicles.

At the conclusion of the January 29 Special Meeting of the Planning Commission, the Planning Commission included the following changes into their recommendation:

1. Deleted former 18.36.070.3.vi(1);
2. Added language to 18.36.070.3.vi(1) (formerly #2); and
3. Include recreational vehicle and airplane or aircraft into new 18.36.070.3.vi(2) and (4);

Additionally, staff has provided a summary of the applicable City codes/regulations the City Council should keep in mind as they review the proposed ordinance:

Title 8 “Health and Safety”

Both Section 8.12 “Public Nuisances” and 8.13 “Abandoned and Distressed Residential Properties Registration” have elements that could and should work together with any zoning ordinance developed on the issues of parking, treatment of yards, and residential property maintenance.

Title 18 “Zoning”

As stated previously in the Background section and presented at the December 18 Commission meeting, in the prior zoning ordinance there was a standard that spoke to paving and parking in residential front yards, but no standards relative to property maintenance and how rear or side yards were treated. Of course, with the omission of the prior language in our current code, the City is left with Urgency Ordinance 747 to uphold. Also as stated above, many cities regulate both parking in residential front yards as well as property maintenance standards. The proposed ordinance is relatively short in nature, but is intended to provide a way or regulating activities in front, side and

rear yards. It is staff's opinion that the regulating these activities is in the City and Community's interest as it will enhance curb appeal and limit potential blight in neighborhoods.

Waterfront District Specific Plan

Presently, the Waterfront District Specific Plan (which has a geographic specific area) has the following language in Appendix A which speaks specifically to the maintenance of properties within the Historic Residential (HR) and Historic Limited Commercial (HLC) Districts:

Maintenance of Structures and Premises

All property owners in the HR or HLC district shall have the obligation to maintain structures and premises in good repair. Structures and premises in good repair shall present no material deviation in apparent condition from surrounding structures in compliance with the provisions of this Plan. Good repair includes and is defined as the level of maintenance that ensures the continued availability of the structure and premises for a lawfully permitted use and prevents deterioration, dilapidation, and decay of the exterior portions of the structure and premises, such as lack of paint, peeling, chipping, crumbling, breakage, accumulation of dirt and/or similar evidence. This is not intended to preclude normal construction activities in conjunction with a valid building permit, provided that the completion of such activities is diligently pursued in accordance with the standards of the Building Code.

Staff recommends this language be extended to include all residential properties within the area of the Plan. In order to accomplish this, language should be inserted into Section 6.2.3 that makes this clear. Additionally, staff recommends that clear language be inserted into the provisions of the Zoning Code and that the City Council have the option to adopt more restrictive standards for certain neighborhoods within the area of the Waterfront District Specific Plan.

RECOMMENDATION: It is recommended that the City Council:

1. Introduce and Waive Reading of Ordinance No. ____: An Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.

ATTACHMENTS:

1. Ordinance No. ____; An Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.
2. January 29, 2019 Planning Commission Staff Report.
3. Suisun City Code Chapter 8.12– Public Nuisances and 8.13 Abandoned and Distressed Residential Properties.
4. PowerPoint Presentation

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ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY, CALIFORNIA, REPEALING AND REPLACING SECTION 18.36.070 OF TITLE 18 OF THE SUISUN CITY CODE AND AMENDING THE WATERFRONT DISTRICT SPECIFIC PLAN, RELATING TO REGULATIONS FOR FRONT, REAR, AND SIDE YARD AREAS OF RESIDENTIAL PROPERTIES

WHEREAS, this Ordinance is intended to preserve the residential character of streetscapes in the city's neighborhoods and minimize excess storm water runoff from residential properties; and

WHEREAS, the unregulated expansion of paved parking areas in front, rear, and side yards interferes with the pattern of building and open areas within neighborhoods, and can increase vehicle clutter by creating small parking lots in yard areas which are intended to remain as open and/or landscaped areas; and

WHEREAS, excessive paving of front, rear, and side yard areas have a negative impact upon the character and appearance of the City's neighborhoods; and

WHEREAS, the paving of front, rear, and side yard areas to add additional parking will potentially have impacts upon the walkability of the City's neighborhoods, because of the likely proliferation of curb cuts which reduce the number of available on-street parking spaces in the City's neighborhoods; and

WHEREAS, paving of front, rear, and side yards would potentially result in hazardous conditions on a residential property in that it could negatively impact the City's storm water management system such that a much higher amount of water runoff from such properties would negatively affect the City's storm water management system; and

WHEREAS, paving of front, rear, and side yards could result in potentially high amounts of runoff from such a property where such runoff could cause harm to adjoining properties; and

WHEREAS, paving of front, rear, and side yards would create visual blight by eliminating green space in the City's neighborhoods; and

WHEREAS, paving of front, rear, and side yards would create substantial aesthetic conflicts that may result in decreased property values for adjoining properties; and

WHEREAS, paving of front, rear, and side yards would result in potentially changing the character of residential properties, and it would result in less green space within the City; and

WHEREAS, the Planning Commission of the City of Suisun City did hold a duly noticed public hearing on December 18, 2018 and, following discussion, consideration and public comment, decided to form an Ad Hoc Committee and have a new Public Hearing noticed for a future date; and

WHEREAS, the Planning Commission of the City of Suisun City did hold a duly noticed public hearing on January 29, 2019 and, following discussion, consideration and public comment, voted 6-0 in favor of recommending that the City Council adopt this Ordinance; and

WHEREAS, the City Council of the City of Suisun City did hold a duly noticed public hearing on March 19, 2019 and, received testimony and documents from staff, provided an opportunity for public comment, closed public comment, and considered all documents relative to the subject Ordinance; and

WHEREAS, all legal pre-requisites to adopt this Ordinance have occurred; and

WHEREAS, as provided in this Ordinance, the City Council now desires to repeal and replace Section 18.36.070 of Title 18 of the Suisun City Municipal Code and the Waterfront District Specific Plan as provided in this Ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SUISUN CITY, CALIFORNIA, DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. RECITALS.

The recitals set forth above are all true and correct and are incorporated herein.

SECTION 2. SECTION 18.36.070, "PROHIBITED ACTIVITIES IN FRONT AND STREET SIDE YARDS," OF CHAPTER 18.36 OF TITLE 18 OF THE SUISUN CITY CODE IS HEREBY REPEALED AND REPLACED AS FOLLOWS:

"Section 18.36.070 - Prohibited activities in front, rear, and side yards of residential properties.

A. **Definitions.** For the purposes of this Section, words shall have the same definitions as provided in Chapter 18.04 of Title 18 of the Suisun City Municipal Code, except as follows:

1. "Landscaped area" means a water-permeable area maintained to present an attractive, well-kept appearance. A "landscaped area" may consist of any combination of living plants (shrubbery, grass, trees, etc.) with or without a layer at least two inches deep of materials such as decorative bark or decorative stones with a permeable subterranean weed barrier. However, a "landscaped area," does not include dead plants, bare soil without plants, or bare soil with cut weeds. Further, "landscaped area" does not include asphalt or hardscape materials (such as pavers, bricks, and other hard surfaces), regardless of permeability.

2. "Hardscaped area" means an area covered with semi-permeable or impermeable materials such as brick, pavers, or concrete. "Hardscaped area" does not include asphalt paving (asphalt is not permitted).

3. "Weeds" mean plants that are out of place or not deliberately planted by the property owner.

4. “Recreational vehicles” mean recreational vehicles (RVs), including but not limited to motor homes, truck campers, travel trailers, third-wheel and pull-behind trailers, all-terrain vehicles, snowmobiles, jet skis, boats, and boat trailers.

5. “Chain link fencing” means a fence, usually made of metal, which consists of wire loops interconnected into a series of joined links.

6. “Driveway” means a paved portion of a private street providing an unobstructed passage from the roadway to an off-street area used for driving, servicing, parking, or otherwise accommodating motor vehicles.

B. Purpose and Applicability.

1. The requirements specified in this Section are intended to preserve the residential character of streetscapes in the city's neighborhoods and to minimize excess storm water runoff and are being enacted in response to community concerns about the negative effect on neighborhood character of paving and parking in single-family front yards as follows:

i. The unregulated expansion of paved parking areas in front, rear, and side yards interferes with the pattern of building and open areas within neighborhoods and can increase vehicle clutter by creating small parking lots in yard areas which are intended to remain as open areas and green spaces. Excessive paving of yard areas can negatively impact the character and appearance of residential areas. Paving yard areas to add additional parking can result in the proliferation of curb cuts that can have the effect of reducing the number of on-street parking spaces available this also impacts the walkability of a neighborhood.

ii. The paving of front, rear, and side yards would potentially result in hazardous conditions on a residential property in that it could negatively impact the City’s storm water management system such that a much higher amount of water runoff from such properties would negatively affect the City’s storm water management system.

iii. The paving of front, rear, and side yards would result in potentially high amounts of runoff from such a property where such runoff could cause harm to adjoining properties.

iv. The paving of front, rear, and side yards would create visual blight by eliminating green space in the City’s neighborhoods.

v. The paving of front, rear, and side yards would provide substantial aesthetic conflicts that may possibly result in decreased property values for adjoining properties,

vi. The paving would result in potentially changing the use of residential properties, and it would result in less green space within the City.

2. The requirements in this Section shall apply to all residential properties and lots.

C. Regulations and Standards

1. Front Yard.

i. Walkways and other Hardscaped Areas. The amount of paved walkways and hardscaped area, including but not limited to driveways, shall not exceed fifty percent of the front yard area.

ii. Driveways. The amount of allowable paving for driveways shall not exceed thirty-five percent of the total front yard area.

iii. Landscaping minimums. For all residential properties, a minimum of fifty percent of the front yard area shall consist of a landscaped area.

iv. Property owners must maintain all landscape on their property in such a way to allow for passage pedestrian and vehicular traffic.

v. Landscaped areas must be consistent with Chapters 8.12 and 8.13, as applicable, of the Suisun City Code.

vi. Chain link fencing shall not be constructed and located such that such fencing is visible from public roads or alleyways. All chain link fencing constructed before the effective date of this Section are considered legal non-conforming. Chain link fencing that is damaged shall be replaced with conforming fencing pursuant to Title 18 of the Suisun City Code.

vii. No front yard driveway will be permitted without the approval and issuance of an encroachment permit from the Public Works Director of Suisun City (if applicable) and design review and approval from the Planning Division.

viii. One tree shall be required for each residential property, any tree removed must be replaced; this includes all new developments.

ix. An accessory building shall only be located on the rear fifty percent of a residential lot, must be consistent with Table 18.31.01 Development Standards in Residential Zones, as applicable, of the Suisun City Code.

2. Rear / Side Yard.

i. Landscaping minimums. For all residential properties and lots, a minimum of fifty percent of the required rear and side yard combined area shall consist of landscaped area.

ii. Property owners must maintain all landscape on their property in such a way to allow for passage pedestrian and vehicular traffic.

iii. Landscaped areas must be consistent with Chapters 8.12 and 8.13, as applicable, of the Suisun City Code.

iv. No side yard or rear yard driveway will be permitted without the approval and issuance of an encroachment permit from the Public Works Director of Suisun City (if applicable) and design review approval from the Planning Division.

3. Vehicle Storage.

i. Driveway location and width shall be in accordance with the latest edition of the City of Suisun City Engineering Standards specifications.

ii. All vehicles, including recreational vehicles, shall be parked, stored or kept on a driveway being consistent with Chapters 8.12 and 8.13, as applicable, of the Suisun City Code.

iii. If a recreational vehicle is parked or stored on a residential property, then an owner of the recreational vehicle must also live at the same address. Additionally, recreational vehicles must be parked on an approved driveway, meet the setbacks addressed in Table 18.31.01 Development Standards in Residential Zones, as applicable, of the Suisun City Code, and parked in a manner so that they are not viewable from the City's right-of-way.

iv. The following activities are prohibited on any driveway governed by this Section:

(1) The parking, storing, or keeping for a period of time greater than seventy-two consecutive hours of any household appliance, equipment, furniture, construction equipment, machinery, boat, jet-ski, motor vehicle, recreational vehicle, airplane or aircraft, and materials other than that temporarily used or stored during the improvement of the lot and any associated structures or facilities;

(2) The parking, storing or keeping in any such area, for a period of time in excess of seventy-two consecutive hours, of any motor vehicle or recreational vehicle that is disabled or inoperative because of the need of repairs or for any other reason;

(3) The parking, storing or keeping of a motor vehicle in any such area of the front driveway, side driveway, or is visible to the public must be registered;

(4) The wrecking, dismantling, disassembling, manufacturing, fabricating, building, remodeling, assembling, repairing, painting, washing, cleaning or servicing in any such area of any motor vehicle, boat, trailer, recreational vehicle, airplane or aircraft, machinery, equipment, appliance or appliances, furniture or other personal property, excepting the repairing, washing, cleaning or servicing by an owner, lessee, or occupant of the lot, for a period not to exceed 72 hours.”

SECTION 3. THE WATERFRONT DISTRICT SPECIFIC PLAN IS HEREBY AMENDED AS FOLLOWS:

NEW Chapter 6.2.3.C. Landscaping

6. All residential yards shall be subject to the standards set forth in Section 18.36.070 of the Suisun City Code, at a minimum. Additional standards may be adopted by the Suisun City Council for specific unique neighborhoods that require special care and regulation.

NEW Chapter 6.2.3.D Maintenance of Structures and Premises

All property owners in a residential district shall have an obligation to maintain structures and premises in good repair. Structures and premises in good repair shall present no material deviation in apparent condition from surrounding structures in compliance with the provisions of this Plan. Good repair includes and is defined as the level of maintenance that ensures the continued availability of the structure and premises for a lawfully permitted use and prevents deterioration, dilapidation, and decay of the exterior portions of the structure and premises, such as lack of paint, peeling, chipping, crumbling, breakage, accumulation of dirt and/or similar evidence. This is not intended to preclude normal construction activities in conjunction with a valid building permit, provided that the completion of such activities is diligently pursued in accordance with the standards of the Building Code.

SECTION 4. SEVERABILITY. If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance. The City Council hereby declares that it would have adopted this ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

SECTION 5. EFFECTIVE DATE. This ordinance shall be in full force and effect thirty (30) days after its passage.

SECTION 6. CERTIFICATION. The City Clerk shall certify to the adoption of this ordinance, and shall cause the same to be posted and codified in the manner required by law.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the City Council of the City of Suisun City, California, on this _ day of _ 2019.

Lori Wilson, Mayor

ATTEST:

Linda Hobson, City Clerk

**APPROVED AS TO FORM
AND LEGAL CONTENT:**

Aleshire & Wynder, LLP

AGENDA TRANSMITTAL

MEETING DATE: January 29, 2019

PLANNING COMMISSION AGENDA ITEM: Resolution PC19-___; A Resolution of the City of Suisun City Planning Commission Recommending City Council Adoption of an Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.

BACKGROUND: On March 21, 2017, the City Council adopted a comprehensive update of Title 18 “Zoning” of the Suisun City Code. Recently, however, staff discovered that the section addressing treatment of front yards “Parking in Residential Front Yards” had been inadvertently deleted. This left staff no code to enforce relative to paving in residential front yards.

In light of the void in the code, the City Council adopted Urgency Ordinance No. 746 on January 16, 2018 which put an immediate limitation on the amount of paving in residential front yards until the Zoning Code could be amended to include these provisions. The ordinance was extended by the City Council through Interim Ordinance No. 747 as staff worked through the drafting of revisions to the applicable portion of Title 18. Subsequently, staff prepared revisions to the Zoning Code which included language addressing front yard paving/parking. At the special meeting of March 19, 2018, the Planning Commission recommended the City Council adopt the proposed revisions absent the language on front yard paving/parking as the majority agreed it didn’t comprehensively address the issue. The City Council concurred and adopted the amendments without the parking/paving language.

Since the direction of the Planning Commission and City Council earlier in 2018, staff has begun working on fully understanding the issue and how other communities have chosen to address it in their codes. Staff met with interested citizens on July 23, 2018 and October 30, 2018. This included sharing ideas and deeply discussing the issue from the residents’ perspective. The outcome of the research is that most cities address the issue(s) somewhat similarly, but in various sections of their codes.

At the December 18, 2018 Planning Commission meeting, the Commission held a Public Hearing to discuss the proposed Ordinance. Staff presented the item as well as written comments that were submitted by interested citizens related to the matter. The Commission discussed the matter and opened the Public Hearing. They took comments from the Public and ultimately closed the Public Hearing. While discussing the item, it was suggested that the item possibly be continued to a future Planning Commission to allow for better thought toward a recommendation to the City Council. Further, the Commission recommended an Ad Hoc be formed for the purpose of discussing this topic and preparing a revised ordinance. At the close of the meeting, the Commission appointed Commissioner’s Clemente, Borja and Thomas to the Ad Hoc. Staff recommended a new Public Hearing be noticed as it was unclear specifically when the Ad Hoc would be available to meet.

PREPARED BY:

John Kearns, Senior Planner

STAFF REPORT: The Ad Hoc (Commissioner Borja was unable to attend) met with staff on Thursday January 10 to discuss the ordinance. In large part, the structure of the prior proposed ordinance was retained. However, certain changes were made to the revised ordinance as a result of the following circumstances:

1. Written comments and/or Public Comments received at the December 18, 2018 Public Hearing;
2. Development Services staff observations over the past several years;
3. Identified repetitious provisions that needed to be deleted.

Specifically, staff would like the Commission to understand the differences between the two ordinances. Below are several points illustrating the differences:

1. Maximum paved areas (overall and specific application such as driveways) and minimum landscaped areas have been clarified and applied consistency throughout the ordinance;
2. “Side Driveway” was removed as a definition;
3. Recreational vehicles are not to be allowed within front, rear or side setback areas;
4. A basic maintenance or pruning standard has been included to allow for passage of pedestrians and vehicles.

Below is a summary of the applicable City codes/regulations the Planning Commission should keep in mind as they review the proposed ordinance:

Title 8 “Health and Safety”

Both Section 8.12 “Public Nuisances” and 8.13 “Abandoned and Distressed Residential Properties Registration” have elements that could and should work together with any zoning ordinance developed on the issues of parking, treatment of yards, and residential property maintenance. It is important to note that any revisions to Title 8 would be accommodated through a separate ordinance, but can be approved concurrently as the subject ordinance by the City Council. There are some examples that are relatively simple to accomplish through grammatical edits. There may also be some opportunity to apply the concepts and language in Section 8.13 to 8.12 which would allow for more comprehensive application. At the meeting, staff would appreciate general support from the Commission that changes in Title 8 should be consistent with amendments to Title 18.

Title 18 “Zoning”

As stated previously in the Background section and presented at the December 18 Commission meeting, in the prior zoning ordinance there was a standard that spoke to paving and parking in residential front yards, but no standards relative to property maintenance and how rear or side yards were treated. Of course, with the omission of the prior language in our current code, the City is left with Urgency Ordinance 747 to uphold. Also as stated above, many cities regulate both parking in residential front yards as well as property maintenance standards. The proposed ordinance is relatively short in nature, but is intended to provide a way or regulating activities in front, side and rear yards. It is staff’s opinion that the regulating these activities is in the City and Community’s interest as it will enhance curb appeal and limit potential blight in neighborhoods.

Waterfront District Specific Plan

Presently, the Waterfront District Specific Plan (which has a geographic specific area) has the following language in Appendix A which speaks specifically to the maintenance of properties within the Historic Residential (HR) and Historic Limited Commercial (HLC) Districts:

Maintenance of Structures and Premises

All property owners in the HR or HLC district shall have the obligation to maintain structures and premises in good repair. Structures and premises in good repair shall present no material deviation in apparent condition from surrounding structures in compliance with the provisions of this Plan. Good repair includes and is defined as the level of maintenance that ensures the continued availability of the structure and premises for a lawfully permitted use and prevents deterioration, dilapidation, and decay of the exterior portions of the structure and premises, such as lack of paint, peeling, chipping, crumbling, breakage, accumulation of dirt and/or similar evidence. This is not intended to preclude normal construction activities in conjunction with a valid building permit, provided that the completion of such activities is diligently pursued in accordance with the standards of the Building Code.

It is in staff's opinion that this language should be extended to include all residential properties within the area of the Plan. In order to accomplish this, staff is recommending that language be inserted into Section 6.2.3 that makes this clear. Additionally, staff is recommending that language be clear that language in the Zoning Code would apply, at a minimum, and that the City Council may choose to adopt more restrictive standards for certain neighborhoods within the area of the Plan.

Staff has provided communications received from the interested residents as an attachment to this staff report. It is intended to spur discussion with the Planning Commission in the hopes of developing the most effective ordinance.

Planning Commission Action

The Planning Commission is being asked to consider making recommendations to the City Council regarding adoption of amendments to both Title 18 "Zoning" of the Suisun City Code as well as the Waterfront District Specific Plan. The Commission's recommendations will be forwarded to the City Council when they hold their public hearing.

Next Steps

Following Planning Commission action, the proposed amendments will need to go before the Solano County Airport Land Use Commission for a finding of consistency with the Travis Air Force Base Land Use Compatibility Plan and ultimately to the City Council for introduction and adoption. It is anticipated that the City Council will consider these amendments in the latter part of February 2019.

STAFF RECOMMENDATION: Staff recommends the Planning Commission do the following:

1. Receive the presentation from staff;
2. Open the Public Hearing;
3. Take any public comments;
4. Close Public Hearing; and

5. Make recommendation to the City Council on the proposed ordinance.

ATTACHMENTS:

1. Resolution PC19-___; A Resolution of the City of Suisun City Planning Commission Recommending City Council Adoption of an Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.
2. Ordinance No. ___; An Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.
3. Email received with community input.

Chapter 8.12 - PUBLIC NUISANCES

8.12.010 - Purpose of chapter.

- A. It is the intent of the city council in adopting this chapter to provide a comprehensive method for the identification and abatement of certain public nuisances within the city.
- B. Provisions of this chapter are to be supplementary and complimentary to all of the provisions of the City Code, state law and any law cognizable at common law or in equity, and nothing herein shall be read, interpreted or construed in any manner so as to limit any existing right or power of the city to abate any and all nuisances.

(Ord. No. 706, § 1, 3-17-2009)

8.12.020 - Application.

The provisions of this chapter shall apply generally to all property throughout the city, except for abandoned property as defined in chapter 8.13, "Abandoned and Distressed Residential Properties Registration," wherein any of the conditions, hereinafter specified, are found to exist; provided that any condition which would constitute a violation of this chapter, but which is duly authorized under any city, state or federal law, shall not be deemed to violate this chapter.

(Ord. No. 706, § 1, 3-17-2009)

8.12.030 - Authority—Department head defined.

- A. The head of any city department or the health officer of the county, hereinafter referred to as "department head," is authorized and directed to use the provisions of this chapter for the purpose of abating those nuisances which exist as the result of violation of those ordinances for which the department has primary enforcement responsibility.
- B. As used in this chapter, the term "department head" shall include the authorized representative of such department head, including but not limited to the code enforcement specialist.

(Ord. No. 706, § 1, 3-17-2009)

8.12.040 - Right of entry—Department head to inspect premises.

- A. Whenever necessary to make an inspection of any premises to enforce the provisions of this chapter, the department head may enter on such premises at all reasonable times to inspect the same or to perform any duty imposed upon the department head by this chapter, in such manner as allowed by law.
- B. Whenever practicable, the department head shall contact the occupant of such premises and inform him of the reasons for such entry onto such property, and if the occupant is other than the owner, he shall, if practicable, contact the owner.
- C. If entry onto any premises is interfered with by the owner or occupant of such premises, or by any third party, the department head shall have recourse to every remedy provided by law to secure his peaceable entry on such premises to perform the duties required by this code, including the obtaining of an inspection warrant pursuant to California Code of Civil Procedure Sections 1822.50-1822.60.

(Ord. No. 706, § 1, 3-17-2009)

8.12.050 - Responsibility for property maintenance.

- A. Every owner of real property within the city is required to maintain such property in a manner so as not to violate the provisions of this chapter and such owner remains liable for violation thereof regardless of any contract or agreement with any third party regarding such property.
- B. Every occupant, lessee or holder of any interest in property other than as owner thereof is required to maintain such property in the same manner as is required of the owner thereof, and the duty imposed by this section on the owner thereof shall in no instance relieve those persons herein referred to from the similar duty.

(Ord. No. 706, § 1, 3-17-2009)

8.12.060 - Appointment of hearing board for appeals.

In order to hear appeals on a notice of violation given under this chapter, the city manager shall appoint one or more hearing examiners who shall serve at the pleasure of the city manager as the hearing board.

(Ord. No. 706, § 1, 3-17-2009)

8.12.070 - Generally—Definitions.

For the purposes of this chapter, the following words shall have the following specified meanings:

"Junk" means any cast-off, damaged, discarded, junked, obsolete, salvage, scrapped, unusable, worn-out or wrecked object, thing or material composed in whole or in part of asphalt, brick, carbon, cement, plastic or other synthetic substance, fiber, glass, metal, paper, plaster, plaster of Paris, rubber, terra cotta, wool, cotton, cloth, canvas, organic matter or other substance.

"Junk yard" means any premises from or on which any junk is abandoned, bailed, bartered, bought, brought, bundled, dissembled, disposed of, exchanged, handled, packed, processed, shipped, sold, stored or transported, regardless of whether or not such activity is done for profit.

"Owner" means owner of record of real property, occupant, lessee, or interest holder in same, as the case may be.

"Premises" means any real property, or improvements thereon, as the case may be.

"Property" means premises.

(Ord. No. 706, § 1, 3-17-2009)

8.12.080 - Generally—Acts declared to be nuisances.

It is declared a public nuisance for any person owning, leasing, occupying or having a charge or possession of any premises in this city, whether commercial, industrial or residential, to maintain such premises in such a manner that any one, or more of the conditions or activities described in the following subsections are found to exist:

- A. Lumber, junk, garbage, trash, debris, salvage materials visible from public or private property or otherwise in violation of this chapter. Junk consists of any cast-off, damaged, discarded, junked, obsolete, salvaged, scrapped, unusable, worn-out or wrecked object, thing or material composed in whole or in part of asphalt, brick, carbon, cement, plastic or other synthetic

substance, fiber, glass, metal, paper, plaster, plaster of Paris, rubber, terra cotta, wool, cotton, cloth, canvas, organic matter or other substance, except while excavation, construction or demolition is in progress at the site under a current city-issued building permit;

- B. Abandoned, discarded or unused furniture, appliances, sinks, toilets, cabinets or other fixtures or equipment stored in a place visible from public or private property;
- C. Construction equipment or machinery parked or stored on noncommercial property and readily visible to the general public, except while excavation, construction or demolition is in progress at the site under a current city-issued building permit;
- D. Presence of abandoned, dismantled, wrecked or inoperable motor vehicles, motorcycles, recreational vehicles, trailers, campers, boats, conveyances or parts thereof (hereinafter "vehicles"), except:
 - 1. When such vehicles are completely enclosed within a building in a lawful manner where they are not visible from the street or other public or private property, or
 - 2. When stored or parked in a lawful manner on private property behind a fully screened fence in connection with the business of a licensed dismantler, licensed vehicle dealer, a junk dealer, or when such storage or parking is necessary to the operation of a lawfully conducted business or commercial enterprise;
- E. Parking of a vehicle, trailer, camper or storage of other personal property on private property on other than a surface of asphalt, concrete or other similar all-weather material;
- F. Obstruction or encroachment of any public property, including but not limited to any public street, highway, right-of-way, park or building;
- G. An attractive nuisance to children, including but not limited to unprotected equipment, machinery, swimming pools whether full of liquid or drained, pools with water where the bottom or bottom drain can not be seen, ponds or excavations;
- H. A building or structure which, because of obsolescence, dilapidated condition, deterioration, damage, electrical wiring, gas connections or other cause, is in a condition as to constitute a fire hazard;
- I. A building exterior, wall, fence, driveway, sidewalk or walkway which is so defective, unsightly or deteriorated that it causes depreciation of the value of surrounding properties, is otherwise materially detrimental to nearby properties, or poses a hazard;
- J. A building or structure having dry rot, warping or termite infestation or an exterior surface which has become so deteriorated as to permit decay, excessive checking, cracking, peeling, chalking, dry rot, warping or termite or vermin infestation as to render the building or structure unsightly and in a state of disrepair;
- K. A building or structure which is structurally unsafe, partially destroyed, in an unreasonable state of partial construction, a fire hazard or otherwise dangerous or not in compliance with current building codes. An "unreasonable state of partial construction" exists if the building has been under construction for more than one year and the appearance and other conditions substantially detract from the appearance of the immediate neighborhood or reduces the property values in the immediate neighborhood;
- L. Building or structure that is marked or defaced with spray paint, dye or like substance in a manner commonly described as graffiti, visible from a public street, for an unreasonable period time;
- M. Buildings which are abandoned, boarded up, partially destroyed, or left in a state of partial construction for an unreasonable period of time and such buildings which are unpainted or where the paint on the building exterior is worn off;
- N. Dead, decayed, diseased or hazardous trees, weeds or tall grass more than eight inches tall, except ornamental grasses used as landscape or overgrown vegetation which is a fire hazard or

is likely to harbor rats, vermin or other pests, constitutes an unsightly appearance, is detrimental to neighboring properties or property values, or protrudes over or across a city street or sidewalk so as to substantially obstruct the clear passage of vehicles or pedestrians;

- O. Maintenance of any premises in any manner which is unsightly or unsanitary because of the presence of animal excrement;
- P. Vacant open land not maintained with weed control or firebreaks. In lieu of ordering complete abatement, the department head may order the preparation of firebreaks around parcels of property where combustible weeds or brush are present. The department head shall determine the width for the firebreak and the accessibility to the property for fire protection equipment.
- Q. Burning garbage, non-seasoned wood, or certain materials. No person shall cause or allow any of the following materials to be burned in a wood burning device: garbage, treated wood, non-seasoned wood, used or contaminated wood pallets, plastic products, rubber products, waste petroleum products, paints and paint solvents, coal, animal carcasses, glossy or colored paper, salt water driftwood, particle board, and any material not intended by a manufacturer for use as a fuel in a wood burning device. Visible smoke emissions are allowed from the startup of a new fire for a period of 20 consecutive minutes in any consecutive four-hour period.

Approved wood burning devices include: installed fireplaces and wood stoves, bar-b-ques, small meat smokers, small wood fired ovens used for cooking, patio fire pits, rings, or chimineas. These wood burning devices must be equipped with a spark arrestor screen or lid to prevent the spread of burning embers. Reference: Bay Area Air Quality Management District Regulation 6 - Particulate Matter and Visible Emissions Rule 3 - Wood-Burning Devices.

- R. Any condition recognized in law or in equity as constituting a public nuisance.

(Ord. No. 706, § 1, 3-17-2009)

8.12.090 - Commencement of abatement proceeding.

Whenever the department head has inspected or caused to be inspected any premises and has found and determined that such premises are in violation of this chapter, the department head shall commence proceedings to cause abatement of the nuisance as provided herein. Residential and light commercial parcels shall have 15 days to comply with a violation notice and abatement order. Vacant lots and large field properties within city limits shall have 30 days to comply with a violation notice and abatement order. One abatement order per property parcel in violation for each calendar year shall be posted and/or mailed. If a property owner or occupant fails to correct any violation within the time allotted, the fire official shall take all necessary steps to obtain an abatement order and such other orders necessary to enter upon the property and abate the property at owners' expense.

(Ord. No. 706, § 1, 3-17-2009)

8.12.100 - Violation notice.

- A. Except as otherwise provided herein, the department head shall issue a violation notice to the owner and occupant of the premises. The notice shall contain:
 - 1. The street address and such other description as is required to identify the premises;
 - 2. A statement that the department head has found the premises to be a public nuisance, as specified in this chapter, with a specific citation to the applicable section hereof, and to other sections of the City Code where applicable;
 - 3. An order to abate the nuisance and a date for the abatement to be completed. The date for compliance shall be no less than 15 calendar days from the date of issuance for residential and light commercial parcels, and 30 calendar days for vacant and large field properties;

4. A statement requesting the owner, within a specified number of calendar days determined by and at the discretion of the department head, to meet with or communicate with the department head to provide proof of abatement.
- B. The violation notice shall be posted on the property and delivered by U.S. mail to the property owner listed on the county's tax roll. The failure of any owner to receive the violation notice shall not affect in any manner the validity of any proceeding thereafter taken. A follow-up inspection may be conducted by the department head to determine compliance with the violation notice.

(Ord. No. 706, § 1, 3-17-2009)

8.12.110 - Appeal of the abatement order.

A written appeal to an abatement order may be filed with the department head. The appeal must be received five business days prior to the abatement order hearing date. If an appeal is timely received, a hearing officer shall hear and consider all objections to the abatement order. All property owners and occupants shall be given the opportunity to have their objections heard and given due consideration. At the conclusion of the hearing, the hearing officer shall allow or overrule the proposed abatement order. If owners or occupants do not attend the appeal hearing, the hearing officer may order abatement of the property without further notice or proceeding.

If an owner or occupant is aggrieved by the hearing officer's decision concerning the appeal, a written appeal to the hearing officer's decision may be filed with the city manager within five working days after the conclusion of the first appeal hearing. The city manager shall hear and consider all objections to the abatement order. The property owner and occupants shall be given the opportunity to have their objections heard and given due consideration. At the conclusion of the hearing, the city manager shall allow or overrule the proposed abatement order. The city manager's decision shall be final.

(Ord. No. 706, § 1, 3-17-2009)

8.12.120 - Contract award.

If an owner or occupant fails to comply with the abatement order, the department head shall have abatement work done under a contract let to a responsive and responsible bidder, as those terms are applied under the California Public Contract Code. A contract may include work on more than one parcel.

(Ord. No. 706, § 1, 3-17-2009)

8.12.130 - Abatement.

Pursuant to California Code of Civil Procedure section 731, the city attorney, shall pursue all legal means to obtain a civil or criminal judgment and order to abate that shall specifically indicate the time and manner of abatement.

(Ord. No. 706, § 1, 3-17-2009)

8.12.140 - Violation penalties, cost assessments, and fines.

Any person who causes or permits any weeds or rubbish to accumulate or remain on any property within city limits after the allotted days of the abatement notice, shall be guilty of an infraction and shall be liable for costs and expenses to abate the property.

(Ord. No. 706, § 1, 3-17-2009)

8.12.150 - Fines.

Any person who is guilty of an infraction under this chapter shall incur fine(s) as follows:

1. All posting and mailing abatement notices shall incur a \$50.00 fee. If owners or occupants comply with the abatement order within the allotted days, the \$50.00 fee shall be waived. Every violation determined to be an infraction is punishable by (1) a fine not exceeding \$100.00 for a first violation; (2) a fine not exceeding \$200.00 for a second violation of the provisions of this ordinance within one year; (3) a fine not exceeding \$500.00 for each additional violation of this chapter within one year. Notwithstanding any other provision of law, a violation of the city's building and safety codes determined to be an infraction is punishable by (1) a fine not exceeding \$100.00 for a first violation; (2) a fine not exceeding \$500.00 for a second violation of this ordinance within one year; (3) a fine not exceeding \$1,000.00 for each additional violation of this ordinance within one year of the first violation. All fees set forth in this section are initial amounts and are presented here for reference only. Actual fees shall be those set forth in the city's master fee schedule, which may be adjusted from time to time by resolution of the city council.
2. In addition to the penalties, any additional violation within the one-year period may be charged as a misdemeanor punishable as provided in chapter 1.08.

(Ord. No. 706, § 1, 3-17-2009)

8.12.160 - Fire suppression costs.

If there exists upon the lands of any person in violation of this chapter, a fire involving the burning of any vegetation or rubbish, the fire department shall go upon the lands and perform its regular duties to extinguish such fire or combustion. Any costs incurred by the fire department in fighting the fire and for the cost of providing rescue and emergency medical services shall be charged to the property owner consistent with the applicable charges set forth in the city's master fee schedule.

(Ord. No. 706, § 1, 3-17-2009)

8.12.170 - Assessment of costs—Entering on tax roll.

A certified copy of the report detailing the costs of abatement shall be filed with the county auditor and such parcels reported shall be described by their descriptions in the county assessor's map books for the current year, and it shall thereupon be the duty of the county auditor to enter each assessment as so reported on the county tax roll opposite the parcel of land.

(Ord. No. 706, § 1, 3-17-2009)

8.12.180 - Assessment of costs—Collection.

The amount of the assessment shall be collected with, at the same time and in the same manner as ordinary municipal taxes, by the county tax collector, and if delinquent shall be subject to the same penalties and procedure of foreclosure and sale provided for ordinary municipal taxes. All laws relating to the levy, collection and enforcement of county taxes shall apply to such special assessment taxes.

(Ord. No. 706, § 1, 3-17-2009)

8.12.190 - Private removal unimpaired.

Nothing contained in this chapter shall be construed to prevent a property owner from removing a public nuisance before the date of abatement, or to pay to the city, the amount due on any assessment prior to the said assessment being delivered to the county auditor.

(Ord. No. 706, § 1, 3-17-2009)

8.12.200 - Recovery of attorney fees for nuisance abatement actions or proceedings.

In any action, administrative proceeding, or special proceeding initiated by the city to abate a nuisance, the prevailing party may recover attorneys' fees. Recovery of attorneys' fees by the prevailing party is limited to those individual actions or proceedings in which the city elects, at the initiation of that individual action or proceeding, to seek recovery of its own attorneys' fees. The award of attorneys' fees to the prevailing party shall in no circumstances exceed the amount of reasonable attorneys' fees incurred by the city in the action or proceeding.

(Ord. No. 706, § 1, 3-17-2009)

8.12.210 - Recovery of treble damages.

Upon entry of a second or subsequent civil or criminal judgment within a two-year period finding that a property owner is responsible for a condition which may be abated as a nuisance, the court may order the property owner to pay treble (three times) the cost of abatement. This section shall not apply to conditions abated pursuant to section 17980 of the California Health and Safety Code.

(Ord. No. 706, § 1, 3-17-2009)

Chapter 8.13 - ABANDONED AND DISTRESSED RESIDENTIAL PROPERTIES REGISTRATION

8.13.010 - Purpose and findings.

It is the purpose and intent of the city council, through the adoption of this chapter, to establish an abandoned and distressed residential property registration program as a mechanism to protect residential neighborhoods from becoming blighted through the lack of adequate maintenance and security of abandoned properties and to establish uniform and reasonable regulations to prevent immediate risks and detrimental effects associated with abandoned and distressed properties.

The city council finds that abandoned and distressed residential properties pose risks to the public peace, health and safety of citizens in that the detrimental effects from the lack of security and maintenance of abandoned and distressed residential properties endangers children unprotected from unsecured pools and other attractive nuisances, leads to neighborhood decline, contributes to lower property values, discourages potential buyers from purchasing a home adjacent to or in the neighborhoods with abandoned and distressed residences, and further endangers neighborhoods affected by the resulting squatting, vandalism, burglaries and other crimes.

The city council further finds that the city will incur additional costs in administering and implementing the abandoned and distressed residential properties registration program and that it is in the best interests of the public for the city to recover the said costs through imposition of a registration fee.

(Ord. No. 707, § 1, 3-17-2009)

8.13.020 - Definitions.

The following terms and phrases, whenever used in this chapter, shall be construed as defined in this section:

- A. "Abandoned property" means a residential property that is vacant and is under a current notice of default and/or notice of trustee's sale, pending tax assessor's lien sale, or a residential property that has been the subject of a foreclosure sale where the title was retained by the beneficiary of a deed of trust involved in the foreclosure, or a residential property transferred under a deed in lieu of foreclosure/sale.
- B. "Accessible property" means an abandoned property, and any structure or building on the abandoned property, that is accessible through a compromised, breached or broken gate, fence, wall, window, door, and similar entry points and/or is unsecured in such way as to allow access to interior space by unauthorized person or trespasser.
- C. "Agreement of sale" means any agreement or written instrument which provides that title to residential property shall be transferred or conveyed from one owner to another owner after the sale, trade, transfer or exchange.
- D. "Beneficiary" means a lender under a note secured by a deed of trust. Beneficiary shall also include beneficiary's authorized agent, property management company or property manager.
- E. "Buyer" means any person, partnership, co-partnership, association, corporation, fiduciary or any entity that agrees to transfer anything of value in consideration for property described in the agreement of sale, as defined in this chapter.
- F. "Days" means consecutive calendar days.
- G. "Deed of trust" means an instrument, describing the real property and by which title to real property is transferred to a third party trustee as security for repayment of a real property loan or an obligation. This definition applies to any and all subsequent deeds of trust, including but not limited to second trust deed, third trust deed, etc.
- H. "Deed in lieu of foreclosure/sale" means a recorded document that transfers ownership of a property from the trustor to the holder of a deed of trust upon consent of the beneficiary of the deed of trust.
- I. "Default" means the failure to fulfill a contractual obligation, whether monetary or conditional.
- J. "Distressed property" means a residential property that is occupied by a person(s) having the right to use or having right of possession of the property and under a current notice of default and/or notice of trustee's sale or pending tax assessor's lien sale or has been foreclosed upon by the trustee or has been conveyed to the beneficiary or trustee via deed in lieu of foreclosure/sale.
- K. "Evidence of vacancy" means any condition that on its own, or combined with other conditions present, would lead a reasonable person to believe that the property is vacant. Such conditions include, but are not limited to, overgrown and/or dead vegetation, accumulation of newspapers, circulars, flyers and/or mail, past due utility notices and/or disconnected utilities, accumulation of trash, junk and/or debris, the absence of window coverings such as curtains, blinds and/or shutters, the absence of furnishings and/or personal items consistent with residential habitation, and/or statements, based on observations by neighbors, passersby, delivery agents, government employees that the property is vacant.
- L. "Foreclosure" means the process by which a property, placed as security for a real estate loan, is sold at an auction to satisfy the debt if the trustor (borrower) defaults.
- M. "Landscape" includes, but is not limited to, grass, ground covers, bushes, shrubs, hedges or similar plantings, decorative rock or bark or artificial turf/sod designed specifically for residential installation. Landscape does not include weeds, gravel, broken concrete, asphalt, decomposed granite, plastics sheeting, mulch, indoor-outdoor carpet or any similar material.

- N. "Landscape maintenance" includes, but is not limited to, regular watering, irrigation, cutting, pruning, mowing and removal of all trimmings of required landscape.
- O. "Local" means within 40 road/driving miles distance of the abandoned or distressed property.
- P. "Neighborhood standard" means those conditions that are present on a simple majority of properties within a 300-foot radius of a distressed or abandoned property. The abandoned or distressed property that is the subject of a neighborhood standard comparison, or any other abandoned property within the 300-foot radius, shall not be counted toward the simple majority.
- Q. "Notice of default" means a recorded notice that a default has occurred under a deed of trust and that the beneficiary intends to proceed with a trustee's sale.
- R. "Out-of-area" means in excess of 40 road/driving miles distance of the subject property.
- S. "Owner" means any person, partnership, co-partnership, association, corporation, fiduciary or any other legal entity having a legal or equitable title or any interest in the property.
- T. "Owner of record" means the person, partnership, co-partnership, association, corporation, fiduciary or any other legal entity having recorded title to real property at any given point in time the record is provided by the Solano County Recorder's Office.
- U. "Residential property" means any improved real property, or portion thereof, situated in the city, designed, built or permitted to be used for dwelling purposes, specifically including the buildings and structures located on such improved real property. This includes any real property being offered for sale, trade, transfer, or exchange as "residential" whether or not it is legally permitted or zoned for such use.
- V. "Responsible person" shall also include beneficiary and trustee, as defined in this chapter.
- W. "Secured" means treated with such measures as may be directed by city manager or his/her designee that assist in rendering the abandoned property inaccessible to unauthorized persons, squatters, trespassers, including, but not limited to, the closure, locking, pad-locking, chaining, repair and/or boarding of fence(s), wall(s), gate(s), window(s), door(s) (walk-through, sliding and/or garage), and/or other openings of such size that may allow a child access to the interior of the accessible property. In case of broken windows, secured includes the re-glazing or boarding of a window. Boarding shall be completed to a minimum of the current United States Department of Housing and Urban Development (HUD) securing standards at the time the boarding is completed or required, and shall additionally require painting the boards with an exterior grade paint that matches the color of the accessible property.
- X. "Trustee" means the person, partnership, co-partnership, association, corporation, or fiduciary holding a deed of trust on a property. Trustee shall include any authorized agent, property management company or property manager of a trustee.
- Y. "Trustor" means a borrower under a deed of trust, who deeds property to a trustee as security for the payment of a debt.
- Z. "Vacant" means a building/structure that is not legally occupied.

(Ord. No. 707, § 1, 3-17-2009)

8.13.030 - Inspection, registration and fees.

- A. Inspection and Registration. Any beneficiary or trustee, who holds a deed of trust on a property located within the city, shall perform an inspection of the property that is the security for the deed of trust, upon default by the trustor and prior to recording a notice of default with the Solano County Recorder's Office.
 - 1. If the property is found to be vacant or shows evidence of vacancy, it is, by this chapter, deemed abandoned and the beneficiary or trustee shall, within ten days of the inspection or the

date of vacancy, whichever is earliest, register the property with the city manager or his/her designee on forms provided by the city.

2. If the property is occupied but remains in default, it shall be deemed distressed, and it shall be inspected by the beneficiary or trustee, every 15 days until either (1) the trustor or another party remedies the default; or (2) it is found to be vacant or shows evidence of vacancy, at which time it is deemed abandoned, and the trustee shall, within ten days of that inspection or the date of vacancy, register the property with the city manager or his/her designee on forms provided by the city.
- B. Contents of Registration. The registration required under this chapter shall contain: 1) the name of the beneficiary/trustee (co-partnership, partnership, association, fiduciary, corporation, any legal entity or an individual); 2) the direct street/office mailing address of the beneficiary/trustee, excluding P.O. boxes; 3) a direct contact name and phone number for the beneficiary/trustee; and 4) in the case of a corporation or out-of-area beneficiary/trustee, the local property management company responsible for the security, maintenance and marketing of the property. Any change of the information in the registration required under this paragraph shall be reported within ten days of the change.
 - C. Registration Fee. The fee for registering an abandoned residential property shall be set by Resolution of the city council. An annual registration fee shall accompany the registration form. The imposed fees may not be passed on to other than the holder of the deed of trust. The abandoned residential properties registration fee will be used to finance the cost of inspection, administering and enforcement under this chapter. The fee and registration shall be valid for the calendar year, or remaining portion of the calendar year, in which the registration was initially required. Subsequent registrations are due January 1st of each year and must be received no later than January 31st of the year due. Properties subject to this chapter shall remain under the annual registration requirement, security and maintenance standards of this chapter as long as the properties remain vacant.
 - D. Out-of-Area Trustee/Beneficiary. An out-of-area beneficiary or trustee shall retain a local representative for the holder of the deed of trust, which shall inspect the property as required by this chapter to determine whether the abandoned property is in compliance with the requirements of this chapter.
 - E. If any beneficiary or trustee fails to register the residential property, as required by this chapter, the city may register the residential property and impose the annual registration fee. Notice shall be provided pursuant to section 8.13.090 except that notice shall be provided to: 1) beneficiary or trustee, prior to completion of foreclosure or deed in lieu of foreclosure/sale transaction; or 2) to owner or owner of record after completion of foreclosure or deed in lieu of foreclosure sale transaction, as the address appears on the recent tax assessor's records or as known to the city manager or his/ her designee. The notice shall provide the amount due for the registration fee, shall state that the property has not been registered as required by this chapter and shall constitute enrollment in the city's abandoned residences registration program. The city may collect any unpaid registration fee by use of any method authorized by law.

(Ord. No. 707, § 1, 3-17-2009)

8.13.040 - Maintenance requirements.

Abandoned property shall be maintained in a manner comparable to the neighborhood standard. The property must be ready to be appraised and sold. At minimum:

- A. Abandoned property shall be maintained so as to be kept free of evidence of vacancy;
- B. Abandoned property shall be maintained free of weeds, dry brush, dead vegetation, trash, junk, debris and excessive foliage growth that diminishes the value of surrounding properties;

- C. Abandoned property shall be maintained free of mosquito larvae from growing in standing water;
- D. Abandoned property shall be maintained free of any building materials, any accumulation of newspapers, circulars, flyers, notices (except those required by federal, state or local law), discarded personal items, including but not limited to furniture, clothing, large and small appliances, printed material or any other items that give the appearance that the property is abandoned;
- E. Abandoned property shall be maintained free of graffiti, tagging or similar markings by removal or painting over with an exterior grade paint that matches the color of the exterior of the structure, following a notice pursuant to section 8.13.090 or notice pursuant to California Civil Code Section 2929.3, whichever is applicable.
- F. Maintenance of abandoned properties shall include landscape maintenance of visible front and side yards; and
- G. Pools and spas shall either (a) be kept in working order so the water remains clear and free of pollutants and debris; or (b) drained and kept dry. In either case, properties with pools and/or spas must comply with the minimum security fencing requirements of the State of California.

Adherence to this section does not relieve the beneficiary/trustee or owner of any obligations set forth in any local, state or federal laws or any covenants, conditions and restrictions and/or homeowners' association rules and regulations which may apply to the property.

(Ord. No. 707, § 1, 3-17-2009)

8.13.050 - Security requirements.

Any abandoned property shall be secured, as defined in this chapter. In addition, the abandoned property shall be secured in a manner that would prevent trespassers, squatters or unauthorized persons from entering and/or remaining on the property.

(Ord. No. 707, § 1, 3-17-2009)

8.13.060 - Declaration of public nuisance.

Pursuant to the city's police powers authorized in Article XI, Section 7 of the California Constitution, as well as under the City Code and other provisions of California law, including, but not limited to, California Government Code Section 38771, the city council hereby declares that violation of this chapter, including but not limited to the maintenance and security requirements of this chapter shall constitute a public nuisance.

(Ord. No. 707, § 1, 3-17-2009)

8.13.070 - Additional authority.

In addition to any other remedies authorized by the City Code and/or any other enforcement remedies permitted under the law, the city manager or his/her designee shall have the authority to require the beneficiary/trustee/owner and/or owner of record of any property affected by this section to implement additional maintenance and/or security measures including but not limited to securing any and all door(s), window(s) or other openings, installing additional security lighting, increasing on-site inspection frequency, employment of an on-site security guard or other measures as may be reasonably required to arrest the decline of the property.

(Ord. No. 707, § 1, 3-17-2009)

8.13.080 - Notice of violation.

- A. Whenever the city manager, or his/her designee or enforcement officer finds that a provision of this chapter has been violated, he or she may issue the responsible person a notice of violation ("NOV"). If an NOV is issued, it shall be served on the responsible person in the manner described in subsection B. of this section. The enforcement officer shall include the following information in the NOV:
1. The date and location of the violation, including the address or other description of the location where the violation occurred or is occurring and a brief description of the conditions observed that constitute a violation;
 2. The name(s) of the responsible person(s), if known;
 3. The chapter section(s) violated and a description of the section(s);
 4. Actions required to correct, abate or mitigate the nuisance condition or code violation, and a period of time during which action(s) shall be commenced and completed;
 5. A statement that the person upon whom the NOV is served may appeal the determination that there is/are violation(s) as alleged, that the person who was served with the NOV is the responsible person, or that the amount of any administrative fine or civil penalty imposed is warranted. The NOV will instruct the person being served as to the proper procedure and time frame for submitting an appeal;
 6. If applicable, notice that failure to correct or abate the listed violations in the NOV within the time specified will subject the responsible person to a civil penalty pursuant to section 8.13.100. If a penalty will be imposed, the NOV shall include the amount of the penalty; and
 7. The signature of the citing enforcement officer and city contact information (address, telephone number) for additional information.
- B. The NOV shall be served upon the responsible person personally or by United States mail, first-class postage prepaid, and if by such mail, it shall be sent to the last known address listed on the most recent tax assessor's records or as known to the city manager or his/her designee. In the case of personal service, service shall be deemed complete at the time of such delivery. In the case of service by first-class mail, service shall be deemed complete at the time of deposit into the United States mail. Where service is by first-class mail, a copy of the NOV shall also be conspicuously posted at the affected property when reasonably practicable for a period of not less than three calendar days prior to the first date that commencement of corrective action or abatement is to be undertaken. The failure to receive an NOV sent via first-class mail shall not affect the validity of any enforcement proceedings under this chapter.
- C. Proof of service shall be certified by a written declaration under penalty of perjury executed by the person effecting service, declaring the date, time, and manner of service, and the date and place of posting, if applicable. The declaration shall be affixed to a copy of the NOV and retained by the enforcement officer.
- D. The failure of an NOV to satisfy all of the requirements of this provision shall not affect the validity of any other enforcement proceedings under this Code.

(Ord. No. 707, § 1, 3-17-2009)

8.13.090 - Civil penalty imposed.

- A. Pursuant to California Civil Code Section 2929.3, the city, may impose a civil penalty in the amount not to exceed \$1,000.00 per day for failure to maintain and secure the abandoned property, as

required by this chapter, provided that notice requirements of Civil Code Section 2929.3 are satisfied as follows:

1. The city first issues a NOV, as provided in section 8.13.090, which also states that the city shall impose the civil penalty pursuant to this section if actions necessary to address the violation(s) at the abandoned property are not commenced within a period of not less than 14 days and completed within a period of not less than 30 days, from the date of mailing of NOV; and
 2. In addition to requirements of section 8.13.090, the NOV shall be mailed to the address provided in the deed of trust or other instrument specified in California Government Code Section 27321.5(a), or if none, to the return address provided on the deed or other instrument.
- B. The city shall not impose a civil penalty pursuant to this section together with administrative citations or fines authorized by chapter 8.12.
- C. The civil penalty imposed by this section shall stay in effect until January 1, 2013, the expiration date of Section 2929.3 of California Civil Code, unless extended by the state legislature.
- D. The civil penalty may not be passed on to other than the holder of the deed of trust.

(Ord. No. 707, § 1, 3-17-2009)

8.13.100 - Violation/penalty.

Violations of this chapter shall be treated as a strict liability offense regardless of intent.

(Ord. No. 707, § 1, 3-17-2009)

8.13.110 - Enforcement.

In addition to section 8.13.100, violations of this chapter may be enforced in any combination as permitted by the City Code and any other enforcement and legal remedies available to the city under the law. However, in no event shall the city impose a civil fine pursuant to section 8.13.100, together with administrative citations or fines authorized by chapter 1.20.

(Ord. No. 707, § 1, 3-17-2009)

8.13.120 - Appeals.

Any person aggrieved by any of the requirements of this section may appeal insofar as such appeal is permitted under the applicable sections of chapter 8.12. Any person aggrieved by the imposition of a civil penalty pursuant to section 8.13.100, may appeal the penalty pursuant to procedures for an appeal of administrative citations, as provided in sections 1.20.070 through 1.20.110 of chapter 1.20.

(Ord. No. 707, § 1, 3-17-2009)

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City Council Meeting

MARCH 19, 2019



Residential Yards and Parking Ordinance



- Background
- Title 8
- Title 18 and Waterfront District Specific Plan
- What are Other Communities Doing?
- City Council Action
- Next Steps



Background

- Zoning Ordinance Update Adoption
- 2018 Zoning Ordinance Revisions
- Urgency Ordinances
- Meetings with Residents
- Tonight's Public Hearing

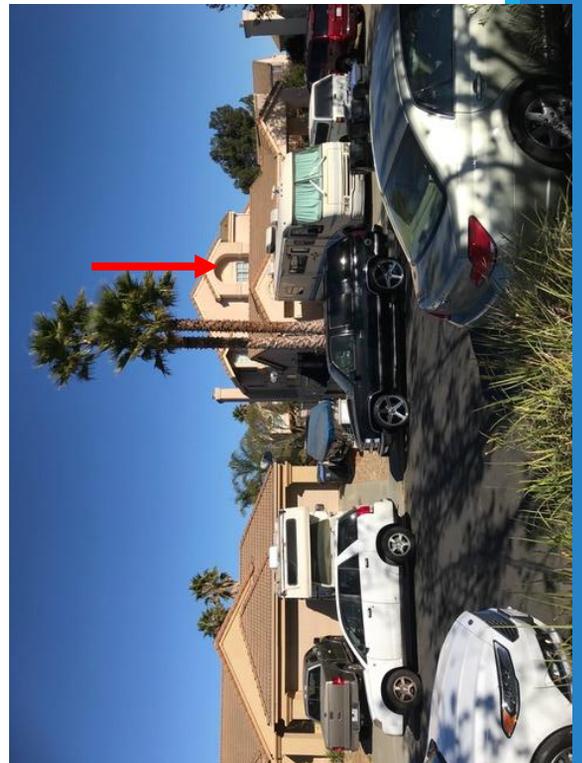


Item 10
Attachment 4





Item 10
Attachment 4





Title 8 “Public Health and Safety”

Section 8.12 and 8.13





Title 18 and Waterfront District Specific Plan



- Section 18.36.070
- Repeal existing and Replace with proposed language
- Section 18.04
- Section 6.2.3.C “Landscaping”
- Section 6.2.3.D “Maintenance of Structures and Premises”



What Are Other Communities Doing?

- Common application of regulations;
- City of Martinez.
- City of Walnut Creek.
- Cities of Chino Hills, Chula Vista and Garden Grove.





City Council Action

1. Ordinance No. ___; An Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.



Staff Recommendation

It is recommended that the City Council:

1. Introduce and Waive Reading of Ordinance No. ____: An Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.



AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: PUBLIC HEARING:

- a) Council Introduce and Waive Reading of Ordinance No. ___: Amending Section 2.16 of the Suisun City Code to Update Parks and Recreation Commission; and
- b) Council Adoption of Resolution No. 2019-__: Approving Compensation for Members of the Parks and Recreation Commission (Recreation, Parks, Marina, and Arts Commission).

FISCAL IMPACT: There would be no fiscal impact at this time.

BACKGROUND:

- a) The Parks and Recreation Commission currently serve as an advisory body to the Suisun City Council. Their objective is to make recommendations to the Recreation, Parks, and Marina Department Director as well as the City Council regarding, parks, recreation facilities, recreation programs, operational policies, grants, and personnel needs. Over the past year there have been changes to the department previously known as Recreation and Community Services. Those changes included the development of a new department title, Recreation, Parks, and Marina Department (RPM). There is a desire by the City Council and the community to have an emphasis placed on the Arts in Suisun City. This would include but not be limited to the performing arts, public art, visual art, musical art, spoken word, literary art, and other art forms that would enhance the community.
- b) The current compensation for the Parks and Recreation Commission is \$75 per month and was established by Resolution 2008-02, January 2, 2008. The current compensation for the Planning Commission is \$100 per meeting per City Council Resolution 2008-02.

STAFF REPORT:

- a) Updating Suisun City Code Section 2.16, Parks and Recreation Commission would address the need for an advisory body to represent the arts for Suisun City. Also updating section 2.16 to coincide with the current branding of the Recreation, Parks, and Marina Department, the Parks and Recreation Commission would become the Recreation, Parks, Marina, and Arts Commission (RPMA). By adding a new function of advisory authority to the Commission, there would be a need to expand the number of commissioners from five (5) to seven (7) members. These two additional members should have interest or experience in the arts.

Updates to the section 2.16 of the Suisun City Code would include:

- Amending the name from the Parks and Recreation Commission to Recreation, Parks, Marina, and Arts Commission (RPMA)
- Amending the affiliated department from Recreation and Community Services Department to Recreation, Parks, and Marina Department

PREPARED BY:

Kris Lofthus, Recreation, Parks, and Marina Director

REVIEWED AND APPROVED BY:

Richard J. Ramirez, Interim City Manager

- Amending the title of the staff liaison from Recreation and Community Services Director to Recreation, Parks, and Marina Director
 - Amending the membership from five (5) members to seven (7) members
 - Update section 2.16.050 Terms and Vacancies to keep the staggered terms equitable, having four terms expire on odd years with the remaining three appointments expiring in the next successive odd year
- b) As the Parks and Recreation Commission becomes the Recreation, Parks, Marina, and Arts Commission, expands membership, and accepts further advisory responsibilities from the City Council, the compensation should be equivalent to that of the Planning Commission at \$100 per commissioner, per meeting.

STAFF RECOMMENDATION: It is recommended that the City Council:

- a)
1. Open the Public Hearing; and
 2. Take Public Comment; and
 3. Close the Public Hearing; and
 4. Introduce and waive the reading of Ordinance No. ____: Amending Section 2.16 of the Suisun City Code to Update Parks and Recreation Commission
- b) Adopt Resolution 2019-__ Approving Compensation of Members of the Parks and Recreation Commission (Recreation, Parks, Marina, and Arts Commission)

ATTACHMENTS:

1. Ordinance No. ____: Amending Section 2.16 of the Suisun City Code to Update Parks and Recreation Commission
2. Resolution 2019-__ Approving Compensation of Members of the Parks and Recreation Commission (Recreation, Parks, Marina, and Arts Commission)

Chapter 2.16 –RECREATION, PARKS, MARINA, AND ARTS COMMISSION

ARTICLE I. - DEPARTMENT

2.16.010 - Established—Director.

A department of recreation, parks, and marina is established to be administered by the director of recreation, parks, and marina, who shall attend all commission meetings and act as lead staff in support of the commission in an ex-officio, non-voting status, under the direct supervision of the city manager, and governed through the establishment of policies recommended by the recreation, parks, marina, and arts commission and approved by city council.

(Ord. 661 Exh. A (part), 2002: Ord. 582 § 1, 1990: Ord. 511 § 2(part), 1985; Ord. 415 Art. I § 1, 1978)

ARTICLE II. - COMMISSION

2.16.020 - Established—Membership.

There is established a commission consisting of seven persons appointed by the mayor and approved by the city council.

(Ord. 661 Exh. A (part), 2002: Ord. 415 Art. II § 1, 1978)

2.16.030 - Qualifications.

All members of the recreation, parks, marina, and arts commission shall be residents of the city and possess a desire to serve the community.

(Ord. 661 Exh. A (part), 2002: Ord. 471 § 1, 1983: Ord. 415 Art. II § 2, 1978)

2.16.040 - Compensation.

All members of the commission shall receive compensation as determined by the city council.

(Ord. 661 Exh. A (part), 2002: Ord. 471 § 2, 1983: Ord. 415 Art. II § 3, 1978)

2.16.050 - Terms—Vacancies.

Members of the commissions shall serve terms of four years from last appointment year. Commissioners must re-apply for appointment if wanting to be considered for successive terms. Terms shall be staggered where four appointments shall be made, on odd years, after January 5th with the remaining three appointments in the next successive odd year after January 5th. Vacancies on the commission shall be filled for the unexpired term by appointment of the mayor with city council approval.

(Ord. 661 Exh. A (part), 2002: Ord. 471 § 3, 1983: Ord. 415 Art. II § 4, 1978)

2.16.060 - Organization.

The members of the commission shall meet and organize by electing one of its members as chairman and such other officers as may be necessary bi-annually thereafter on even years. Terms shall expire on

the first Wednesday in February of each even year. Elections shall be held at the first meeting in January of each even year.

(Ord. 661 Exh. A (part), 2002: Ord. 505 § 1, 1984: Ord. 415 Art. II § 5, 1978)

2.16.070 - Meetings.

One regular meeting of the parks and recreation commission shall be scheduled on the first Wednesday of each month, starting at seven p.m. Additional meetings may be scheduled by the chairman, and/or as directed by city council, on the third Wednesday of the month or as the chairman and/or city council determines necessary. All meetings must be posted seventy-two hours in advance and held in a public place.

(Ord. 661 Exh. A (part), 2002: Ord. 582 § 2, 1990: Ord. 415 Art. II § 6, 1978)

2.16.080 - Records.

The lead staff shall be responsible for preparing and maintaining documentation of all business, minutes, findings, correspondence and other matters coming before the commission.

(Ord. 661 Exh. A (part), 2002: Ord. 415 Art. II § 7, 1978)

2.16.090 - Failure to attend meetings.

If any commissioner fails to attend three meetings of the commission scheduled in any fiscal year without any such absence being excused by the commission, his or her office as commissioner shall automatically and immediately become vacant.

(Ord. 661 Exh. A (part), 2002: Ord. 471 § 4, 1983: Ord. 415 Art. II § 8, 1978)

2.16.100 - Powers and duties.

It is the power and duty of the recreation, parks, marina, and arts commission to:

- A. Make recommendations to the director of recreation, parks, and marina and public works regarding parks, recreation programs, grants, operational policies as applicable to parks and recreation, the marina, community art and cultural affairs, and recreational facilities under direction of either department;
- B. Make recommendations to the city council on matters pertaining to all aspects of public parks and facilities, public recreation, open space, public right-of way beautification projects, community art and cultural affairs, and personnel needed to assist the directors and commission;
- C. Assist in the planning, development and review of recreational facilities, public parks, public recreation, community art and cultural affairs, and services managed or provided by or offered through the recreation, parks, and marina and public works departments to meet the needs of the community;
- D. Work with the recreation, parks, and marina and public works department staff to identify unmet community services needs and to provide recommendations to development strategies to meet those needs;
- E. Provide a forum for the public to express their views related to public parks and recreation, parks, and marina department programs and services, and other related issues. Promote

interest, cooperation, and support among public and private organizations and agencies and local residents for the city's recreation programs;

- F. Interpret and convey, when applicable, the recreation, parks, and marina and public works department's policies and functions concerning programs for parks, recreation, and to encourage city residents to participate and/or utilize city programs, parks, facilities and services;
- G. Encourage cooperative programming between the recreation, parks, and marina department and other public and private organizations to enhance the efficiency and effectiveness of services provided;
- H. Make periodic inspections of parks and recreation facilities to report to the directors for corrections of unmet needs;
- I. Perform such other powers and duties as the city council may, by ordinance, resolution, or motion confer upon the commission;
- J. Provide an annual commission report to the city council.

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RESOLUTION NO. 2019 - ____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
APPROVING COMPENSATION FOR THE MEMBERS OF THE PLANNING
PARKS & RECREATION COMMISSION (RECREATION, PARKS, MARINA,
AND ARTS COMMISSION)**

WHEREAS, City Council has the authority to set the compensation of the Parks & Recreation Commissioners (Recreation, Parks, Marina, and Arts Commission) under section 2.16.040 of the Suisun City Code; and

WHEREAS, the City Council has the desire to create equity in compensation with the Suisun City Planning Commission; and

WHEREAS, Recreation and Parks Commission (Recreation, Parks, Marina, and the Arts Commission) will be accepting “art” as an additional advisory function; and

WHEREAS, Compensation has not been adjusted since January 2008;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SUISUN CITY DOES HEREBY RESOLVE that it approves the following adjustment to the compensation of the following elected or appointed officials:

- 1. Parks & Recreation Commissioners (Recreation, Parks, Marina, and Arts Commission) - \$100.00 per meeting.

BE IT FURTHER RESOLVED that these increases shall take effect April 1, 2019.

PASSED AND ADOPTED by the following vote at a regular meeting of the City Council of the City of Suisun City duly held on the 19th day of March 2019:

AYES:	Council Members:	_____
NOES:	Council Members:	_____
ABSENT:	Council Members:	_____
ABSTAIN:	Council Members:	_____

WITNESS my hand and the seal of said City this 19th day of March 2019.

Linda Hobson, CMC
City Clerk

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AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: Council Adoption of Resolution No. 2019 - ____: Accepting the 2018 Annual Progress Report of the Suisun City General Plan and Housing Element.

FISCAL IMPACT: There would be no fiscal impact associated with adoption of the proposed Resolution. Failure to adopt the Resolution could result in the loss of future grant funding.

BACKGROUND: The Annual Report on the General Plan has been prepared in response to the California Government Code, which requires that the planning agency shall: “Provide an annual report each year, to the legislative body, the Office of Planning and Research, and the Department of Housing and Community Development regarding the status of the plan and progress in its implementation, including the progress in meeting its share of regional housing needs.”

STAFF REPORT: An Annual Report is required for all General Plans by California Government Code Section 65400(b), which states, “the planning agency shall provide an annual report to the legislative body on the status of the plan and progress in its implementation, including the progress in meeting its share of regional housing needs...”

The General Plan represents Suisun City’s future vision of the City in the year 2035. The Plan identifies the general location for future land uses, including residential, commercial, and industrial areas, and desired population and building densities throughout the community. The Plan states future goals for Community Character and Design, Land Use, Transportation, Economic Development, Housing, Open Space and Conservation, Community Facilities and Services, and Public Health and Safety.

The report describes the City’s progress in implementing the policies and programs of the General Plan, as well as the City’s progress on providing its share of the Regional Housing Needs Allocation. The report is divided into topic areas based on the City’s General Plan Elements.

The Annual Report informs the Planning Commission, the City Council, and State agencies about the progress in implementing the Suisun City General Plan during the calendar year 2017. This report is the 4th annual report since the City Council adopted the 2035 General Plan Update and 2015-2023 Housing Element, respectively in May 2015.

Projects implementing the General Plan during 2018 included:

PREPARED BY:

John Kearns, Senior Planner

REVIEWED BY:

Tim McNamara, Development Services Director

REVIEWED/APPROVED BY:

Richard J. Ramirez, Interim City Manager

- **Community Character and Design Element**
 - Title 18 “Zoning” Amendments (May 2018).
 - Waterfront District Specific Plan Amendments (October 2018).
 - Neighborhood Reinvestment and Façade Improvement Program.

- **Land Use Element**
 - Title 18 “Zoning” Amendments (May 2018).
 - Waterfront District Specific Plan Amendments (October 2018).
 - Processing of a project in the Special Planning Area.
 - Processing of Mt. Calvary Baptist Church project and environmental review.
 - Approval of Jubilee Commercial development project.
 - Approval of Zip-Thru Carwash development project.
 - Approval of Parcel 14 Residential development project.

- **Transportation**
 - Initiation of McCoy Creek Trail Phase 2 environmental initiation.
 - Adoption of amendments to Waterfront District Specific Plan.
 - Rectangular Rapid Flashing Beacon (RRFB) Installation Project.
 - Railroad Avenue Pavement Rehabilitation Project.
 - Measure S/Senate Bill 1 (SB1) 2019 Pavement Rehabilitation Project.

- **Economic Development**
 - Processing of Holiday Inn Express building permit.
 - Adoption of Title 18 “Zoning” amendments.
 - Adoption of amendments to Waterfront District Specific Plan.
 - Adoption of “Cannabis Regulatory Program” Ordinance.
 - Approval of Parcel 14 Residential Project.
 - Processing of Heritage Park Sign District.
 - Building Permit Issuance of 4 Live/Work units in Gray Hawk Subdivision.
 - Final of 11 residential permits.

- **Housing Element**
 - Adoption of Title 18 “Zoning” clean-up ordinance.
 - Approval of Parcel 14 residential project.
 - Permitting of remaining units in Gray Hawk Subdivision.

- **Open Space and Conservation**
 - Habitat Conservation Plan (HCP) DEIR issued for review.

- **Community Facilities and Services**
 - Marina Fire Suppression System Replacement Project.
 - Marina Fuel System Upgrade Project.

- **Public Health and Safety**
 - Flood control projects.

As required by State law, staff also prepared the Annual Report in the Housing Element for submission to HCD. The report summarized progress toward the goals and policies of the 2015-2023 Housing Element.

STAFF RECOMMENDATION: Staff recommends that the Commission adopt Resolution No. 2019 - ____: Accepting the 2018 Annual Progress Report of the Suisun City General Plan and Housing Element.

ATTACHMENTS:

1. Resolution No. 2019 - ____: Accepting the 2018 Annual Progress Report of the Suisun City General Plan and Housing Element.
 - A. Annual Progress Report CY 2018.
 - B. Annual Housing Progress Report CY 2018.

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RESOLUTION NO. 2019 - ____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
ACCEPTING THE 2018 ANNUAL PROGRESS REPORT OF THE SUISUN CITY
GENERAL PLAN AND HOUSING ELEMENT**

WHEREAS, On May 5, 2015, the City Council adopted the 2035 General Plan Update; on May 19, 2015, the City Council adopted the 2015-2023 Housing Element, on November 1, 2016 the City Council adopted the Waterfront District Specific Plan and on March 21, 2017 the City Council adopted a Comprehensive Amendment to Title 18 of the Suisun City Code; and

WHEREAS, An Annual Report is required for all General Plans by California Government Code Section 65400(b), which states “the planning agency shall provide an annual report to the legislative body on the status of the plan and progress in its implementation, including the progress in meeting its share of regional housing needs...”; and

WHEREAS, Staff has presented the Annual Report on the General Plan for 2018 to the City Council, and the City Council has reviewed said Annual Report; and

WHEREAS, The Annual Report is not considered a project under the provisions of the California Environmental Quality Act (CEQA); and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Suisun City that based on its review, the City Council accepts the 2018 Annual Report on the Suisun City General Plan (Exhibit A) and Housing Element (Exhibit B); and

BE IT FURTHER RESOLVED that the record of proceedings shall be located at the City Manager’s Office, and that the City Clerk shall be the custodian of such documents.

PASSED AND ADOPTED by the following vote at a regular meeting of the City Council of the City of Suisun City duly held on the 19th day of March 2019:

AYES:	Council Members:	_____
NOES:	Council Members:	_____
ABSENT:	Council Members:	_____
ABSTAIN:	Council Members:	_____

WITNESS my hand and the seal of said City this 19th day of March 2019.

Linda Hobson, CMC
City Clerk

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2018 ANNUAL GENERAL PLAN

PROGRESS REPORT

City or County Name:
City of Suisun City

Mailing Address:
701 Civic Center Boulevard
Suisun City, CA 94585

Contact Person:
John Kearns
Senior Planner

Phone:
(707)-421-7335

Fax:
(707)-429-3758

E-mail:
jkearns@suisun.com

Reporting Period by Calendar Year:
From January 1, 2018 to December 31, 2018

Submitted to:

Governor's Office of Planning and Research
P.O. Box 3044

INTRODUCTION AND PURPOSE OF THE ANNUAL REPORT

An Annual Report is required for all General Plans by California Government Code Section 65400(b), which states “the planning agency shall provide an annual report to the legislative body on the status of the plan and progress in its implementation, including the progress in meeting its share of regional housing needs....”

The General Plan represents Suisun City’s future vision of the City in the year 2035. The Plan identifies the general location for future land uses, including residential, commercial, and industrial areas, and desired population and building densities throughout the community. The Plan states future goals for Community Character and Design, Land Use, Transportation, Economic Development, Housing, Open Space and Conservation, Community Facilities and Services, and Public Health and Safety.

The report describes the City’s progress in implementing the policies and programs of the General Plan, as well as the City’s progress on providing its share of the Regional Housing Needs Allocation. The report is divided into topic areas based on the City’s General Plan Elements.

This is the 4th Annual Report prepared by the Development Services Department since the adoption of the 2035 General Plan in 2015. For further information or additional copies of the Report, please contact:

John Kearns, Senior Planner
City of Suisun City
Development Services Department
701 Civic Center Blvd.
Suisun City, CA 94585
707-421-7335
jkearns@suisun.com

Below is a brief description of projects that the City has begun or completed during CY 2018 that assisted in implementing both the 2035 General Plan and 2015-2023 Housing Element:

Community Character and Design Element

Title 18 “Zoning” Amendments. In May of 2018, the City Council adopted amendments to Title 18 “Zoning” as a clean-up to the previously adopted comprehensive update of March 2017.

Waterfront District Specific Plan Amendments. In October 2018, the City Council adopted amendments to the Waterfront District Specific Plan that amended the land use map as well as transportation diagrams. This is a follow up to the adoption of the Waterfront District Specific Plan of November 2016.

The **Neighborhood Reinvestment Program (NRP)** and the **Façade Improvement Grant for Suisun Businesses (FIGSB)** under the Keep Suisun City Clean Initiative led to widespread aesthetic improvements throughout the City. The total budget for both programs was \$75,000 with \$37,500 for each. The NRP resulted in 18 home improvements utilizing \$35,565 and the FIGSB resulted in 6 storefront improvements around the Waterfront District utilizing \$32,986.54.

Land Use Element

Title 18 “Zoning” Amendments. In May of 2018, the City Council adopted amendments to Title 18 “Zoning” as a clean-up to the previously adopted comprehensive update of March 2017.

Waterfront District Specific Plan Amendments. In October 2018, the City Council adopted amendments to the Waterfront District Specific Plan that amended the land use map as well as transportation diagrams. This is a follow up to the adoption of the Waterfront District Specific Plan of November 2016.

Mt. Calvary Baptist Church Project. Staff initiated environmental work on the proposed Mt. Calvary Baptist Church project which is East of Walters Road and North of Petersen Road. The Notice of Preparation (NOP) for the project is anticipated to be released in the Spring of 2019.

Jubilee Commercial. Entitlement granted for A gas station with 12 fueling stations under a 3,179 sf canopy; a 4,250 sf Convenience Store and a 3,870 sf retail building with up to four tenant spaces.

Zip Thru Carwash. Entitlements granted for a 6,100 square-foot car wash building in the Lawler Commercial area.

Main Street West Parcel 14. Entitlements granted for 71 single-family detached residences on the former Crystal Middle School property North of Cordelia Road.

Transportation

Sunset Avenue and Walters Road Improvements Project. The plans, specifications and estimates (PS&E) have been completed for this Project, which will install countdown pedestrian head modules at existing traffic signals on Sunset Avenue and on Walters Road. The Project will

also address the intersection of Sunset Avenue and Railroad Avenue East. This T-intersection is currently signalized and is located approximately 200 feet south of the active railroad track that separates Suisun City from Fairfield. When a train is present, the signal at this intersection indicates an all-red phase in all direction. The Project will modify the traffic signal to allow, when a train is present, vehicular traffic movement to turn southbound onto Sunset Avenue from westbound Railroad Avenue East. The project is anticipated to be completed in 2019.

State Route 12 Advance Warning Devices Project. The plans, specifications and estimates (PS&E) have been completed for this Project, which will install flashing advanced warning devices together with corresponding vehicular detection devices on eastbound Highway 12 between Pennsylvania Avenue and Marina Boulevard. During peak travel times, this section of Highway 12 has experienced stacking of stopped vehicles at the signal intersection of Highway 12 and Marina Boulevard. Those vehicles are not readily visible to those traveling eastbound on Highway 12 due to the crest of the existing overpass creating a visual block of the conditions at the intersection. These conditions cause this location have a higher probability of experiencing rear-end accidents between the moving vehicles and the vehicles stopped at the intersection. The goal of this Project is to alert eastbound motorists in this section of the stacked, stopped vehicles. The project is anticipated to be completed in 2019.

Suisun Marina Dredging and Pierce Island Rehabilitation Project. The plans, specifications and estimates (PS&E) were completed in 2017 for this Project, which will comprise of the following two phases of work:

Phase 1 - This phase of the project to rehabilitate Pierce Island to increase its capacity to accept dredged material from the surrounding slough and channels has been completed. The work included excavating material from the east pond and using the material to raise and stabilize the levee surround said pond. The existing weirs will also be repaired.

Phase 2 – This phase of the Project will dredge the surrounding slough and nearby channels so that these facilities continue to be navigable by boat and marine equipment. The dredged material from this activity will be deposited within the ponds in Pierce Island. This phase is anticipated to be completed in late 2019.

McCoy Creek Trail – Phase 2 Project. In 2017 this Project received a grant allocation in the amount of approximately \$4.1 million from the Active Transportation Program (ATP). In that same year, Field Review and Preliminary Environment Study (PES) documents were submitted to Caltrans, the grant administrator, to begin the process for a field review and determination of the extent of environmental work needed to clear the project. This Project will construct a 10-foot wide concrete pedestrian/bicycle path along McCoy Creek and Laurel Creek. The path alignment will begin at Pintail Drive and will run to the north along the west bank of McCoy Creek, and then across the creek with a prefabricated bridge, and then will run west along the north bank of the Laurel Creek to Blossom Avenue. This Project will also construct driveways, curb/gutter, fencing,

swing gates, steel railing, concrete bulb-outs, and rectangular rapid flashing beacons (RRFB) at intersections with roadways. Other improvements will include benches, trash receptacles, shade structures, education kiosk signs, monument signs, custom wayfinding signs, road signs, striping, and pavement markings. Preparation of plans, specifications, and estimates (PS&E) is anticipated to be completed in 2019. Construction is anticipated to begin and be completed in 2020.

Rectangular Rapid Flashing Beacon (RRFB) Installation Project. In 2018, the City received an allocation in Highway Safety Improvement Program (HSIP) Cycle 9 grant funding to install rectangular rapid flashing beacons at the following three locations: 1) Lawler Ranch Parkway between Fennie Way and Hillborn Way, 2) Merganser Drive fronting the Senior Center, and 3) Pintail Drive at Scoter Way, fronting the library and Suisun Elementary School. In addition to the RRFBs, improvements in Location #1 will include a high visibility crosswalk as well as associated curb ramps, striping and advance warning signs. Improvements may also include a curb bump out to reduce the pedestrian crossing distance at the proposed crosswalk. At Locations #2 and #3, the existing in-roadway lighted crosswalk system will be replaced with RRFBs. This project is anticipated to be completed in 2019.

Railroad Avenue Pavement Rehabilitation Project. In 2017, the City received an allocation of \$491,314 from the One Bay Area Grant Cycle 2 (OBAG 2) Surface Transportation Program (STP). The Program requires a local match of 11.47% or 63,654, which would come from OSSIP funds. The project will include digout repairs and asphalt concrete overlay in the eastbound lanes on Railroad Avenue between Village Drive and Sunset Avenue. The work scope will also include updating existing curb ramps to ADA-compliant curb ramps along that said street segment. Environmental clearance and the preparation of plans, specifications and cost estimates are anticipated to be completed in 2019, with construction being completed in 2020.

Measure S/Senate Bill 1 (SB1) 2019 Pavement Rehabilitation Project. The pavement in various streets throughout the City received either a slurry seal or a cape seal treatment in 2018. This included digout repairs and updating existing curb ramps to ADA-compliant curb ramps. This annual Measure S/SB1 pavement rehabilitation project will continue in 2019 with the preparation of a new streets list and the completion of pavement treatments and curb ramp upgrades.

Economic Development

The Neighborhood Reinvestment Program (NRP) and the Façade Improvement Grant for Suisun Businesses (FIGSB) under the Keep Suisun City Clean Initiative led to widespread aesthetic improvements throughout the City. The total budget for both programs was \$75,000 with \$37,500 for each. The NRP resulted in 18 home improvements utilizing \$35,565 and the FIGSB resulted in 6 storefront improvements around the Waterfront District utilizing \$32,986.54.

Housing Element

The Housing Element is the City's overall policy guide for housing development, including affordable and special needs housing. An update to the Regional Housing Needs Allocation

includes 16 units that were either built or had an issue permitted in the calendar year 2018. The remainder of the Housing Element progress can be found in Exhibit B.

Open Space and Conservation

Habitat Conservation Plan (HCP) DEIR issued for review. The Solano County Water Agency (SCWA) is the lead agency for this multi-jurisdiction habitat conservation plan. The City's partners include Fairfield, Vallejo, Vacaville, U.S. Fish and Wildlife, and California Department of Fish and Wildlife.

During 2018, work continued on the EIR/EIS, with submittal of the draft to the federal government. The U.S. Fish and Wildlife staff is currently reviewing the draft EIR/EIS. Completion is hopeful in 2019.

Community Facilities and Services

Marina Fire Suppression System Replacement Project. Construction on this project began and was completed in 2018. Prior to the start of construction on this project, the fire suppression system was not holding the water pressure to fight a fire on either the east or west docks of the marina. The completion of this project addressed that deficiency and provided additional updates to the fire suppression system. The work included removing and disposing the water suppression system; replacing the 3" fire main line with a 3" HDPE main line; adding new risers to the 1½" fire cabinets; adding risers to the 2½" Fire Department Connections (FDC); and testing the system and repairing any leaks.

Marina Fuel System Upgrade Project. The Suisun City Marina fuel system is located at the end of Walnut Street in the last berth of the main boat dock. The system is very old and needs to be upgraded to meet current standards. The project scope includes draining and removing the existing fuel in the lines; removing and disposing the fuel dispensers; providing new fuel unit; inspecting & repairing the sump containment; replacing fuel lines & all fittings; conducting a pressure test and connecting the system with current software system. Construction is anticipated to begin in the summer of 2019 and be completed by the end of the calendar year.

Public Health and Safety

Flood control projects (Annual). Staff completed routine removal of vegetation to ensure proper functioning and operation of channel runoff, existing water control facilities, or other structures necessary for public health, safety and benefit. The following activities took place in 2018: spraying, mowing/weed eating, debris removal, and limb pruning.

Please Start Here

General Information	
Jurisdiction Name	Suisun City
Reporting Calendar Year	2018
Contact Information	
First Name	John
Last Name	Kearns
Title	Senior Planner
Email	jkearns@suisun.com
Phone	(707) 421-7335
Mailing Address	
Street Address	528 Fortuna Drive
City	Suisun City
Zipcode	94585

Submittal Instructions

Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:

- 1. Online Annual Progress Reporting System (Preferred)** - This enters your information directly into HCD's database limiting the risk of errors. If you would like to use the online system, email APR@hcd.ca.gov and HCD will send you the login information for your jurisdiction. *Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is opr.apr@opr.ca.gov.*
- 2. Email** - If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at APR@hcd.ca.gov and to OPR at opr.apr@opr.ca.gov. Please send the Excel workbook, not a scanned or PDF copy of the tables.

v 2_26_19

Table B
Regional Housing Needs Allocation Progress
Permitted Units Issued by Affordability

Income Level	1										2	3	4
	2015	2016	2017	2018	2019	2020	2021	2022	2023	Total Units to Date (all years)	Total Remaining RHNA by Income Level		
Very Low													
Low													
Moderate													
Above Moderate													
Total RHNA	8	52	19	5						84		421	
Total Units	8	52	19	5						84		421	

Note: units serving extremely low-income households are included in the very/low-income permitted units totals
Cells in grey contain auto-calculation formulas

Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
1.A.1	Rezoning to accommodate Regional Housing Needs Allocation (RHNA)	January 2016 and May 2016	Completed/Ongoing. The Waterfront District Specific Plan was updated in November 2016, allowing for the rezones of Mixed Use to High Density Residential to accommodate the 204-unit shortfall for this cycle. The Zoning Ordinance was adopted in March 2017 and thus the proper zonings are in place. During the 2019 calendar year, the City will analyze the possibility of fee deferrals.
1.A.2	To acquire or obtain air rights to the Park n Ride property across from the Train Depot.	May 31 2016	The City has prepared a letter and begun engaging the State of California regarding this program.
1.A.3	To ensure adequate sites are available through the planning period to meet the City's RHNA.	Ongoing, as projects are proposed.	This program is ongoing and the City updated the Waterfront District Specific Plan in 2016 and its Zoning Ordinance in 2017.
1.B.1	As part of the process of assessing a proposed residential development, evaluate the potential to incorporate other uses within the project or in conjunction with the project, including but not limited to project-serving retail, job centers, or services such as child care.	Ongoing.	This program is ongoing.
1.C.1	Annually review and update the City's inventory of properties that are suitable for redevelopment/reuse and continue to identify the potential number of additional dwelling units on such sites based on the age, condition, and density of existing land uses in relation to zoning or specific plan requirements.	Post the Housing Element on the City's website as soon as it is adopted.	The Housing Element has been posted on the City's website and the City will continue to engage affordable housing developers.
1.C.2	Continue to provide regulatory and financial incentives to increase the probability that residences will be constructed in commercial zones, either as single use projects or in mixed-use developments, particularly within the Waterfront District Specific Plan.	The City will continue to work with developers to provide regulatory incentives including fee deferrals and flexible development standards as projects are submitted to the Development Services Department. The City will assist developers with securing additional financing as projects are submitted to the Development Services Department and funds are available.	This program is ongoing.
1.D.1	Review and adopt, as appropriate, a program requiring developers of residential development to either: (a) provide a percentage of their units at a below-market rent or prices; (b) pay a fee; (c.) propose alternative measures to meet their affordable housing requirements determined by an ordinance that will be drafted.	The City will review and adopt, as appropriate, an Inclusionary Housing Ordinance within one year of adoption of Housing Element.	This program is ongoing. Action on this program is expected in 2019.
1.E.1	Provide financial incentives to make construction of affordable housing for extremely low-, very low-, low-, and moderate-income households economically feasible by applying for state and federal subsidies.	Apply for additional funding as Notices of Funding Available (NOFAs) are released by the state. The City will post the Housing Element on the City's website as soon as it is adopted and contact affordable housing developers annually to provide them with a list of vacant and underutilized sites for the development of affordable housing (also see Program 1.C.1).	This program is ongoing. The City will continue to seek opportunities to apply for available funding.
1.E.2	Continue to seek interested nonprofit housing sponsors/developers to make use of available financing techniques for affordable housing projects for extremely low-, very low-, low-, and moderate income households. The City will identify for-profit and nonprofit housing developers interested in developing affordable housing in Suisun City.	Develop a list of for-profit and nonprofit housing developers by July 2015 and contact, annually or as funding for sites, potential projects, and funding is available.	This program has been completed.
1.E.3	Annually meet with representatives of Solano County, Vallejo, Fairfield, Vacaville, and/or other jurisdictions to determine interest in, and feasibility of, applying for a mortgage revenue bond or mortgage certification allocation.	If feasible, apply for the first allocation in 2016. If the program is successful, the City will apply for the second allocation in 2017.	Action on this program is expected in 2019.
1.F.1	Continue to implement the second dwelling unit ordinance that follows the requirements of state law (Government Code Section 65852.1) in allowing second dwelling units on any residential lot subject to ministerial review.	The City will amend the Zoning Ordinance to include the state law language that was passed in 2005 which removed discretionary review.	This program was satisfied with the adoption of the Zoning Ordinance in 2017.
1.F.2	Continue to allow construction of duplexes on corner lots and other flexible housing designs according to City Design Guidelines.	2015-2023, as projects are received through the Development Services Department.	This program is ongoing, but the City has not yet had an opportunity to implement.

1.G.1	Evaluate developemtn proposals based on development standards, the distinctiveness of design, and compatibility with existing residential development in the vicinity of the proposal. The City will evaluate the compatibility with the physical and environmental characteristics of the area in which a development proposal is to be located, and by using the specific plan and planned unit development processes, the City will encourage the distinctiveness of new residential neighborhoods.	2015-2023, as projects are received through the Development Services Department.	This program is ongoing.
1.H.1	Continue to use PUD zoning to offer greater housing choice for residents and greater flexibility for developers than in conventional zone districts.	2015-2023. Consider using PUD zoning where appropriate and as projects are submitted to the Development Services Department.	The City has continued to exmphasize the benefits of PUD Zoning.
1.1.1	As required by state law (Government Code Section 65400), annually review and evaluate the City's progress in meeting Housing Element objectives and prepare a report to the City Council on annual achievements...	Submit annual reports starting April 2015, and annually thereafter. The City will submit its adopted Housing Element to local an water providers upon adoption of this Housing Element.	The City has continued to report annually on the Housing Element. The adopted element has been provided to the Solano Irrigation District (SID) and Fairfield-Suisun Sewer District (FSSD).
2.A.2	Assist nonprofit housing corporations seeking to acquire and maintain privately owned, government-subsidized housing developments that could convert to market-rate housing under state or federal loan agreements. Acquisition will be negotiated sale.	2015-2023	This program is ongoing.
2.B.1	The Suisun City Housing Authority will continue to seek additional Section 8 vouchers for its very low-income residents to reduce the number of such households paying more than 30 percent of their incomes for housing expenses when funding for additional vouchers becomes available and the Authority is able to apply for such funding.	2015-2023	This program is ongoing and the Housing Authority will continue to seek additional vouchers.
3.A.1	Amend the Zoning Ordinance to specifically allow employee housing for six or fewer residents as a permitted use in residential zoning districts, in compliance with Health and Safety Code Section 17021.5.	December of 2015	This program was satisfied with the adoption of the Zoning Ordinance in 2017.
3.A.2	Provide information on state and federal fair housing laws, and refer discrimination complaints to the Fair Employment and Housing Commission.	Referral will occur on an as needed basis and information on the website will be ongoing. Information will be distributed to rental property owners, lenders and real estate agents annually.	This program has been satisfied and information posted on the City website.
3.A.3	Cooperate with nonprofit housing corporations and for-profit developers specializing in housing for adults 55 years of age and above to accommodate housing that meets the needs of this age group.	Use density bonus and Planned Unit Development (PUD) processes to facilitate the development of housing for older adults, as projects are proposed. Assist developers in locating sites and converting and retrofitting existing residential buildings annually. Provide rehabilitation assistance to older low-income homeowners annually. Assist in the funding of affordable housing for older adults annually or as projects are proposed.	This program is ongoing and the City will continue to seek opportunities.
3.A.4	Cooperate with Travis Air Force Base officials to identify any unmet needs among military personnel for affordable housing in Suisun City.	Annually meet with representatives of Travis Air Force Base to determine whether unmet housing needs exist.	This program is ongoing and staff will continue to meet with representatives of Travis Air Force Base.
3.A.5	The City will encourage affordable rental housing developments for low- and moderate-income households to contain an appropriate percentage of three- and four-bedroom units.	2015-2023	This program is ongoing.
3.A.6	Continue to comply with Americans with Disabilities Act (ADA) requirements for accessibility and adaptability of new residential buildings to meet the needs of mobility-impaired persons.	2015-2023	This program is ongoing.
3.A.7	Cooperate with, and provide assistance to, organizations seeking to develop or convert residential buildings for use as group homes for persons with disabilities that prevent them from using conventionally designed housing.	December of 2015.	This program is ongoing, but City has not yet had a chance to implement program.
3.A.8	Work with housing providers to address special housing needs for seniors, large families, female-headed households, single-parent households with children, persons with physical disabilities and developmental disabilities, farmworkers, and homeless individuals and families. The City may seek funding under the federal housing opportunities for persons with AIDS program, California Child Care Facility Financing Program, and other state and federal programs designated specifically for for special needs gorups such as seniors, persons with physical and developmental disabilities, and persons as risk for homelessness.	One time during the planning period or as appropriate development comes forth.	The City will continue to seek opportunities.

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction	Suisun City
Reporting Period	2018 (Jan. 1 - Dec. 31)

Note: + Optional field
Cells in grey contain auto-calculation formulas

Table F

Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)(2)

This table is optional. Jurisdictions may list (for informational purposes only) units that do not count toward RHNA, but were substantially rehabilitated, acquired or preserved. To enter units in this table as progress toward RHNA, please contact HCD at APR@hcd.ca.gov. HCD will provide a password to unlock the grey fields. Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in Government Code section 65583.1(c)(2).

Activity Type	Units that Do Not Count Towards RHNA ⁺ Listed for Informational Purposes Only			Units that Count Towards RHNA ⁺ Note - Because the statutory requirements severely limit what can be counted, please contact HCD to receive the password that will enable you to populate these fields.				TOTAL UNITS ⁺	The description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1 ⁺
	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺	TOTAL UNITS ⁺		
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Total Units by Income									

Jurisdiction	Suisun City	
Reporting Year	2018	(Jan. 1 - Dec. 31)

Entitled Units Summary		
Income Level		Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	0
Above Moderate		71
Total Units		71

Note: units serving extremely low-income households are included in the very low-income permitted units totals

Submitted Applications Summary	
Total Housing Applications Submitted:	0
Number of Proposed Units in All Applications Received:	0
Total Housing Units Approved:	0
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

Units Constructed - SB 35 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Cells in grey contain auto-calculation formulas

AGENDA TRANSMITTAL

MEETING DATE: March 19, 2019

CITY AGENDA ITEM: Council Adoption of Resolution No. 2019-___: Approving a Priority List of Community Events for FY 2019-20

FISCAL IMPACT: Fiscal impact would be \$101,825

BACKGROUND: Due to the loss of the Redevelopment Agency, which provided funding for special events, the Suisun City Community Services Foundation (Foundation) was established in 2012 to generate funds to financially support community events in Suisun City. In 2016, all but one of the members of the Community Services Foundation decided that they were unable to continue functioning in this capacity. Supporting this decision, the Foundation submitted a name change to the State of California to become the Friends of Suisun City Recreation. The Department Director and staff are working through strategies to make this a viable partner in funding future community events. The City has established positive relationships with a variety of organizations that will continue to foster growth in the community events. Through partnerships with the Suisun City Waterfront Business Improvement District (BID), Kroc Center, Harbor Theatre, and Fairfield-Suisun Rotary Club, events in the community will continue to thrive and provide a positive gathering place for residents and visitors alike.

STAFF REPORT:

Exhibit A, attached to the resolution, outlines the recommended events for 2018, and proposed budget. In addition to the events listed as part of this report, staff will be presenting proposals in the City's Annual Budget for Council to consider, which could augment funding for a more diverse offering of community events. Those events include a Suisun City Anniversary Celebration and possible cultural activities.

STAFF RECOMMENDATION: It is recommended that the City Council adopt Resolution No. 2019-___: Approving a Priority List of Events for FY 2019-20.

ATTACHMENTS:

1. Resolution No. 2019-___: Approving a Priority List of Events for FY 2019-20
2. Exhibit A: Community Events Budgets for FY 2019-20
3. PowerPoint Presentation

PREPARED BY:

Kris Lofthus, Recreation, Parks, and Marina Director

REVIEWED AND APPROVED BY:

Richard J. Ramirez, City Manager

RESOLUTION NO. 2019-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY
APPROVING A PRIORITY LIST OF EVENTS FOR 2019-20**

WHEREAS, traditionally the City Council annually adopted a seasonal events calendar to be funded through Redevelopment; and

WHEREAS, with the loss of the Redevelopment Agency, the Suisun City Community Services Foundation (SCSF) was established in 2012 to generate funding for these community events; and

WHEREAS, members of the SCSF decided that they could no longer function in this capacity, the SCSF applied for a name change to the Friends of Suisun City Recreation (Friends); and

WHEREAS, the City Council has an interest in supporting community events; and

WHEREAS, Exhibit A is the priority list of events with associated costs that the City Council agreed upon.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Suisun City hereby approves the Suisun City Events Budget for 2019 that is contained in Exhibit A attached hereto, which sets the priority for Friends of Suisun City Recreation to fund within the resources it generates.

PASSED & ADOPTED at a regular meeting of the City Council of the City of Suisun City held on this 19th day of March, 2019 by the following vote:

AYES:	Councilmembers:	_____
NOES:	Councilmembers:	_____
ABSENT:	Councilmembers:	_____
ABSTAIN:	Councilmembers:	_____

WITNESS my hand and the seal of said City this 19th day of March, 2019.

Linda Hobson, CMC
City Clerk

EXHIBIT A

COMMUNITY EVENT BUDGETS FOR FY 2019/20

Community Events	2019 Proposed
<u>Waterfront Music (7)</u>	
Staffing	\$ 3,000.00
Entertainment	\$ 9,675.00
Sound Engineer	\$ 6,300.00
Carriage Ride	\$ 1,600.00
Security	\$ 2,200.00
Marketing	\$ 1,000.00
Restrooms	\$ 1,300.00
General Supplies	\$ 750.00
Waterfront Music Total	\$ 25,825.00
<u>4th of July</u>	
Staffing = RPM, PD, PW, Fire	\$ 15,000.00
Entertainment	\$ 2,750.00
Sound Engineer	\$ 2,900.00
Fireworks	\$ 15,000.00
Security	\$ 3,500.00
Marketing	\$ 1,000.00
Restrooms	\$ 2,200.00
General Supplies / Permits	\$ 2,000.00
4th of July Total	\$ 44,350.00
<u>Christmas on the Waterfront</u>	
Staffing	\$ 1,200.00
Tree Lighting (PW Staff)	\$ 6,000.00
Entertainment	\$ 1,500.00
Carriage Ride	\$ 1,600.00
Marketing	\$ 750.00
Decorations	\$ 3,000.00
Restrooms	\$ 1,300.00
Bonfire / Misc. Supplies	\$ 750.00
Fireworks	\$ 3,000.00
Christmas on the Waterfront Total	\$ 19,100.00
<u>Movies in the Park (8)</u>	
Staff	\$ 1,000.00
Movies	\$ 3,400.00
Marketing	\$ 500.00
General Supplies	\$ 500.00
Saturday Movie Night Total	\$ 5,400.00
<u>Sunday Afternoon Jazz (8)</u>	
Staff	\$ 1,000.00
Bands	\$ 4,750.00
Marketing	\$ 500.00
General Supplies	\$ 500.00
Restrooms	\$ 400.00
Sunday Afternoon Jazz Total	\$ 7,150.00
Overall Total of Special Events	\$ 101,825.00

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Presentation of Community Events

TUESDAY, MARCH 19, 2019



List of Events

- Brew Bash – In conjunction with Fairfield Suisun Rotary
- Waterfront Music Series (7)
- 4th of July Celebration
- Movies in the Park (8) – NEW LOCATION
- Sunday Jazz (8)
- Fall Festival / Suisun City Celebration
- Christmas on the Waterfront
- Support to BID Events (Mother’s Day & Art, Wine, & Chocolate)



RECREATION, PARKS, & MARINA DEPARTMENT
SUISUN CITY, CA

ENJOY UNLIMITED TASTINGS FROM QUALITY CRAFT BREWERS

Second Annual

BREWBASH At The Basin



Fairfield-Suisun
Rotary Club



City of
Suisun City

Sponsored by
Fairfield-Suisun Rotary Club & City of Suisun City

APRIL 13 - SUISUN

Noon - 4:30PM - at the Basin

General
Admission
\$40

VIP
Admission
\$60

Tickets Available Now on

Eventbrite



BEER CO.



TANNERY
BEND
BEERWORKS

BarmHaus
Brewing Company



Waterfront Music Series

Friday Nights 6:30pm-9:00pm

TIME BANDITS 6/21/19

PREMIER DANCE BAND

APPLE Z 6/28/19

ROCK CLASSICS & TODAY'S HITS

THE LATIN TOUCH BAND 7/12/19

LATIN ROCK & OLD SCHOOL

MOONSHINE CRAZY 7/19/19

MODERN COUNTRY

ROLLING HEADS 7/26/19

CLASSIC TO MODERN HITS

FUNKY GATORS 8/2/19

ZYDECO DANCE BAND

THUNDER COVER 8/9/19

ALL YOUR FAVORITE HITS



FREE
Admission

FOOD
TRUCKS
AND RETAIL
VENDORS!

NO OPEN ALCOHOL, SMOKE FREE ENVIRONMENT, PET FREE EVENT





4TH OF July CELEBRATION

SUISUN CITY WATERFRONT

COMMUNITY ACTS 11am-2pm

AC MYLES BLUES BAND | THE SOULTONES | THE DEPARTMENT OF ROCK
2pm-4pm | 4:30pm-6:30pm | 7pm-9pm

FOOD VENDORS, RETAIL VENDORS, & AMUSEMENT RIDES!

FIREWORKS 9:15PM

SMOKE FREE ENVIRONMENT, NO OPEN ALCOHOL, NO BBQS
NO PETS PERMITTED IN THE FESTIVAL AREA

RPM
RECREATION, PARKS, & MARINA DEPARTMENT
SUISUN CITY, CA



RECREATION, PARKS, & MARINA DEPARTMENT
SUISUN CITY, CA



MOVIES IN THE PARK

NEW LOCATION - HERITAGE PARK

MOVIES START AT DUSK
SNACKS AVAILABLE FOR PURCHASE
SMOKE FREE EVENT

7/6/19	7/13/19	7/20/19	7/27/19	8/3/19
RALPH BREAKS THE INTERNET	HOTEL TRANSYLVANIA 3	SMALLFOOT	THE LEGO MOVIE 2	MARY POPPINS RETURNS
		8/10/19	8/17/19	8/24/19
		INCREDIBLES 2	HOW TO TRAIN YOUR DRAGON 3	DUMBO

RPM
RECREATION, PARKS & MARINA DEPARTMENT
SUISUN CITY, CA



SUNDAY JAZZ

ON THE WATERFRONT

- DELBERT BUMP 7/7/19
- 2ND PLANET 7/14/19
- JAMES ZELLER TRIO 7/21/19
- EDDIE DAVIS & THE NOTES OF CHOICE 7/28/19
- CBOP 8/4/19
- TURNAROUND JAZZ QUARTET 8/11/19
- ALIVE MUSIC ORCHESTRA 8/18/19
- 4 SAX ONLY 8/25/19

COME FOR JAZZ... STAY FOR DINNER!

3PM-5PM

HARBOR PLAZA STAGE



THIS IS A SMOKE FREE EVENT





Work in Progress

FALL FESTIVAL / SUISUN CITY CELEBRATION – SATURDAY, SEPT. 28

- Creating a Suisun City Annual Celebration – Special only to Suisun
- Bath tub Races / Pumpkin Regatta / Modified Triathlon
- Hay Maze / Floating Pumpkin Patch / Scarecrow Contest
- Community Parade / Classic Car Show & Cruise Night
- Street Dance / Classic Carnival / Jet Ski Races

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CHRISTMAS ON THE WATERFRONT – SATURDAY, DECEMBER 7

- Tree Lighting / Carriage Rides / Fireworks / Lighted Boat Parade
- Vendors / Carolers / Community Performances / SANTA!!
- NEW – Business and Faith Based Community to provide information and hot cocoa, cookies, candy canes, etc.



Continuing to Grow

- Cultural Events
 - Dia de Los Muertos –
 - Multi-Cultural Celebration
 - Filipino Heritage Celebration – Lumpia Cook-off
 - Chinese New Year Celebration
 - Juneteenth Celebration –

- Other Events
 - Recreation Expo
 - Family Camping in the Park
 - Boat Show – Classic and New
 - RC Boats
 - Local Park Events – Movies, Music, Etc.



Other Events

- 10 dinner dance events at the Suisun City Senior Center
- Senior Health and Information Fair
- Blessing of the Fleet – May 4



Questions

