

AGENDA
MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., FEBRUARY 26, 2019

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC19-04

1. ROLL CALL:

Chairperson Clemente
Commissioner Borja
Commissioner Holzwarth
Commissioner Pal
Commissioner Ramos
Commissioner Rowe
Commissioner Thomas

Pledge of Allegiance
Invocation

2. ANNOUNCEMENTS:

Introduce new Planning Commissioner Garry Rowe

3. ELECTION OF CHAIR AND VICE CHAIR:

4. MINUTES:

Approval of Planning Commission minutes of January 29, 2019

5. AUDIENCE COMMUNICATIONS:

This is a time for public comments for items that are not listed on this agenda. Comments should be brief. If you have an item that will require extended discussion, please request the item be scheduled on a future agenda.

CONFLICT OF INTEREST NOTIFICATION

(Any items on this agenda that might be a conflict of interest to any Commissioner should be identified at this time.)

6. GENERAL BUSINESS:

None.

7. PUBLIC HEARINGS:

For each of the following items, the public will be given an opportunity to speak. After a Staff Report, the Chair will open the Public Hearing. At that time, the applicant will be allowed to make a presentation. Members of the public will then be allowed to speak. After all have spoken, the applicant is allowed to respond to issues raised by the public, after which the Public Hearing is normally closed. Comments should be brief and to the point. The Chair reserves the right to limit repetitious or non-related comments. The public is reminded that all decisions of the Planning

Commission are appealable to the City Council by filing a written Notice of Appeal with the City Clerk within ten (10) calendar days.

A. Request to Establish the Sunset Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue and to Approve a Pylon Sign at the Heritage Park Shopping Center.

Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Establish the Heritage Park Shopping Center Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).

Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Approve a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APNs 0173-010-430).

8. COMMUNICATION:

A. Staff

- Accessory Dwelling Unit's Presentation

B. Commissioners

C. Agenda Forecast

9. ADJOURN.

MINUTES
SPECIAL MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., JANUARY 29, 2019

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC19-01

1. ROLL CALL:

Chairperson Clemente
Vice-Chair Osborne
Commissioner Holzwarth
Commissioner Pal
Commissioner Ramos
Commissioner Thomas

ABSENT

Commissioner Borja

2. ANNOUNCEMENTS:

None.

3. MINUTES:

Commissioner Pal moved to approve the Planning Commission minutes, as is, of December 18, 2018.

Commissioner Osborne seconded the motion. Commissioner Ramos abstained. Motion passed 5-0-1 by roll call vote with Commissioner Borja absent.

4. AUDIENCE COMMUNICATIONS:

Mr. Michael Zeiss asked that the following two items be scheduled on a future agenda:

1. Victorian Harbor alleys are public streets?
2. Discuss RV's on public streets

Mr. Kearns responded by indicating he was aware of Councilmember Williams' request for a report regarding RV's parked on public streets. He then addressed that the Victorian Harbor alleyways topic has been discussed with Police Commander Dan Healy as well as Public Works. Staff was working on a form of written communication which would be distributed to the residents.

CONFLICT OF INTEREST NOTIFICATION

Commissioner Thomas had a conflict of interest with Item 5.B.

5. GENERAL BUSINESS:

A. Review of Conditional Use Permit for 601 Marina Center:

Resolution PC19-__; A Resolution of the City of Suisun City Planning Commission

Confirming Review of Conditional Use Permit No. 14/15-003, Including Conditions of Approval for the Blue Devils Bingo Center, 601 Marina Center

Senior Planner John Kearns started with a background on the business stating that back in July 24, 2012, the Planning Commission approved Resolution No. PC12- 05, which granted a Conditional Use Permit (CUP) for a bingo center to be established at 600 Marina Center, which is within the Marina Shopping Center. Further on May 21, 2013, the City Council adopted Resolution 2013-29 that granted the Blue Devils a Bingo License, which was also a condition of approval (Condition No. 4) of the CUP.

The CUP was last reviewed on January 18, 2018 and thus the permit is due for its annual review and staff has scheduled the item. As with each Conditional Use Permit review, Development Services staff worked in close coordination with the Police Department regarding an analysis of the any impacts on emergency services as a result of the bingo operation. The outcome of that coordination was that there have been very few calls for service since the last review. Staff recommends the Planning Commission adopt the resolution stating the annual review has been conducted.

Commissioner Pal asked how long the owner has been coming to the meetings. Mr. Kearns replied by saying the Conditional Use Permit was first approved in 2015.

Commissioner Pal asked about the business hours asking if it was State Law or our city ordinance, he then went on to ask if they sell alcohol. The owner responded no. Staff was unsure what the State law has said regarding the hours of operation, but that the City had the authority to provide stricter regulations.

Commissioner Holzwarth moved to approve the item,

Commissioner Pal seconded the motion. Motion passed 6-0 by roll call vote

B. Review of Conditional Use Permit for 700 Main Street #106:

Resolution PC19-___; A Resolution of the City of Suisun City Planning Commission Confirming Review of Resolution No. PC17-04 for The Lounge, 700 Main Street #106

Senior Planner John Kearns started with a background on the business stating that back in April 7, 2009, the Planning Commission approved Conditional Use Permit No. UP08/9-012, 700 Main Street #106, for a Jazz Club/Entertainment Lounge with conditions of approval. The Conditional Use Permit was amended on May 9, 2017 with the adoption of Resolution PC 17-04. On June 18, 2018 the new business, The Lounge went before the Commission to review the conditional use permit because of the change in ownership, and the conditional use permit runs with the land. The Planning Commission then completed the review and approved the new owner with the same conditions. The Lounge had its grand opening on Friday October 19, 2018.

The new owner/operator of 700 Main Street #106, The Lounge, had its grand opening on Friday October 19, 2018. A few months have passed which triggers the need for Planning Commission review. Since August 2018 through present day of the venue, there were three calls for service: medical, area check,

and hold up alarm. It was explained that the existing Conditional Use Permit runs with the land and the Planning Commission is being asked to simply review the Conditional Use Permit per the approved conditions of approval. If complaints are received in the future, the Planning Commission would retain its right to review the Conditional Use Permit for compliance and consistency at any time. Further, as with each Conditional Use Permit review, Development Services staff worked in close coordination with the Police Department regarding an analysis of the any impacts on emergency services as a result of the operation. The outcome of that coordination was that there have been very few calls for service since the last review. With that said, staff recommended the Planning Commission adopt the resolution stating the annual review has been conducted.

Commissioner Pal moved to approve the item,

Commissioner Osborne seconded the motion. Motion passed 5-0-1 by roll call vote with Commissioner Thomas abstaining.

6. PUBLIC HEARINGS:

A. A Resolution of the City of Suisun City Planning Commission Recommending City Council Adoption of an Ordinance of the City Council of the City of Suisun City, California, Repealing and Replacing Section 18.36.070 of Title 18 of the Suisun City Code and Amending the Waterfront District Specific Plan, Relating to Regulations for Front, Rear, and Side Yard Areas of Residential Properties.

Senior Planner John Kearns started with a background on the ordinance and how it came to fruition. Congruently what came of the Ad Hoc on January 12th 2018; the Commissioners and staff met in City Hall discussing the issues found in the draft ordinance and the comments given from the public. Mr. Kearns then went on summarize each change made page by page on the newly proposed draft ordinance.

Chairperson Clemente started by saying that the Ad Hoc committee was a success, and that all the issues were discussed at length. The group reviewed the ordinance line by line and made a fair and equitable stance.

Chairperson Clemente opened the public hearing.

Patricia Mattson came up to the podium and thanked the staff and commission for taking the time to listen to the community and considering the resident's suggestions.

Michael Zeiss came up to the podium and complimented the process that was taken for the creation of this ordinance. But, would like to add the following topic:

- Pg 33: SECTION 2. SECTION 18.36.070, "PROHIBITED ACTIVITIES IN FRONT AND STREET SIDE YARDS," OF CHAPTER 18.36 OF TITLE 18 OF THE SUISUN CITY CODE IS HEREBY REPEALED AND REPLACED AS FOLLOWS: C. Regulations and Standards 2. Rear / Side Yard. "iii. Landscaped areas must be consistent with Chapters 8.12 and 8.13, as applicable, of the Suisun City Code." he commented that it was not clear enough for code enforcement.

Commissioner Ramos first asked for confirmation why 'side driveway' definition was taken out, he described what he thought was the definition and got a head nod from Mr. Kearns. He then went on to clarify who does the enforcement of this ordinance. Mr. Kearns confirmed that code enforcement does the enforcing. Commissioner Ramos concluded with clarification on page 26 of the packet regarding ALUC and what their involvement would be. ("Following Planning Commission action, the proposed amendments will need to go before the Solano County Airport Land Use Commission for a finding of consistency with the Travis Air Force Base Land Use Compatibility Plan..."). Mr. Kearns responded by saying that any proposed change to the Zoning Ordinance required the Airport Land Use Commission to make a finding of consistency.

Aaron Trudeau clarified why ALUC is involved in this ordinance, giving an example of a palm tree being too close to the runway inviting more birds that can cause issues with planes landing. Mr. Trudeau then commented on the verbiage 'substantial aesthetic conflicts' stating that its extremely subjective and would like to see more concrete verbiage. He went on to comment on pg. 34 "the following activities are subject to this section..." regarding to move their equipment within 72 hours he wanted clarification.

Mariah Klein started by thanking the commission and staff for their efforts. She then went on to comment on side yards and side driveways and presence of it in Lawler Ranch. She the stated that Lawler Ranch has become a storage facility for recreational vehicles, and believes the residents should pay to store their RVs.

Commissioner Holzwarth commented to Mr. Trudeau that on Pg. 34 of the packet, #5 at the bottom of the page, that the 72 hours is referenced. Mr. Trudeau then asked if #1 and #5 contradicted each other, staff confirmed that it doesn't. Commissioner Pal asked if #1 should just be taken out? Vice chair Osborne asked if #1 could be stricken. Commissioner Pal then wanted confirmation that with this code there couldn't be any confusion on potential automotive repair businesses opening in residential zones. Mr. Kearns confirmed that those uses aren't allowed.

Commissioner Pal wanted confirmation if there will be a public education on this new ordinance on this brand new approach. Mr. Kearns answered by stating that once the ordinance goes to City Counsel there will definitely be a plan to educate the public.

Commissioner Osborne moved to approve the item, with the edit in 3.4.1, strikeout of #1 and include "recreational vehicle and airplane or aircraft" to #2 and #5.

Commissioner Holzwarth seconded the motion. Motion passed 6-0 by roll call vote

6. COMMUNICATION:

A. Staff

None.

B. Commissioners

Vice Chair Osborne announced that he will not be reapplying for the Planning Commission and thanked staff and the commission for his four years on the Commission.

Commissioner Pal wanted staff to educate the public on Tree City USA in a future agenda.

Vice Chair Osborne announced that Mount Calvary Baptist Church Scholarship committee will be holding workshops on health and career building Sat. March 9th 9am – 2pm.

C. Agenda Forecast

Staff indicated scheduled Planning Commission meeting dates were February 12 and 26, with the 26th being the likely next meeting date.

7. ADJOURN.

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AGENDA TRANSMITTAL

MEETING DATE: February 26, 2019

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Request to Establish the Heritage Park Shopping Center Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue and to Approve a Pylon Sign at the Heritage Park Shopping Center.

Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Adopt an Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).

Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Approve a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APNs 0173-010-430).

BACKGROUND: On September 3, 2013, the City Council amended the City's Zoning Code to include Special Sign Overlay District regulations that allow the establishment of up to five Special Sign Overlay Districts along Highway 12.

Pacific Neon (Applicant) has submitted an application to establish a Special Sign Overlay District along Highway 12. Additionally, the Applicant has requested approval of a 60-foot-tall pylon sign.

Around the same time the pylon sign across the street was being constructed, Heritage Park Shopping Center was asked to remove their sign because it was on top of a sewer line that needed fixing. The removal of the sign prompted a quick response to build a new sign.

Under the City's regulations, these are two distinct approvals and this project review considers these actions concurrently. While the Planning Commission may recommend approval and the City Council may approve the design of the pylon sign, such approval would not take effect until after the Heritage Park Shopping Center Special Sign Overlay District is approved and in effect.

STAFF REPORT:

Heritage Park Special Sign Overlay District

The Applicant has requested the establishment of a Special Sign Overlay District (SSOD) for the Heritage Park Shopping Center. The application encompasses 15+ acres including APNs (0173-010-380; 390, 400, 410, 420, and 430). Attachment 1 identifies the proposed boundaries of the Heritage Park Shopping Center SSOD.

The City's Zoning Code establishes that such approval of a SSOD is granted through adoption of an ordinance by the City Council. Once established, future signage within the SSOD is reviewed subject to the provisions of the Zoning Code regarding Special Sign Overlay Districts.

Key provisions of the City's SSOD regulations include:

- Each SSOD may have only one highway-oriented sign within the district.
- The highway oriented sign may advertise businesses located on a different parcel than the sign (referred to as off-premise advertising), but may not advertise businesses located outside of the SSOD boundaries.
- Up to five SSODs may be designated within the Highway 12 corridor. However, no highway-oriented SSOD sign may be constructed within 100 feet of any existing highway-oriented SSOD sign in an adjacent SSOD.
- Generally, the highway-oriented SSOD sign permitted by the establishment of the SSOD shall not exceed 60 feet.
- Highway-oriented SSOD signs shall be context-sensitive to its location, complementary to the materials and design of buildings in proximity to the sign, and landscaped to enhance the aesthetics of the sign.
- Illumination shall be shielded to prevent light from being directed toward roads, to prevent glare, and to prevent impairment of driver vision. Illumination shall not interfere official traffic signs, devices, signals, or pavement markings.
- If the SSOD is located within a named business center, the name of the business center shall be included on the highway-oriented SSOD sign.
- An application for a highway-oriented SSOD sign permit shall include a proposed signage reduction plan.

If approved, the boundaries of the Heritage Park SSOD would be established. Once an SSOD is established, the regulations within the Zoning Code related to SSOD's are applied to the review of individual sign applications. In this case, the City is considering approval of the Heritage Park SSOD and the design of a 60-foot-tall pylon sign concurrently.

Heritage Park Pylon Sign

As noted above, the Applicant is seeking concurrent approval of a 60-foot-tall pylon sign that would be allowed is the Heritage Park SSOD is established. If the proposed pylon sign is approved by the City Council, such approval would not take effect until the Heritage Park SSOD is approved and in effect.

The review of a highway-oriented sign within a SSOD is reviewed for consistency with the above noted standards and may include site plan review and design review of the proposed sign and its location. Specific design elements and features of the proposed highway-oriented sign include:

- The sign, including its decorative elements, shall not exceed 60' in height;
- The maximum width of the sign shall be 18'.
- The total number of panels shall be 12 per side. 1 Sign panel shall be 5'6" x 14', 3 Sign panels shall be 3' x 14' and 8 panels shall be 2' x 6'10";
- All of the signage panels on the sign shall be internally illuminated;

- The sign may be designed to accommodate internal cellular or other communications antennas and equipment. No exterior cellular or other communications antennas will be allowed; and
- No electronic message boards or digital signage of any type shall be permitted.

The Heritage Park pylon sign's background is muted in color (aluminum). The center identification and tenant names will be individual illuminated channel letters. The illumination of the letters will be similar to typical channel letters mounted on buildings. The channel letters have translucent acrylic faces that are illuminated internally with LED or a similar light source. The brightness and intensity depends on the color of acrylic faces. Some of the colors are more translucent than others and will transmit more light. For example, white faces would transmit more light than dark blue faces.

The proposed Heritage Park Center Highway-Oriented Sign is consistent with City standards as follows:

1. Each SSOD may have only one highway-oriented sign within the district.
 - a. The proposed sign will replace the existing highway oriented sign and will be the sole highway oriented sign within the Heritage Park SSOD.
2. The highway oriented sign may advertise businesses located on a different parcel than the sign (referred to as off-premise advertising), but may not advertise businesses located outside of the SSOD boundaries.
 - a. The proposed sign will be monitored for compliance with allowed advertising.
3. Up to five SSODs may be designated within the Highway 12 corridor. However, no highway-oriented SSOD sign may be constructed within 100 feet of any existing highway-oriented SSOD sign in an adjacent SSOD.
 - a. There are no other SSOD's or SSOD highway-oriented signs within 100 feet of the proposed Heritage Park sign.
4. Generally, the highway-oriented SSOD sign permitted by the establishment of the SSOD shall not exceed 60 feet.
 - a. The proposed sign is 60 feet in height and therefore complies with this standard.
5. Highway-oriented SSOD signs shall be context-sensitive to its location, complementary to the materials and design of buildings in proximity to the sign, and landscaped to enhance the aesthetics of the sign.
 - a. The design of the sign utilizes materials consistent with the Heritage Park Shopping Center and will enhance the character and appearance of the existing shopping center by replacing a dilapidated sign providing a more modern and functional sign.
6. Illumination shall be shielded to prevent light from being directed toward roads, to prevent glare, and to prevent impairment of driver vision. Illumination shall not interfere official traffic signs, devices, signals, or pavement markings.
 - a. The internal illumination of the sign and the placement of the sign would assure that not impact to driver safety would result from sign installation.
7. If the SSOD is located within a named business center, the name of the business center shall be included on the highway-oriented SSOD sign.

- a. The sign design includes the business center name.
8. An application for a highway-oriented SSOD sign permit shall include a proposed signage reduction plan.
 - a. The Applicants will remove the existing, aging monument sign and will remove temporary signage. The SSOD regulations generally apply to new construction and the City does not seek removal of existing signage from existing businesses.

ALUC Review

Prior to consideration of the Heritage Park SSOD, the proposal must be reviewed by the Solano County Airport Land Use Commission (ALUC) to consider the project's consistency with the newly adopted Travis Airport Land Use Compatibility Plan. Following ALUC action, the Council will consider establishment of the requested Special Sign Overlay District and architectural review of the proposed pylon sign. City Council review is tentatively scheduled for March.

CEQA Review

Establishment of the Heritage Park SSOD and approval of the design of the Sunset Center highway-oriented sign are both projects under the California Environmental Quality Act and, therefore, the Planning Commission must consider the potential impacts these projects could have on the environment.

The Heritage Park SSOD would not result in any new building square footage and therefore would have no effect on conditions such as traffic, air quality, noise and other impacts typically associated with urbanization. Current regulations allow a sign up to 60 feet in height and, subject to a use permit, allow a sign up to 75 feet in height. Therefore, allowing signage up to 60 feet in height will not be out of character with the Highway 12 corridor and will not result in significant visual impacts.

The proposed Heritage Park highway-oriented sign has been designed to fit with the architectural character of the surrounding shopping center, relies upon internal illumination that will avoid impacts of glare and will replace an aging and unattractive existing sign.

Based upon the above evaluation there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park highway-oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment.

STAFF RECOMMENDATION: Staff recommends that the Planning Commission **Adopt Resolution** PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending City Council Establish the Heritage Park Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).

Staff further recommends that the Planning Commission Adopt Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Approve a 60-foot-tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).

ATTACHMENTS:

1. Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Establish the Heritage Park Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).
2. Resolution PC19-___; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Approve a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APN 0173-010-430).
3. Application materials.

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RESOLUTION NO. PC19-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUISUN CITY RECOMMENDING THE CITY COUNCIL ADOPT AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY APPROVING A SPECIAL SIGN OVERLAY DISTRICT AT THE NORTHWEST CORNER OF HIGHWAY 12 AND SUNSET AVENUE (APNS 0173-010-380; 390, 400, 410, 420, AND 430).

WHEREAS, the Planning Commission at its regular meeting on February 26, 2019 did review application RZ18/19-004 for a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).

WHEREAS, the public hearing notice was published in the Daily Republic on February 16, 2019; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, this project has been considered regarding all applicable city regulations and ordinances; and

WHEREAS, there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park highway-oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment; and

WHEREAS, the proposed Special Sign Overlay District is attached as Exhibit A and the proposed ordinance as Exhibit B; and

WHEREAS, based on evidence presented to the Planning Commission by City Staff and the applicant, the following Findings are hereby made:

1. That the project is categorically exempt from the California Environmental Quality Act, there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park Highway-Oriented Sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment.

2. That the Special Sign Overlay District has been considered through a Rezoning process as required by the Suisun City Zoning Ordinance.
3. That the special sign overlay district, will not conflict with the Goals, Objectives, and Policies of the General Plan.
4. That the special sign overlay district, will not have significant noise, traffic, or parking impacts on the neighborhood.
5. That the special sign overlay district, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such district, nor detrimental to properties or improvements in the vicinity, nor to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby adopt Resolution PC19 - __ ; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Adopt an Ordinance of the City Council of the City of Suisun City Approving a Special Sign Overlay District at the Northwest Corner of Highway 12 and Sunset Avenue (APNs 0173-010-380; 390, 400, 410, 420, and 430).

The forgoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

WITNESS my hand and the seal of said City this 26th day of February 2019.

Joann Martinez
Commission Secretary



Exhibit A

Heritage Park Sign District

The City of Suisun makes no representations about the suitability of the information provided for any purpose. All information and related graphics are provided "as is" without warranty of any kind.

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ORDINANCE NO.

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUISUN CITY,
APPROVING A SPECIAL SIGN OVERLAY DISTRICT AT THE NORTHWEST
CORNER OF HIGHWAY 12 AND SUNSET AVENUE**

WHEREAS, the Chapter 18.44.040 (Ord. No. 743, § 3, 3-21-2017; Ord. No. 748, § 4, 5-15-2018) of the Suisun City Municipal Code allows for Special Sign Overlay Districts to be established; and

WHEREAS, the Planning Commission at its regular meeting on February 26, 2019, did hold a public hearing to consider the application and, following public comment and due consideration, did vote to recommend the City Council approve the requested Special Sign Overlay District; and

WHEREAS, notice of the City Council's public hearing to consider the application was published in the *Daily Republic* on or before February 16, 2019, consistent with State Law and the Suisun City Code; and

WHEREAS, the City Council at its regular meeting on ____, 2019, did hold a public hearing to consider the application and, following public comment and due consideration, introduced and waived first reading of Ordinance No. ____.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SUISUN CITY as follows:

SECTION 1. The City Council of the City of Suisun City hereby approves the Special Sign Overlay District (Ordinance No. ____), consistent with the boundaries included in Exhibit A.

SECTION 2. This Ordinance shall be effective 30 days following its adoption by the City Council. A summary of this Ordinance shall, within fifteen (15) days after passage, be published in accordance with Section 36933 of the Government Code of the State of California with the names of the City Councilmembers voting for and against it.

PASSED, APPROVED, AND ADOPTED as an Ordinance at a regular meeting of the City

Council of the City of Suisun City, California, on this ___ day of ___ 2019.

Lori Wilson
Mayor

CERTIFICATION

I, Linda Hobson, City Clerk of the City of Suisun City, California, do hereby certify that the foregoing Ordinance was introduced at a regular meeting of the City Council on ___, 2019 and passed, approved, and adopted by the City Council of the City of Suisun City at a regular meeting held on the ___ day of ___ 2019 by the following vote:

AYES: Councilmembers:
NOES: Councilmembers:
ABSENT: Councilmembers:
ABSTAIN: Councilmembers:

WITNESS my hand and the seal of said City this ___ day of _____ 2019.

Linda Hobson, CMC
City Clerk

RESOLUTION NO. PC 19-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUISUN CITY RECOMMENDING THE CITY COUNCIL APPROVE A 60-FOOT-TALL PYLON SIGN AT THE HERITAGE PARK SHOPPING CENTER (APNS 0173-010-430).

WHEREAS, the Planning Commission at its regular meeting on February 26, 2019 did review application AR18/19-002 for a 60' pylon sign at the Northwest corner of Highway 12 and Sunset Avenue; and

WHEREAS, the public hearing notice was published in the Daily Republic on February 16, 2019; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, this project has been considered regarding all applicable city regulations and ordinances; and

WHEREAS, there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park Highway-Oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment; and

WHEREAS, the construction of the proposed sign is to be located consistent with Exhibit A; and

WHEREAS, the construction and design of the proposed sign is to be consistent with Exhibit B and is to follow the following criteria:

- a) The sign, including its decorative elements, shall not exceed 60' in height;
- b) The maximum width of the sign shall be 18'.
- c) The total number of panels shall be 12 per side. 1 Sign panel shall be 5'6" x 14', 3 Sign panels shall be 3' x 14' and 8 panels shall be 2' x 6'10";
- d) All of the signage panels on the sign shall be internally illuminated; The sign may be designed to accommodate internal cellular or other communications antennas and equipment.
- e) No exterior cellular or other communications antennas will be allowed; and
- f) No electronic message boards or digital signage of any type shall be permitted.

WHEREAS, the applicant agrees to keep the Special Sign Overlay District free of illegal temporary signage at all times and make every effort to reduce the prospective signage in the district; and

WHEREAS, approval of said Highway-Oriented SSOD Sign will not take effect until the a SSOD has been established and has taken effect by law; and

WHEREAS, based on evidence presented to the Planning Commission by City Staff and the applicant, the following Findings are hereby made:

1. That the project is categorically exempt from the California Environmental Quality Act, there is no evidence that approval of the Heritage Park SSOD or approval of the Heritage Park Highway-Oriented sign has the potential to result in significant effects on the environment. The proposed project is exempt under Section 15303 New Construction and Conversion of Small Structures and 15311, Accessory Structures of the California Code of Regulations. The project proposes an accessory structure (sign) to the existing commercial development (shopping center and adjacent pad buildings). Additionally, the approval of the Heritage Park SSOD and the associated highway-oriented sign would not result in any new urban development and no significant impacts on the aesthetics of the project or its surrounding environment.
2. That the Highway-Oriented SSOD Sign has been considered through an Architectural Review process as required by the Suisun City Zoning Ordinance.
3. That the Highway-Oriented SSOD Sign, will not conflict with the Goals, Objectives, and Policies of the General Plan.
4. That the Highway-Oriented SSOD Sign, will not have significant noise, traffic, or parking impacts on the neighborhood.
5. That the Highway-Oriented SSOD Sign, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such district, nor detrimental to properties or improvements in the vicinity, nor to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby adopt Resolution PC19- ; A Resolution of the Planning Commission of the City of Suisun City Recommending the City Council Approve a 60-Foot-Tall Pylon Sign at the Heritage Park Shopping Center (APNs 0173-010-430).

The foregoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES: Commissioners:

NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

WITNESS my hand and the seal of said City this 26th day of February 2019.

Joann Martinez
Commission Secretary

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Exhibit A

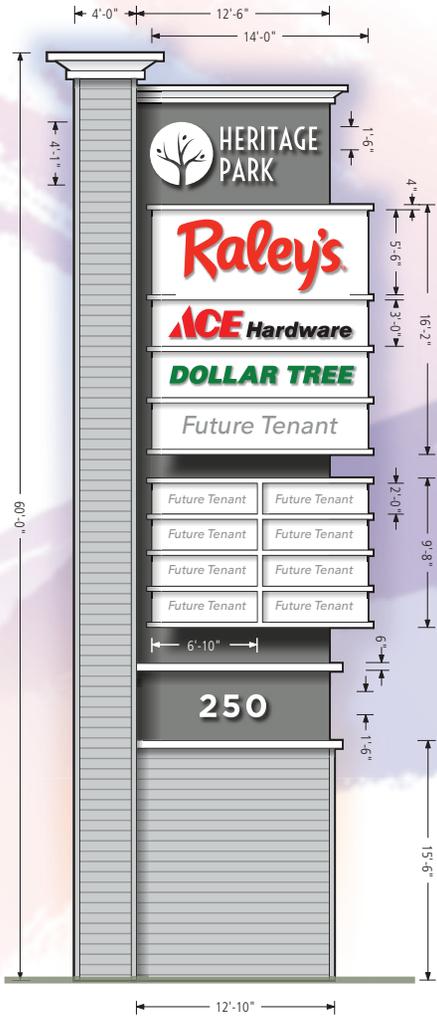
Heritage Park Proposed Sign Site

The City of Suisun makes no representations about the suitability of the information provided for any purpose. All information and related graphics are provided "as is" without warranty of any kind.

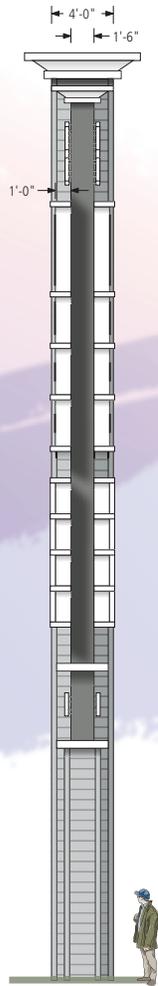
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Attachment 2 Exhibit 2

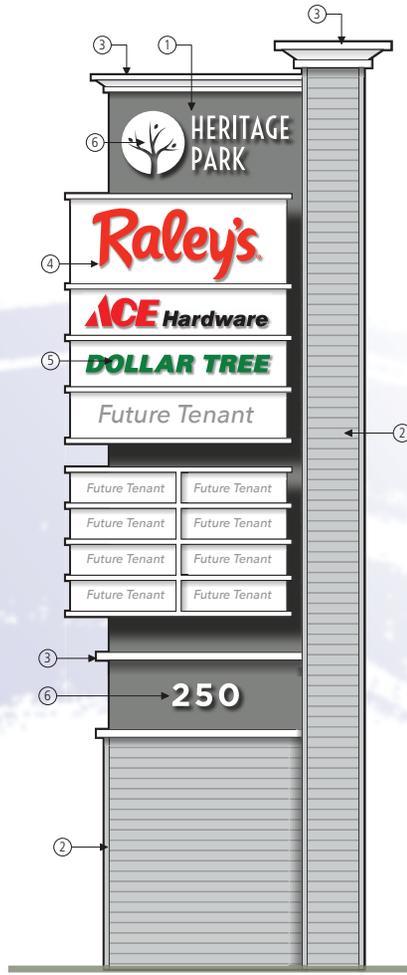
Freestanding Sign | D/F Shared Tenant Pylon Sign



A D/F Multi-Tenant Pylon Sign (Side 1)
Scale 1/8" = 1'-0"



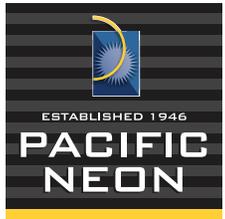
A End View (Street Side)
Scale 1/8" = 1'-0"



A D/F Multi-Tenant Pylon Sign (Side 2)
Scale 1/8" = 1'-0"

Material Schedule

- ① Recessed Fin Background
Fin to be fabricated aluminum construction with texcote finish. Faces and returns to be painted to match Sherwin Williams SW 7067 Cityscape.
- ② Pole Cover and Base
Fabricated frame structure to be skinned with James Hardie Hardie Plank cement fiber board siding with corner rails painted to match Sherwin Williams SW 7662 Evening Shadow.
- ③ Cornices and Tenant Panel Dividers
Fabricated aluminum construction with light texcote (sand) finish. All exposed surfaces to be painted White.
- ④ Tenant Cabinet / Panel Faces
Cabinet to be fabricated aluminum construction. Tenant faces to be routed out aluminum (for tenant graphics) with a light texcote (sand) finish. Tenant panel faces and returns to be painted White. Cabinet to be internally illuminated with H.O. fluorescent lamps as req'd.
- ⑤ Tenant Panel Graphics
All graphics to be push-thru clear acrylic with 3M White Diffuser film applied to face. 3M colored vinyl film to be applied over diffuser as per tenant's color specifications. Raley's logo to be 3M 3630-143 Red vinyl film overlay to match PMS 485C.
- ⑥ Shopping Center Identity / Address
Shopping center graphics to be fabricated aluminum, reverse pan channel halo illuminated construction. Faces and returns to be painted White, satin finish. Backs to be clear Lexan with White diffuser film. Letters to be internally illuminated with White L.E.D. modules. Letter sign cabinets and graphic rule to be pegged off of recessed fin background surface with 1-1/2" tube spacer standoffs.



2939 Academy Way
Sacramento, California 95815
Tel 916.927.0527
Fax 916.927.2414
www.pacificneon.com

Project No: **17-0093-05**

Account Executive: **Ralph Cundiff**

Project:
Heritage Park Shopping Center

Address:
**250 Sunset Ave.
Suisun City, CA**

Drawn By: **William Dickson**
Date: **3.30.17**
Revision: **11.26.18
11.30.18
12.18.18
1.15.19**

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. L.E.D. Electronics to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

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California Title 24 Compliant



**Exhibit C
Heritage Park Sign District**

A. Purpose

The City has adopted this Specific Sign District in accordance with the provisions of the Sign Ordinance in order to:

1. Update the existing regulations regarding Highway Oriented Signs for a portion of the northwest corner of Sunset Avenue and Highway 12 (the “District”).
2. Through the construction of more modern multi-tenant freeway visible signage, enhance the economic vitality of the businesses within the District and encourage the development of vacant parcels and renovation of existing business properties within the District.
3. Provide a framework for focusing signage on a single-pylon leading to an enhanced appearance for the entire business community within the District.

B. Applicability

This Special Sign District applies to signage within the boundaries of the District, as defined by the Sign Ordinance. Except as specifically set forth herein, all other and all existing provisions of the Sign Ordinance shall remain in effect within the District.

C. District Boundaries

District: The boundaries of the District are as shown as Exhibit A of the Heritage Park SSOD ordinance.

D. Description and Location of Pylon Sign

Pylon: A freestanding freeway-oriented structure up to 60 feet tall in substantial conformity with the illustration attached to the Heritage Park Highway-Oriented SSOD sign Resolution as Exhibit B which shall be erected in the approximate location shown as Exhibit A of the Heritage Park Highway-Oriented SSOD sign Resolution. In addition to its decorative elements, the Pylon shall contain 6 sign panels and 6 logo panels on each side.

E. Approvals

1. **Relation to Sign Ordinance.** Any person desiring to erect or place a sign on the Pylon shall comply with all provisions of the Sign Ordinance, unless specifically modified herein.
2. **Types of Businesses Generally Allowed on Pylon.** Businesses located within the District whose primary objective at their business location is retail sales, lodging or recreation shall be allowed to install signage on the Pylon. Such uses shall include:
 - (a) Hotels and motels;

- (b) Commercial recreation;
- (c) Restaurants (quick service and sit down dining);
- (d) New auto, truck and recreational vehicle sales;
- (e) Convenience stores
- (f) Furniture and antique sales;
- (g) Full Service Banking Institutions with retail/storefront;
- (h) Grocery stores;
- (i) Discount retail stores;
- (j) Appliance stores;
- (k) Gasoline and service stations; and
- (l) Such similar uses as may be determined as consistent therewith by the Development Services Director, or designee, on a case by case basis.

3. Sign Permit Required. A Sign Permit as provided in §18.44.040 of the Suisun City Municipal Code shall be required for any Pylon sign face change (including new businesses). Decorative panels to the satisfaction of the Development Services Director shall be required for panels that do not advertise business as provided in Paragraph 2 above.

F. Specifications Applicable to the Pylon and Pylon Sign Panels

1. Pylon Specifications. The following rules and regulations shall apply to the Pylon:

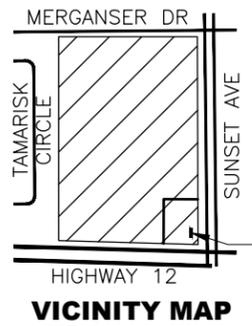
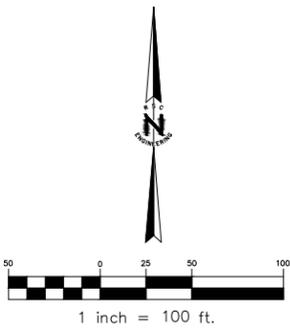
- a) The sign, including its decorative elements, shall not exceed 60' in height;
- b) The maximum width of the sign shall be 18'.
- c) The total number of panels shall be 12 per side. 1 Sign panel shall be 5'6" x 14', 3 Sign panels shall be 3' x 14' and 8 panels shall be 2' x 6'10";
- d) All of the signage panels on the sign shall be internally illuminated;
- e) The sign may be designed to accommodate internal cellular or other communications antennas and equipment.
- f) No exterior cellular or other communications antennas will be allowed; and
- g) No electronic message boards or digital signage of any type shall be permitted.

2. Pylon Sign Panels. The following rules and regulations shall apply to the signs on the Pylon:

- 1. No business signage or advertising shall be allowed on the Pylon except utilizing the 12 two-sided sign panels.
- 2. No sign panel may contain the signage of more than one business;
- 3. No business may use more than one sign panel for its business;
- 4. Within 60 days of any sign panel becoming vacant, the owner of the Pylon sign shall install a decorative panel or such other sign as may be approved by the Development Services Director, or designee, rather than leave such sign panel blank.

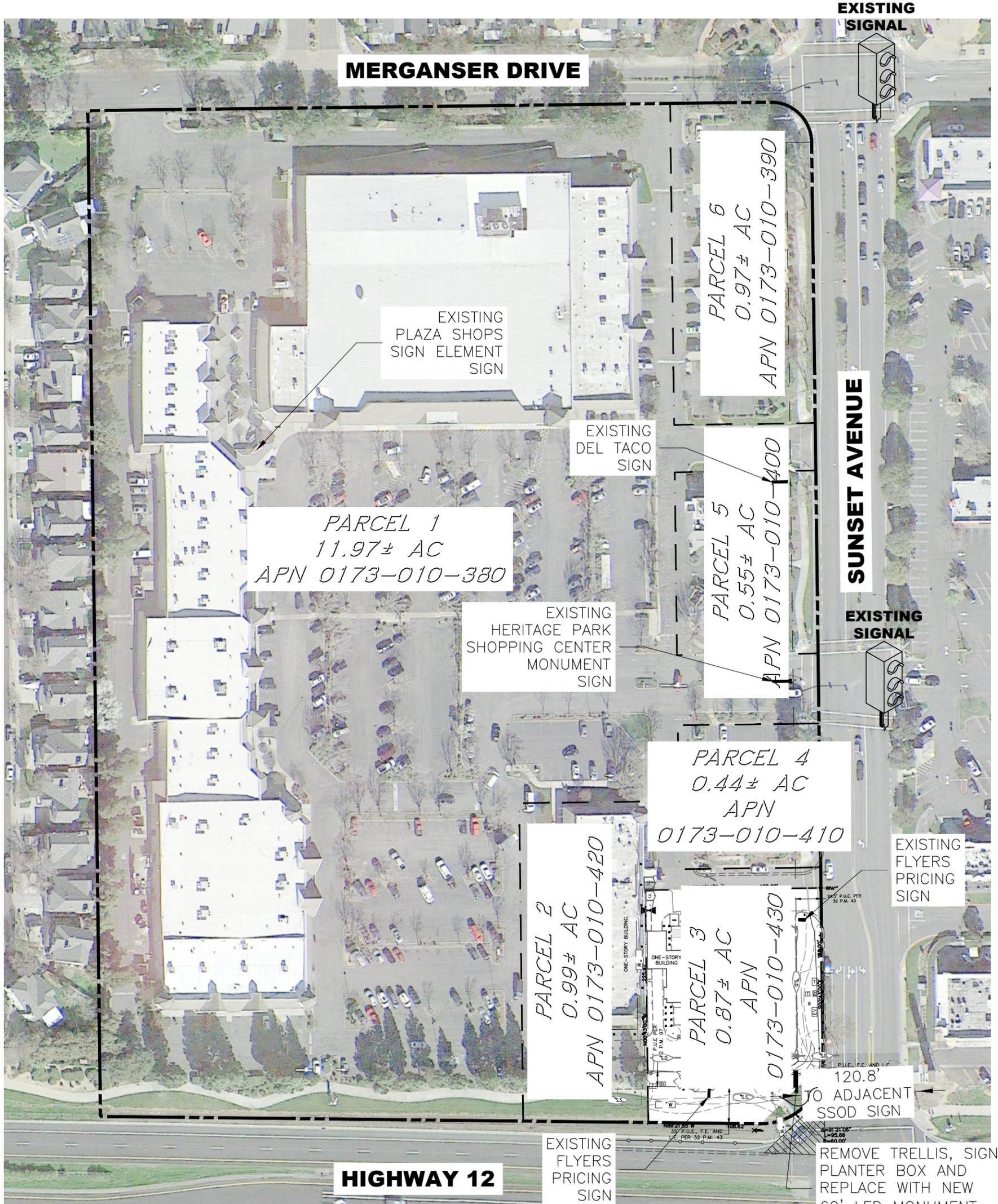
G. Administration and General Provisions

1. **Review of Final Designs.** The Development Services Director shall review and approve the final specifications for the Pylon and the sign panels thereon so as to ensure consistent design themes and are otherwise consistent with Exhibit B.
2. **Other Requirements May Still Apply.** Nothing in this Special Sign District ordinance eliminates the need for obtaining any other approval or entitlement required by provisions of City Code or the requirements of any City department, or any local, State or Federal agency.
3. **Responsibility for Administration.** The Development Services Director, or designee, shall be responsible for administering the provisions of this Special Sign District. This shall include the responsibility and authority to interpret any section of this document.



PROJECT LOCATION

VICINITY MAP



LEGEND:

--- SIGN DISTRICT BOUNDARY

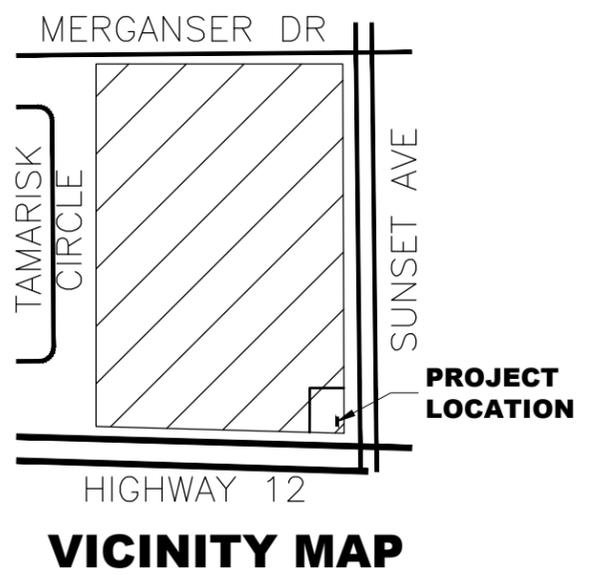
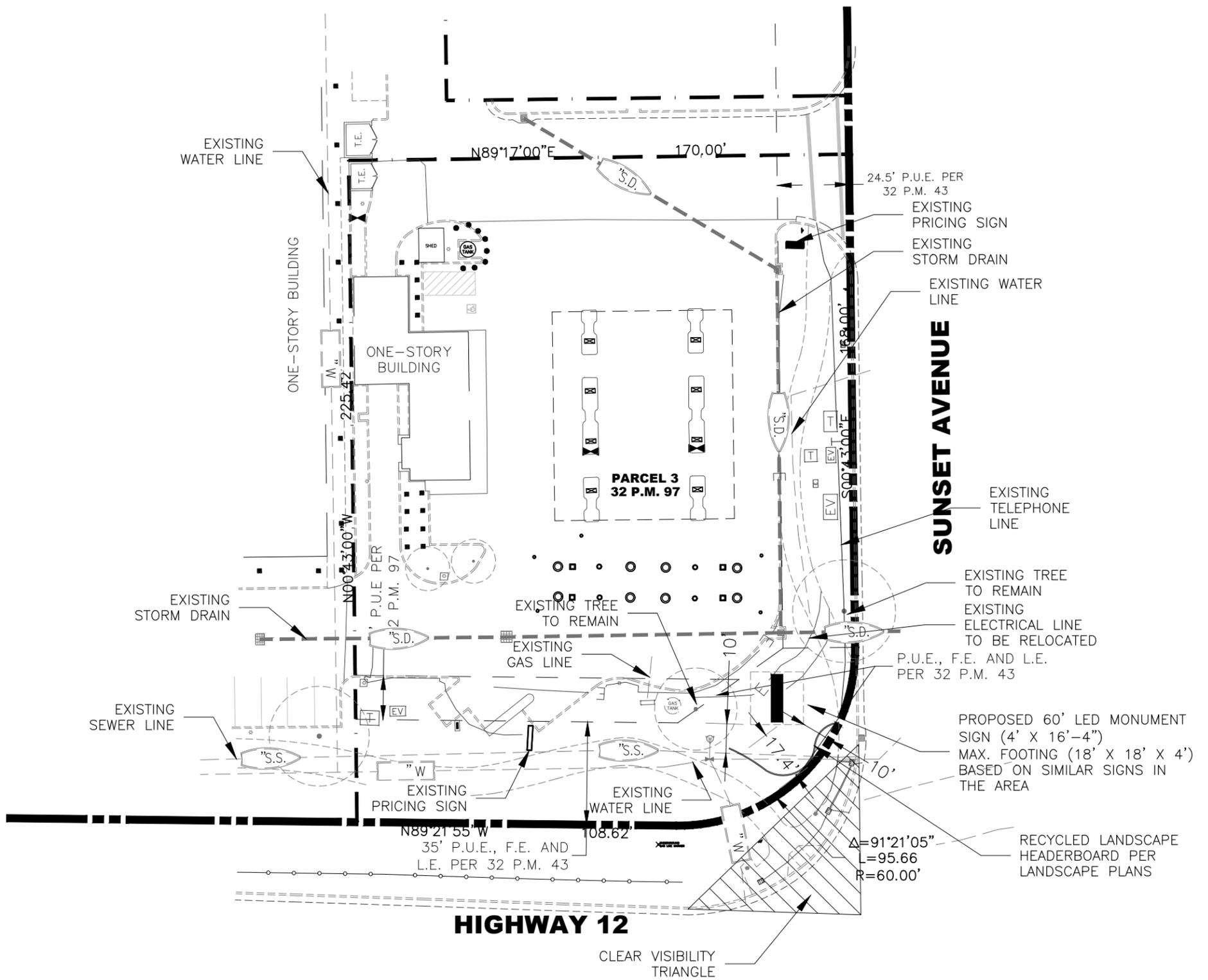
NOTE:

- SIGN DISTRICT TO INCLUDE PARCELS 1, 2, 3, 4, 5 AND 6 OF THAT PARCEL MAP OF HERITAGE CENTER, FILED JULY 29, 1988, IN BOOK 32 OF PARCEL MAPS, PAGE 96, SOLANO COUNTY RECORDS.
- REFER TO LANDSCAPE AND IRRIGATION PLANS FOR PROPOSED PLANTING AND IRRIGATION

**SIGN DISTRICT AND
SITE INVENTORY PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA
SHEET 2 OF 18**

Scale: 1"=100' Date: JANUARY 16, 2019 Job Number: 218-001

RSC ENGINEERING
2250 Douglas Blvd. Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408



LEGEND			
	SUPPORT COLUMN		FUEL STORAGE ACCESS COVER
	CANOPY SUPPORT COLUMN		FUEL STORAGE ACCESS COVER
	DRAIN INLET		FIRE HYDRANT
	SEWER CLEANOUT		BACKFLOW PREVENTER
	SEWER MANHOLE		WATER VALVE
	ELECTRIC BOX		ADA ACCESSIBLE PARKING SPACE
	TRANSFORMER	F.E.	FENCE EASEMENT
	ELECTRIC VAULT	L.E.	LANDSCAPE EASEMENT
	LIGHT	P.M.	PARCEL MAP (BOOK/PAGE)
	SIGN	P.U.E.	PUBLIC UTILITY EASEMENT
	STEEL BOLLARD	T.E.	TRASH ENCLOSURE
	TRAFFIC SIGNAL		CONCRETE
	TRAFFIC SIGNAL BOX		CHAIN LINK FENCE
			PUE, FE & LE PER 32 PM 43

NOTE:

- SIGN DISTRICT TO INCLUDE PARCELS 1, 2, 3, 4, 5 AND 6 OF THAT PARCEL MAP OF HERITAGE CENTER, FILED JULY 29, 1988, IN BOOK 32 OF PARCEL MAPS, PAGE 96, SOLANO COUNTY RECORDS.
- SEE DEMOLITION PLAN, SHEET 4 OF 15
- FOOTING DETAIL PER SIGN COMPANY, SEE SHEET X OF 15
- REFER TO LANDSCAPE AND IRRIGATION PLANS FOR PROPOSED PLANTING AND IRRIGATION

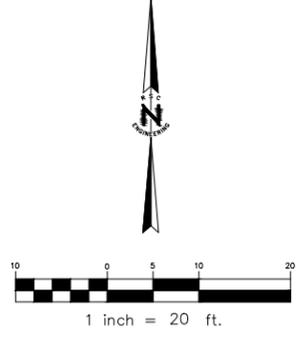
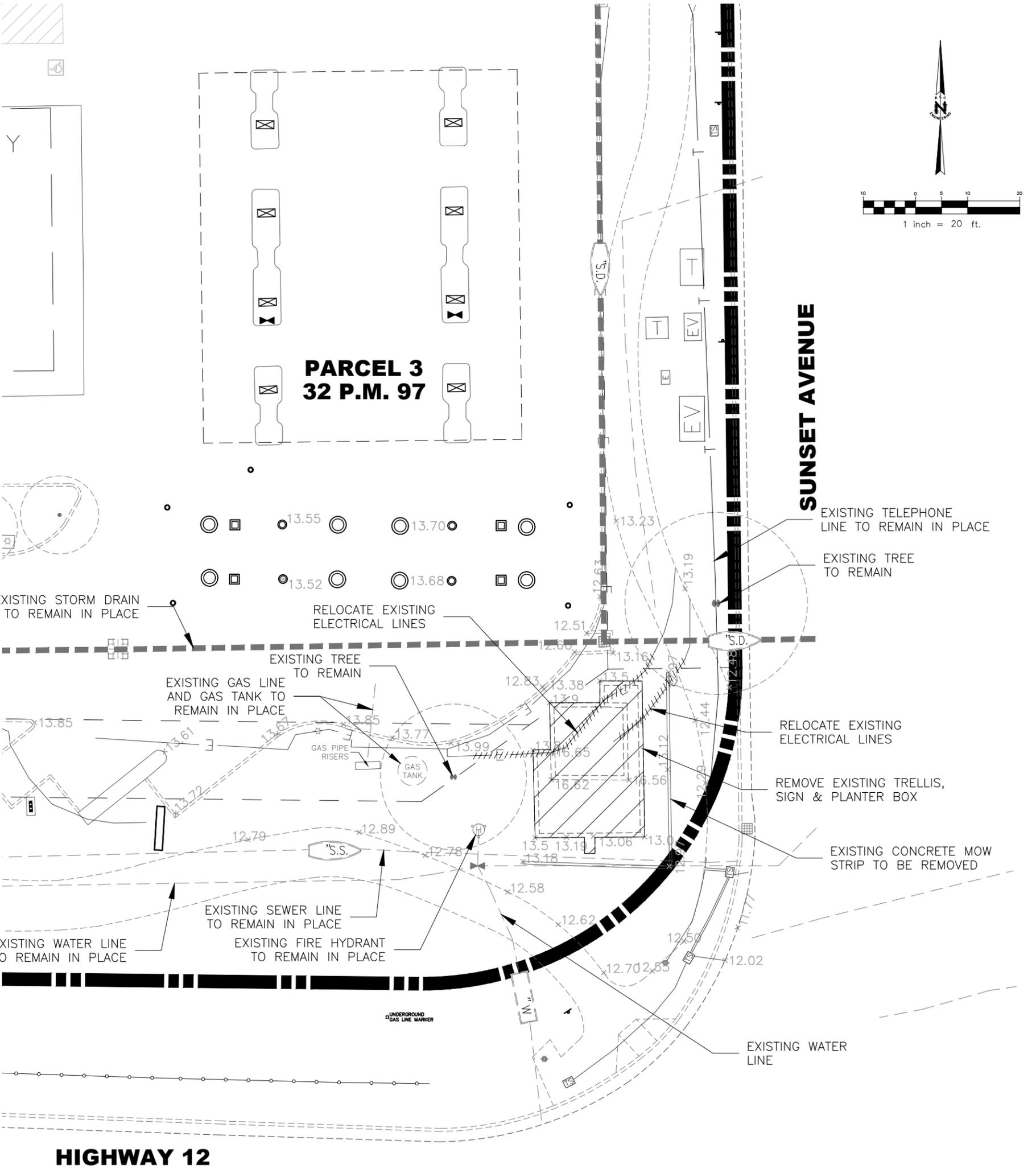
SITE PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA

SHEET 3 OF 18

Scale: 1"=40' Date: JANUARY 16, 2019 Job Number: 218-001

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RSC ENGINEERING
2250 Douglas Blvd. Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408



LEGEND

	SUPPORT COLUMN		FUEL STORAGE ACCESS COVER	EV	ELECTRIC VAULT	L.E.	LANDSCAPE EASEMENT
	CANOPY SUPPORT COLUMN		FUEL STORAGE ACCESS COVER		LIGHT	P.M.	PARCEL MAP (BOOK/PAGE)
	DRAIN INLET		FIRE HYDRANT		SIGN	P.U.E.	PUBLIC UTILITY EASEMENT
	SEWER CLEANOUT		BACKFLOW PREVENTER		STEEL BOLLARD	T.E.	TRASH ENCLOSURE
	SEWER MANHOLE		WATER VALVE		TRAFFIC SIGNAL		CONCRETE
	ELECTRIC BOX		ADA ACCESSIBLE PARKING SPACE		TRAFFIC SIGNAL BOX		CHAIN LINK FENCE
	TRANSFORMER	F.E.	FENCE EASEMENT				

NOTE:

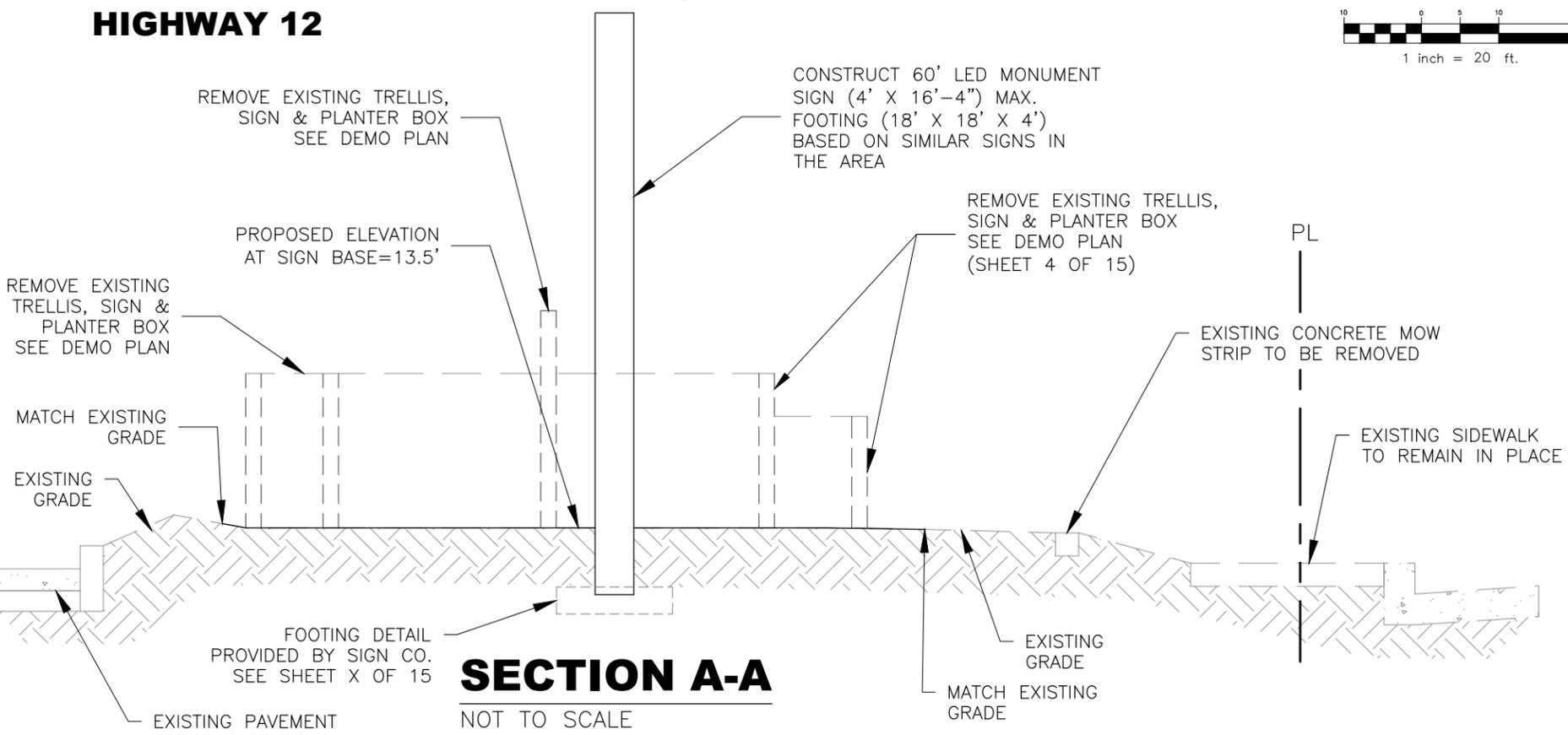
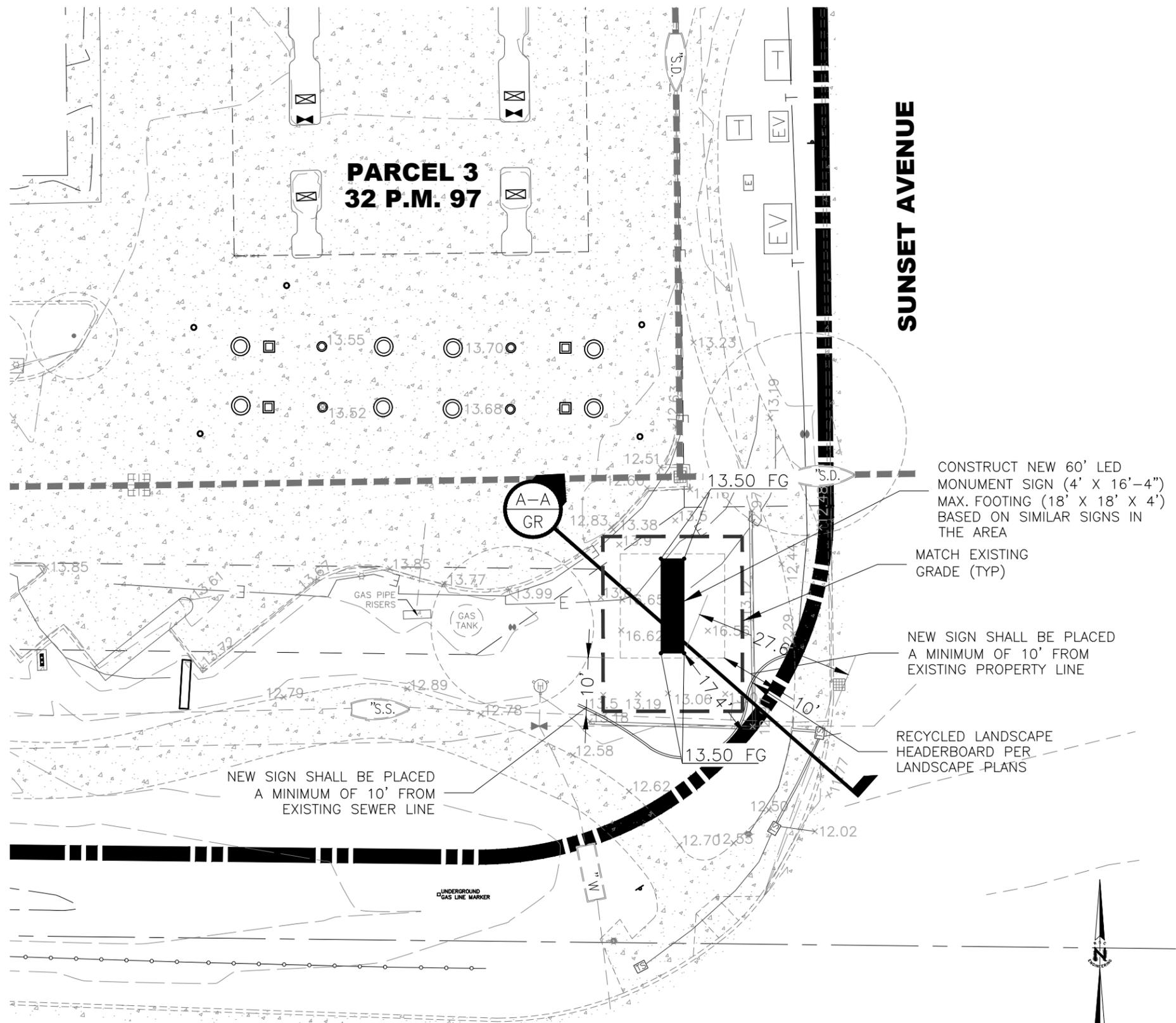
- SIGN DISTRICT TO INCLUDE PARCELS 1, 2, 3, 4, 5 AND 6 OF THAT PARCEL MAP OF HERITAGE CENTER, FILED JULY 29, 1988, IN BOOK 32 OF PARCEL MAPS, PAGE 96, SOLANO COUNTY RECORDS.
- REFER TO LANDSCAPE PLANS FOR REMOVAL OF EXISTING LANDSCAPING

DEMOLITION PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA

SHEET 4 OF 18

Scale: 1"=40' Date: JANUARY 16, 2019 Job Number: 218-001
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RSC ENGINEERING
 2250 Douglas Blvd. Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408



NOTE:

- SIGN DISTRICT TO INCLUDE PARCELS 1, 2, 3, 4, 5 AND 6 OF THAT PARCEL MAP OF HERITAGE CENTER, FILED JULY 29, 1988, IN BOOK 32 OF PARCEL MAPS, PAGE 96, SOLANO COUNTY RECORDS.
- SEE DEMOLITION PLAN, SHEET 4 OF 15
- FOOTING DETAIL PER SIGN COMPANY, SEE SHEET X OF 15
- REFER TO LANDSCAPE AND IRRIGATION PLANS FOR PROPOSED PLANTING AND IRRIGATION

GRADING PLAN
HERITAGE PARK SHOPPING CENTER
MONUMENT SIGN
200 SUNSET AVENUE
SUISUN CITY, CA

SHEET 5 OF 18

Scale: 1"=40' Date: JANUARY 16, 2019 Job Number: 218-001

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RSC ENGINEERING
 2250 Douglas Blvd. Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408

HERITAGE PARK MONUMENT SIGN

200 SUNSET AVENUE
SUISUN CITY, CALIFORNIA

Landscape Development Plans

PLANTING NOTES

1. Installing Contractor shall verify quantities and areas to be planted prior to start of job. Notify Landscape Architect of any discrepancies prior to starting work.
2. All planting areas shall be completely free of trash, debris, rocks, and construction materials larger than 2", and shall be brought to finish grade before planting begins. Finish grade shall be 2" below surface of walks, curbs, and paved areas in planting areas where bark is to be installed. Grades shall be flush at catch basins. Surfaces shall be sloped with regard to drainage requirements so that water does not puddle or stand.
3. If additional soil is required, it shall be approved loam as similar to the existing soil as possible, free of debris and noxious weeds. Prior to placing additional soil, disc or scarify the sub-grade to a depth of at least 8" to permit bonding to the sub-grade. Spread and rototill a one inch layer of new soil, then proceed to place remaining soil and establish finish grade.
4. Landscape contractor must conduct a soils test to determine amendment quantities. For bid purposes, assume the following soil preparation for all planting areas: Apply nitrified wood product amendment at a minimum rate of 6 cubic yards per 1000 sq. ft. and commercial fertilizer (16-16-16 NPK or equal) at a rate of 30 lbs. per 1000 sq.ft. for shrub and ground cover areas, 20 lbs. per 1000 sq.ft. for lawn areas. Rototill to a depth of 6" to 10". Compact and settle all areas by application of heavy irrigation to a minimum depth of 12".
5. Recycled plastic header shall be installed between all lawn and shrub/ground cover areas. Install per plans and details provided.
6. All plants shall be top quality nursery stock, free of disease and insect pests. Plants shall be normal size for container, vigorous, and true to name and variety. Plant holes shall be the same depth as the root ball, and three times the width for shrubs and four times the width for trees, see details.
7. Backfill for the plant holes shall be existing soil which has been previously amended. Apply Osmocote Controlled Release Formula fertilizer (18-6-12, 4 month formula) per manufacturer's recommendations.
8. When planted, crown of plant shall be 1-1/2" above finish grade. Prepare a water basin by forming a soil ring at least 3" high and as wide around the outer edge of the new plant hole. Water thoroughly to eliminate air pockets.
9. Upon completion of planting all containerized material, rake all shrub and ground cover areas to smooth grade, leaving watering basins intact. Prior to placement of bark mulch, all shrub and ground cover areas shall be treated with a pre-emergent herbicide (Ronstar or equal) per manufacturer's directions. Contractor to verify with manufacturer that pre-emergent will not adversely affect plant health.
10. Place a 3" layer of 'Walk-On' fir bark mulch, or approved equal, in all shrub and ground cover areas. Shredded redwood 'Gorilla Hair' is not acceptable.
11. Ground cover plants shall be planted in straight rows and evenly triangularly spaced at intervals noted in plant legend. Plant each rooted plant with its proportionate amount of rooting soil in a manner that will insure minimum disturbance of the root system.
12. For trees that require staking, use two 3" diameter treated lodgepole stakes set at minimum of 12" into undisturbed subgrade below the root ball. Place ties and stakes only to the level which will hold the tree upright; proper height is 6" above the point where the tree will snap to an upright position by itself if the top is pulled to one side as if wind loaded and then released. Ties shall be cinch-tie flexible vinyl (or equal) nailed to stake with galvanized nails, see details.
13. Sod lawns: After soil preparation, carefully smooth all surfaces and roll to expose depressions and irregularities. Regrade as necessary. Lay first strip of sod slabs along a straight line. Butt joints tightly, do not overlap edges. For remaining strips, stagger joints much as laying bricks. Use a sharp knife to cut sod to fit curves, edges, sprinkler heads, etc. When a conveniently large area has been sodded, water lightly to prevent drying. After laying all sod, roll lightly to eliminate irregularities and to form good contact between sod and soil. Water thoroughly; soil should be moistened at least 8 inches deep. Repeat sprinkling at regular intervals to keep sod moist at all times until rooted. After sod is established, decrease frequency and increase amount of water per application as necessary.
14. Contractor shall furnish all labor, material, equipment, and services required to maintain the landscape in an attractive condition as specified herein for a period of 60 days after final acceptance by Owner. Maintenance Period shall commence after all planting and related work has been completed in accordance with Plans and Notes. A prime requirement is that all lawn areas shall show an even, healthy stand of grass which shall have been mown at least twice. Any materials found to be dead, missing, or in poor condition during the Maintenance Period shall be replaced within 10 days of written notification by the Owner. Contractor shall not be held responsible for damage arising from acts of God, vandalism, theft, or negligence by Owner during the Maintenance Period.

IRRIGATION NOTES

1. Installing Contractor shall verify all dimensions and areas prior to start of job. Intent is for full coverage of planting. Notify Landscape Architect of any discrepancies prior to trenching.
2. Plan is diagrammatic and not intended to show exact locations of piping and valves. Install valves and piping in landscape areas wherever possible. Install valves near curbs and sidewalks whenever possible. Sprinkler head spacings are shown accurately and shall be installed as indicated by the center of the symbol. Contractor is responsible for pipe sizing the irrigation system correctly.
3. All materials shall be new and in perfect condition. No deviations from the specifications will be allowed without prior written approval of Landscape Architect.
4. Mainline shall be SCH 40 PVC or CL315 at a minimum depth of 18" below finish grade. Lateral lines shall be SCH 40 PVC at a minimum depth of 12" below grade. Use only the solvent supplied and recommended by the pipe manufacturer to make plastic pipe joints. Allow 15 minutes set-up curing time before moving or handling, and 24 hour curing time before water is placed in PVC pipe. Center load pipe with a small amount of backfill to prevent arching and whipping under pressure.
5. Where more than one pipe is installed in a trench, place pipe side by side at a minimum of 2" apart. Where soil conditions are rocky, place a 4" layer of fine material on bottom of trench prior to installation of pipe.
6. All valves shall be installed in Carson poly-plastic valve boxes with flush covers, or approved equal. Remote control valves shall be installed in Carson 1419 12" depth standard rectangular valve boxes; Drip zone remote control valves with filters and PRVs shall be installed in Carson 1220 12" depth jumbo rectangular valve boxes; Ball valves shall be installed in Carson 0011 10" diameter round valve boxes. Top of valve boxes shall be 1" above finish grade.
7. Install pop-up shrub heads and lawn spray heads 2" from curbs and walks.
8. At valves, both wires shall be brought into valve box and shall have an excess loop of 24" before being spliced into the solenoid pigtail using Pentite connectors.
9. After valves have been installed, test all mainlines for leaks at full line pressure for a period of 2 hours with couplings exposed and pipe sections center loaded. Before testing, fill line with water for at least 24 hours. Provisions shall be made for thoroughly bleeding the line of air and debris. Correct all defects and retest.
10. All excavations shall be backfilled with fine material to 4" above crown of pipe and tamped; then fill with earth and tamp. All trenches shall be left flush with adjoining grade and in a firm unyielding condition. Any subsequent settling shall be corrected by the Contractor.
11. Install systems without spray nozzles, drip emitters or rotor heads. Flush and operate each valve system at full pressure until all debris is removed. Install spray nozzles, drip emitters and rotor heads.
12. Test to determine that all sprinklers function according to manufacturer's data and give full coverage according to intent of drawing. Replace and adjust as necessary. Additional heads shall be provided by the Contractor to cover areas shown to be deficient by test.
13. Contractor shall set initial program for the controller. Contractor shall provide Owner with the instruction manual and demonstrate its operation to the Owner.
14. Contractor shall guarantee all parts and labor for one year with exception of damage caused by vandalism, theft, adverse natural conditions, or anything beyond the control of the Contractor.

GENERAL NOTES

1. Landscape areas not covered with live material shall be covered with a 3" 'Walk-On' fir bark mulch layer.
2. Adjust location of plant material to avoid interference with building numbers and addresses at mature height.
3. Provide a minimum three foot clearance around all fire protection equipment and associated landscape apparatus.
4. Landscaping shall be placed and pruned as to retain the required clearance for ladder access to windows around the building and to not interfere at maturity with 13'-6" emergency vehicle access clearance.
5. Turf slopes cannot exceed 4:1.
6. Maintain a minimum distance of 18" between edge of lawn and trunk of tree(s).
7. Landscape contractor shall provide protection for all concrete surfaces when installing landscape materials. Staining of concrete from dirt, tire marks and damaged curbs will not be permitted. All damaged surfaces shall be cleaned or replaced.
8. Landscape contractor shall coordinate and install the sleeving and stubbing for irrigation crossing parking lots and paved areas.
9. Landscape contractor shall grade all landscape areas 2% min. to drain to the street. Landscape contractor is responsible to provide positive drainage away from all buildings. All planters and planter islands should be crowned to prevent standing water.
10. Root barriers are required in all locations where trees are placed closer than 48" from curbs, sidewalks, concrete or asphalt refer to detail for specification and installation.
11. Quantities found in the plant legend are for contractor convenience. In the event that the quantities in the legend differ from those found on the plans, the quantities found on the plans will take precedence.
12. Contractor to hand dig only under existing tree canopies, no mechanical excavation will be allowed, do not cut any roots 2" or larger in diameter, if it is necessary to prune roots 2" in diameter or larger, contractor shall hire the services of a licensed arborist to supervise and direct the work, follow all recommendations of the arborist.

DRAWING INDEX

- L-0.1 - COVER SHEET
- L-1.1 - IRRIGATION PLAN
- L-2.1 - PLANTING PLAN
- L-2.2 - EXISTING PLANTING PLAN
- L-3.1 - IRRIGATION DETAILS
- L-3.2 - PLANTING DETAILS AND WATER CALCULATIONS



YAMASAKI
LANDSCAPE ARCHITECTURE

JEFF AMBROSIA, ASLA C4057

1223 HIGH STREET
AUBURN, CALIFORNIA 95603
(530) 885-0040
FAX (530) 885-0042
www.yamasaki-la.com

HERITAGE PARK MONUMENT SIGN
LANDSCAPE DEVELOPMENT PLANS
200 SUNSET AVENUE
SUISUN CITY, CALIFORNIA

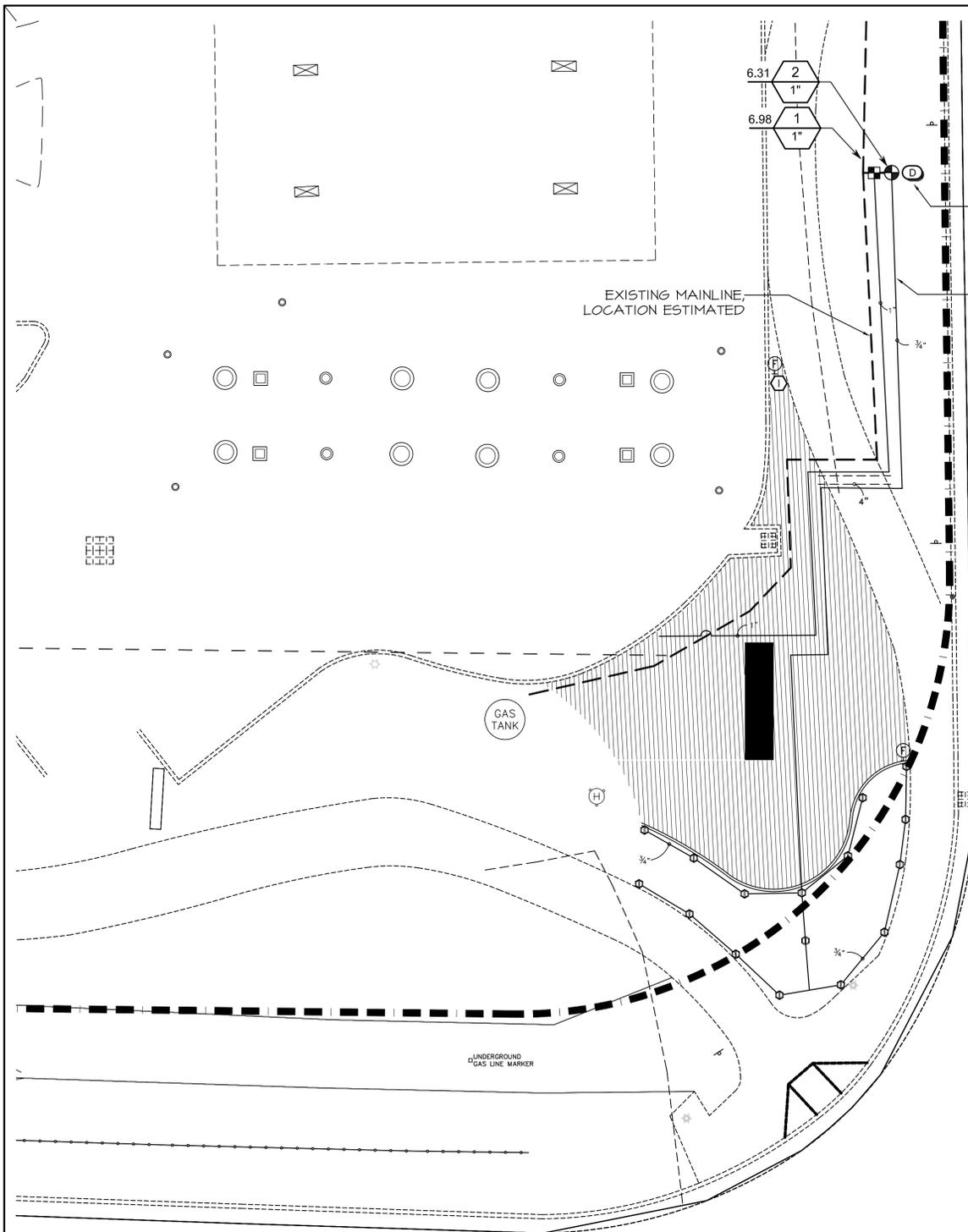
These drawings are instruments of service and are the property of Yamasaki Landscape Architecture. All designs and other information on the drawings are for the use on the specified project and shall not be used otherwise without the express written permission of Yamasaki Landscape Architecture.

Sheet Title
COVER SHEET



No.	Date	Revision
△		
△		
△		
△		

Project Mgr.: JMA Sheet No.:
 Drawn By: CJM
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 Date: 15 JAN 19
 File Name: HP-CV 6 of 18 sheets



USE THE TSM DOUBLER TO CONNECT THE EXISTING IRRIGATION CONTROL WIRES TO THE NEW DRIP VALVE

CONNECT NEW LATERALS AND TO EXISTING SPRAY VALVE

NOTE: SAWCUT EXISTING CONCRETE FOR IRRIGATION TRENCHES AND SLEEVES; REPAIR TO ORIGINAL CONDITION.

SUNSET AVE.

HIGHWAY 12

IRRIGATION SCHEDULE

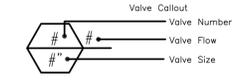
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Hunter MP8005R PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	40

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICZ-101-25 Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.
	Netafim TLFV-1 Automatic Flush Valve, with Insert Inlet
	Hunter ECO-ID ECO-ID, 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.

Area to Receive Dripline
 Netafim TLCV-06-18
 Techline Pressure Compensating Landscape Dripline with Check Valve. 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. 17mm.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Existing Remote Control Valve
	TSM Doubler Follow manufacturer's instructions for installation.

Irrigation Lateral Line: PVC Schedule 40
 Irrigation Mainline: PVC Schedule 40
 Pipe Sleeve: PVC Schedule 40
 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.



VALVE SCHEDULE

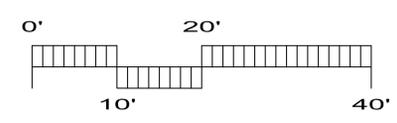
NUMBER	MODEL	SIZE	TYPE	GPM
1	Hunter ICZ-101-25	1"	Area for Dripline	6.98
2	Existing Remote Control Valve	1"	Turf Rotary	6.31

NOTES

Remove existing irrigation heads, rotors, and laterals.

Irrigation design is based on a maximum demand of 8 GPM with a minimum operating pressure of 55 PSI. Irrigation design was conducted before the exact pressure was determined. Landscape Contractor shall test and verify pressure and flow prior to starting job and notify Landscape Architect immediately if water and pressure flows do not meet these minimum requirements. If available pressure does not meet the minimum operating pressure of 55 PSI, Landscape Contractor shall contact Landscape Architect for irrigation redesign.

Irrigation plan is diagrammatic; install valves and irrigation lines in planters whenever possible.

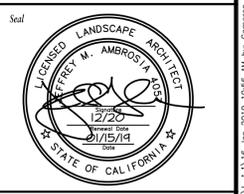


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 SUISUN CITY, CALIFORNIA

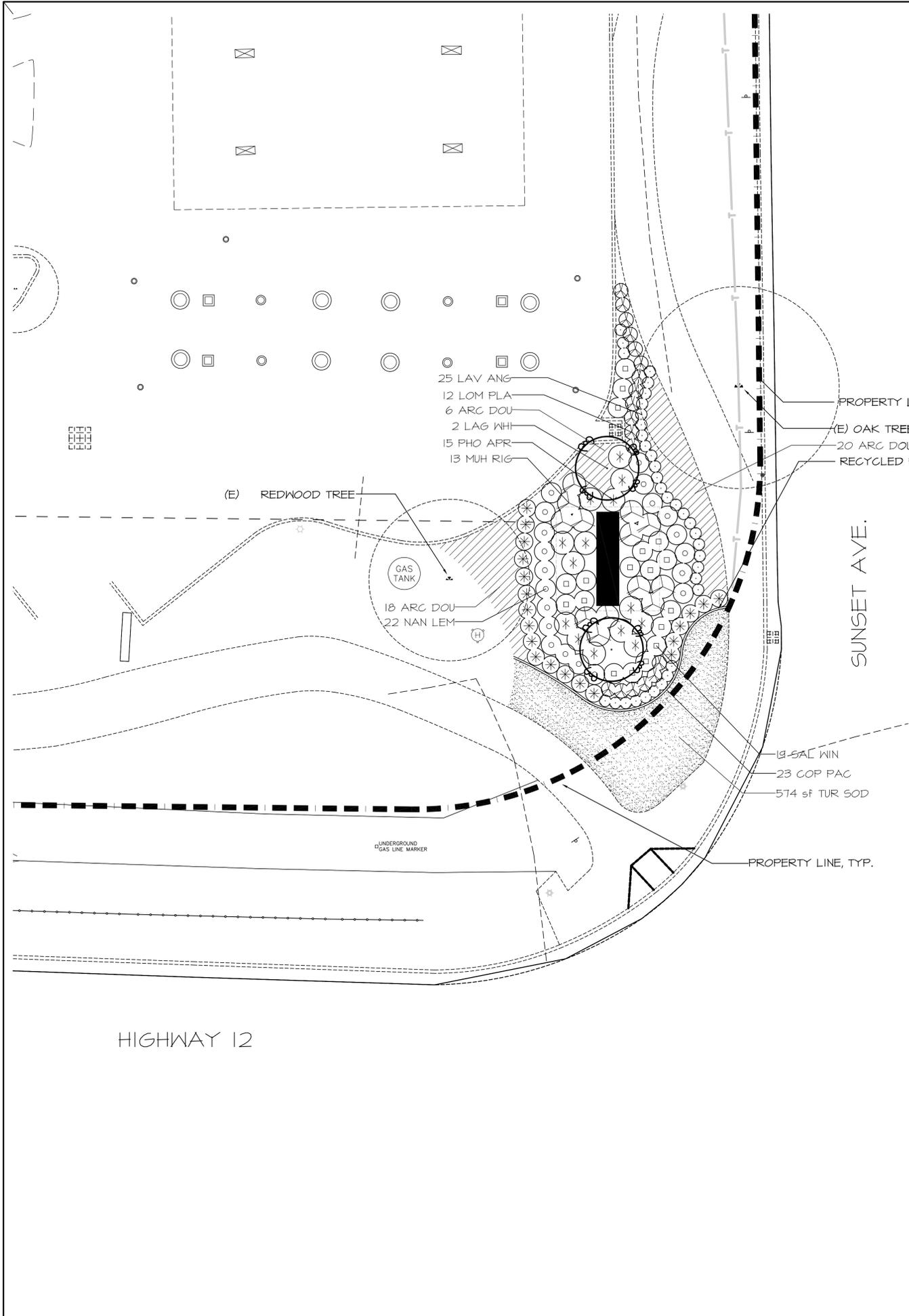
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IRRIGATION PLAN



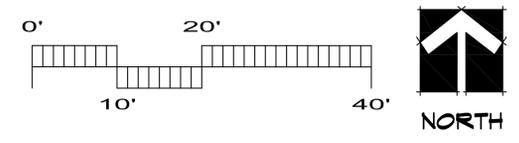
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 Scale: 1"=10' L I I
 Date: 15 JAN 19
 File Name: HP-IR 7 of 18 sheets



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS	
	LAG WHI	2	Lagerstroemia x Whit II 'Dynamite' / Dynamite Grape Myrtle	15 gal	L	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS	
	COP PAC	20	Coprosma repens 'Pacific Sunrise' / Pacific Sunrise Mirror Plant	5 gal	M	
	LAV ANG	34	Lavandula angustifolia / English Lavender	1 gal	L	
	LOM PLA	18	Lomandra longifolia 'Platinum Beauty' / Mat Rush	1 gal	L	
	MUH RIG	13	Muhlenbergia rigens / Deer Grass	5 gal	L	
	NAN LEM	20	Nandina domestica 'Lemon Lime' / Lemon Lime Nandina	1 gal	L	
	PHO APR	14	Phormium tenax 'Apricot Queen' / New Zealand Flax	5 gal	L	
	SAL WIN	18	Salvia clevelandii 'Minifred Gillman' / Cleveland Sage	5 gal	L	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	WUCOLS
	ARC DOU	44	Arctostaphylos x 'John Dourley' / John Dourley Manzanita	1 gal	36" o.c.	L
SOD	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	WUCOLS
	TUR SOD	574 sf	Turf Sod Bolero Plus TM / Available From Delta Blue Grass Co.	sod		H



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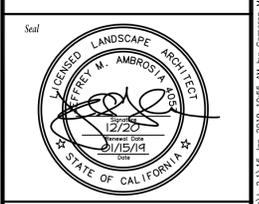
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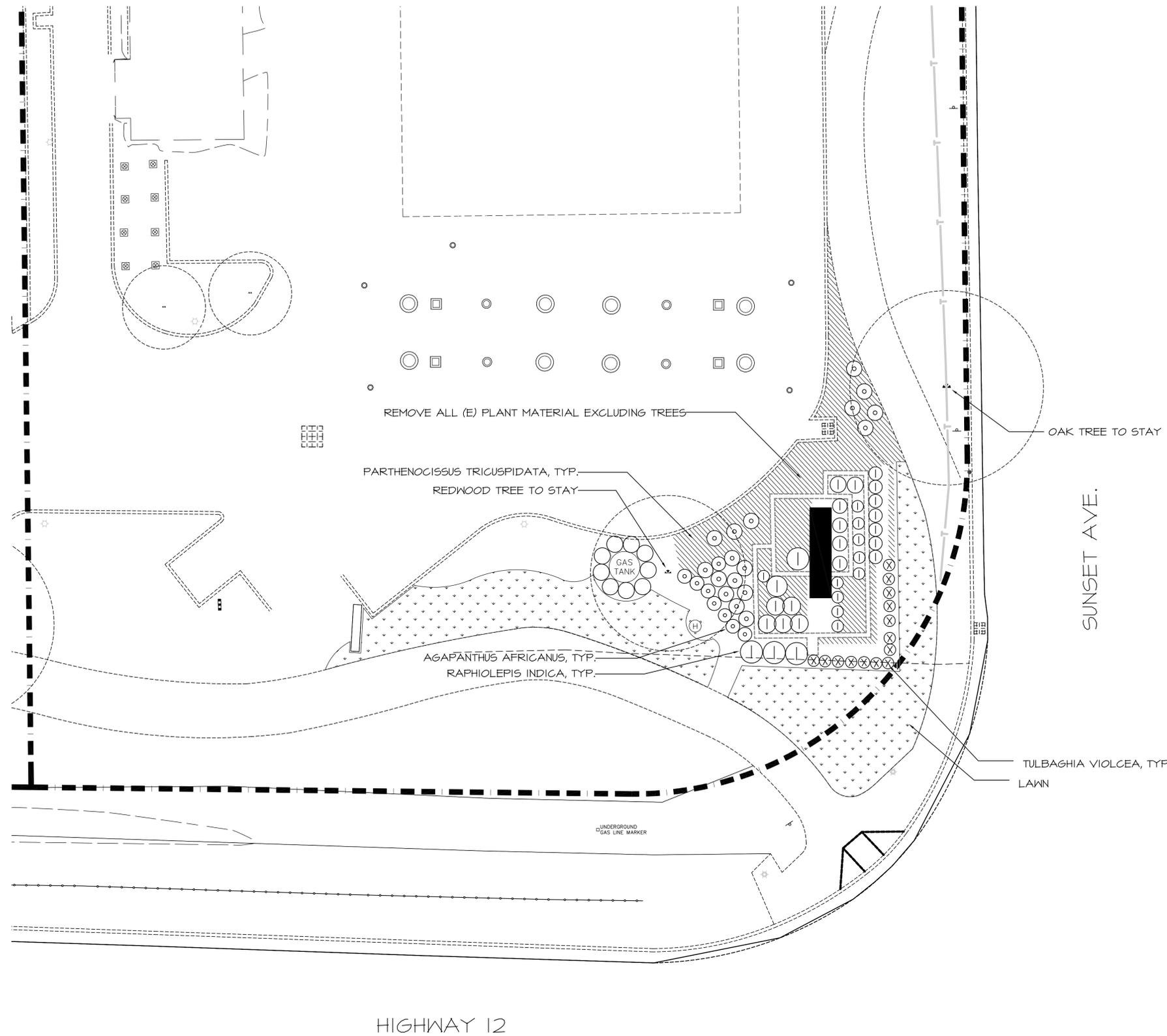
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Sheet Title
PLANTING PLAN



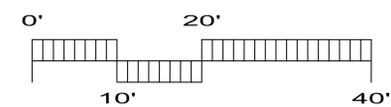
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 Date: 15 JAN 19
 File Name: HP-PL 8 of 18 sheets



HIGHWAY 12

SUNSET AVE.



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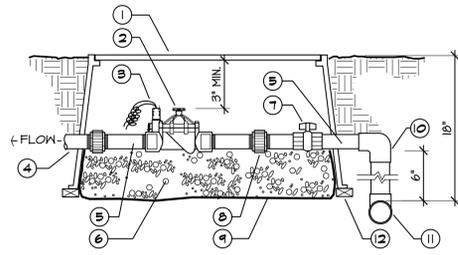
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Sheet Title
**EXISTING
PLANTING PLAN**



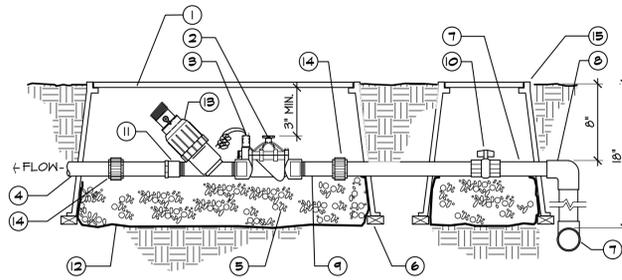
No.	Date	Revision
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Project Mgr.: JMA	Sheet No.:
Drawn By: CJM	L 2.2
Scale: 1"=10'	
Date: 15 JAN 19	
File Name: HP-PL-EXIST 9	of 18 sheets



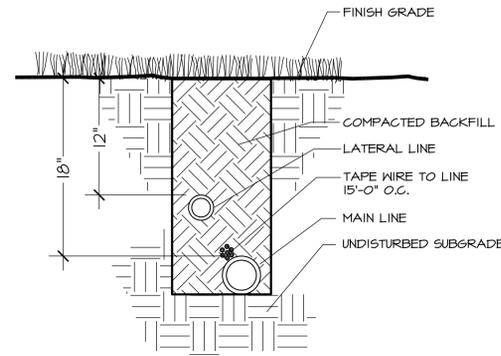
- LEGEND**
- ① RECTANGULAR JUMBO VALVE BOX
 - ② REMOTE CONTROL VALVE
 - ③ SOLENOID
 - ④ PVC LATERAL
 - ⑤ SCH. 80 PVC NIPPLE (TYP.)
 - ⑥ 6" PEA GRAVEL SUMP
 - ⑦ PVC BALL VALVE
 - ⑧ PVC UNION
 - ⑨ FILTER FABRIC
 - ⑩ SCH. 40 9X5 ELL
 - ⑪ SCH. 40 MAINLINE
 - ⑫ STANDARD BRICK
- NOTES:**
- Use Teflon Tape on all threaded manifold components
 - Use a PVC Ball Valve with every valve
 - Line sump with filter fabric and leave exposed over gravel 2" min.

REMOTE CONTROL VALVE (A)
VLV-RMT SCALE: N.T.S.

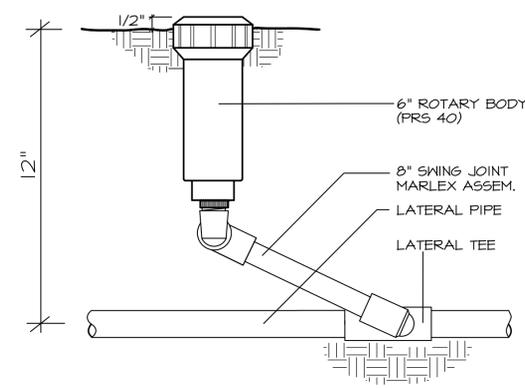


- LEGEND**
- ① RECTANGULAR JUMBO VALVE BOX
 - ② REMOTE CONTROL VALVE
 - ③ SOLENOID
 - ④ PVC LATERAL
 - ⑤ 6" PEA GRAVEL SUMP
 - ⑥ STANDARD BRICK
 - ⑦ PVC MAINLINE
 - ⑧ PVC ELL
 - ⑨ SCH. 80 PVC TOE NIPPLE
 - ⑩ MATCO T10 PVC BALL VALVE
 - ⑪ FEMALE ADAPTER
 - ⑫ FILTER FABRIC
 - ⑬ PRESSURE REGULATING FILTER
 - ⑭ UNION
 - ⑮ 10" ROUND VALVE BOX
- NOTES:**
- Use Teflon Tape on all threaded manifold components
 - Use a PVC Ball Valve with every valve
 - Line sump with filter fabric and leave exposed over gravel 2" min.

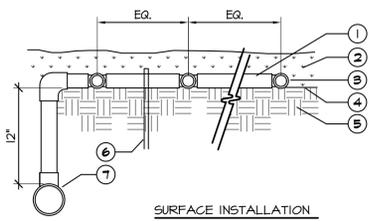
REMOTE CONTROL VALVE FOR DRIFT (B)
VLV-PRV-2 SCALE: N.T.S.



IRRIGATION TRENCH (C)
TRNCHI SCALE: N.T.S.

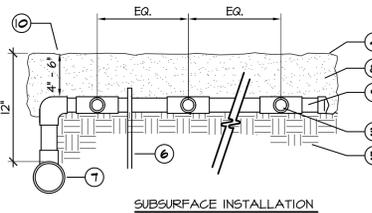


6" POP-UP ROTARY NOZZLE (D)
HDS-O.5 SCALE: N.T.S.

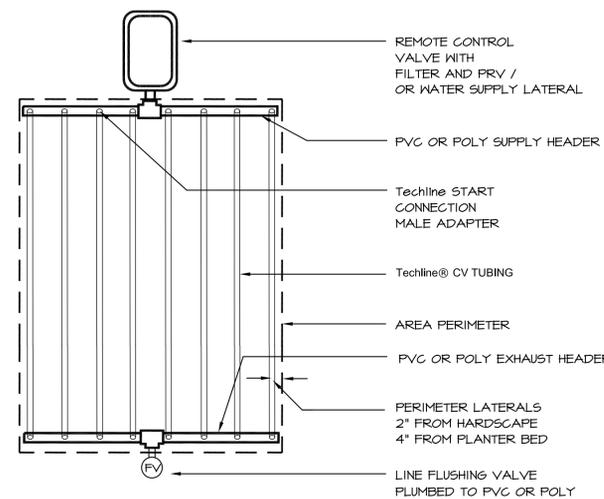


- LEGEND**
- ① DRIPLINE HEADER
 - ② MULCH
 - ③ DRIPLINE, SEE PLANS FOR SPACING
 - ④ FINISHED GRADE
 - ⑤ SUBGRADE
 - ⑥ STAPPLES
 - ⑦ SUPPLY LATERAL
 - ⑧ AMENDED SUBGRADE
 - ⑨ PVC HEADER
 - ⑩ DRIPLINE DEPTH LAWN SHRUBS = 6"

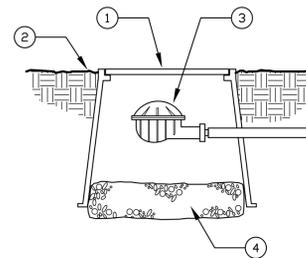
- NOTES:**
- Choose header style based on flow and header layout requirements.
 - See plans and specifications for surface or subsurface installation.



SURFACE/SUBSURFACE DRIPLINE INSTALLATION (E)
NTFM-DPTH SCALE: N.T.S.

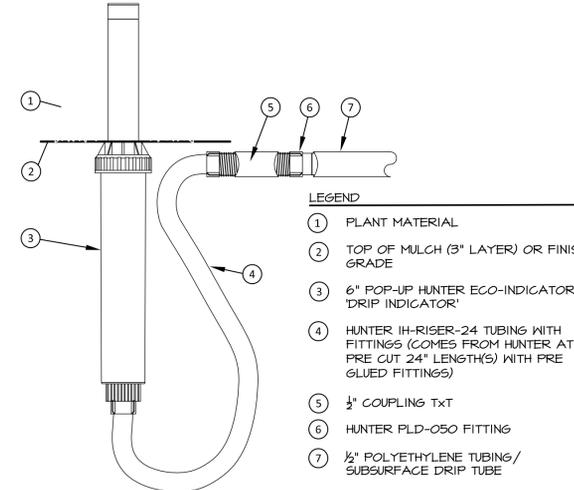


NETAFIM TECHLINE CV END FEED LAYOUT (F)
NTFM-CV SCALE: N.T.S.



- LEGEND**
- ① 6" ROUND VALVE BOX
 - ② FINISH GRADE
 - ③ TECHLINE LINE FLUSHING VALVE
 - ④ PEA GRAVEL SUMP
- NOTES:**
- Use Teflon Tape on all threaded manifold components
 - Line sump with filter fabric and leave exposed over gravel 2" min.

FLUSH VALVE (G)
VLV-FLSH SCALE: N.T.S.



- LEGEND**
- ① PLANT MATERIAL
 - ② TOP OF MULCH (3" LAYER) OR FINISH GRADE
 - ③ 6" POP-UP HUNTER ECO-INDICATOR 'DRIP INDICATOR'
 - ④ HUNTER IH-RISER-24 TUBING WITH FITTINGS (COMES FROM HUNTER AT PRE CUT 24" LENGTH(S) WITH PRE GLUED FITTINGS)
 - ⑤ 1/2" COUPLING T x T
 - ⑥ HUNTER PLD-050 FITTING
 - ⑦ 1/2" POLYETHYLENE TUBING/SUBSURFACE DRIP TUBE
- NOTE:**
1. INSTALL INDICATOR AT THE END OF EACH DRIP ZONE SYSTEM OR AT EACH END OF A CENTER FEED SYSTEM.
 2. INSTALL INDICATOR MINIMUM 24" FROM PLANT MATERIAL.

6" POP-UP DRIP INDICATOR (H)
DRP IND SCALE: N.T.S.

Sleeving Schedule

ALL PIPE SLEEVES TO BE SCHEDULE 40 PVC. ALL PLASTIC LINES SHALL BE INSTALLED IN SLEEVES UNDER PAVED AREAS. SLEEVES SHALL EXTEND AT LEAST 12 INCHES BEYOND THE EDGES OF THE PAVEMENT. SIZE OF SLEEVES SHALL BE AS FOLLOWS:

PIPE OR WIRE SIZE	REQUIRED SLEEVE
3/4", 1" PIPE	1-2" PVC SLEEVE
1-1/4", 1-1/2", 2", 2-1/2" PIPE	1-4" PVC SLEEVE
3", 4" PIPE	1-6" PVC SLEEVE
6" PIPE	1-8" PVC SLEEVE
1-25 CONTROL WIRES	1-2" PVC SLEEVE
26-35 CONTROL WIRES	2-2" PVC SLEEVES

Pipe Sizing Schedule

PIPE SIZE	CL 200 (GPM)	CL 315 (GPM)	SCH 40 (GPM)
3/4"	6-10	7-8	5-8
1 INCH	11-16	9-14	9-13
1-1/4"	17-26	15-24	14-23
1-1/2"	21-35	25-33	24-32
2 INCHES	36-55	34-44	33-53
2-1/2"	56-83	50-74	54-74
3 INCHES	84-125	75-104	75-116
4 INCHES	126-200	110-180	117-200
6 INCHES	200-425	190-375	200-450

1. ALL LATERAL PIPE LARGER THAN 1/2" TO BE MINIMUM CLASS 200.
2. ALL MAINLINE PIPE 3/4" - 1 1/2" SHALL BE SCH 40.
- ALL MAINLINE PIPE 2" - 4" SHALL BE CLASS 315.
- ALL MAINLINE PIPE 6" AND GREATER SHALL BE CLASS 200.



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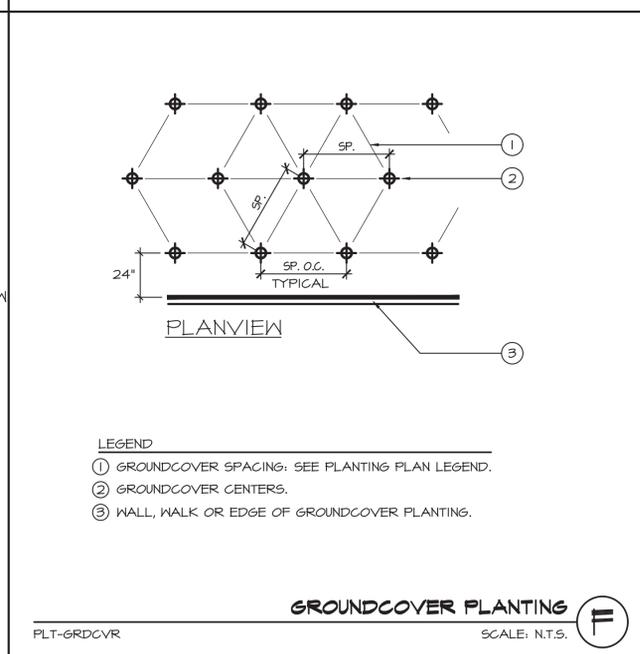
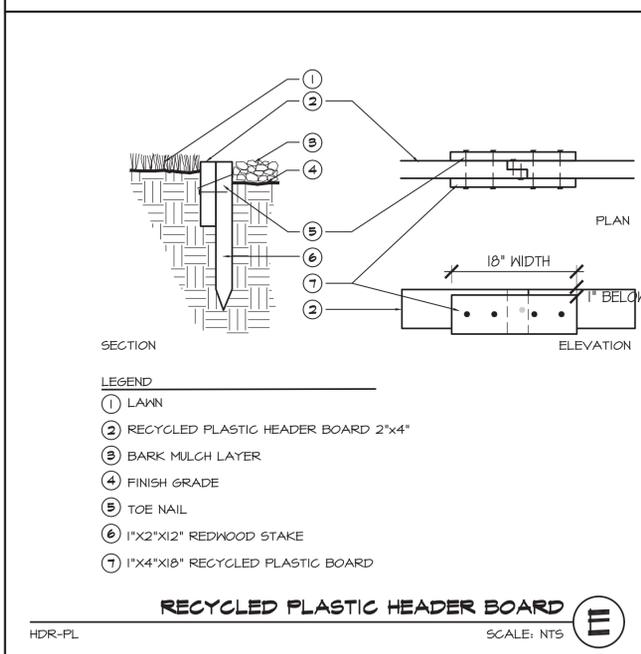
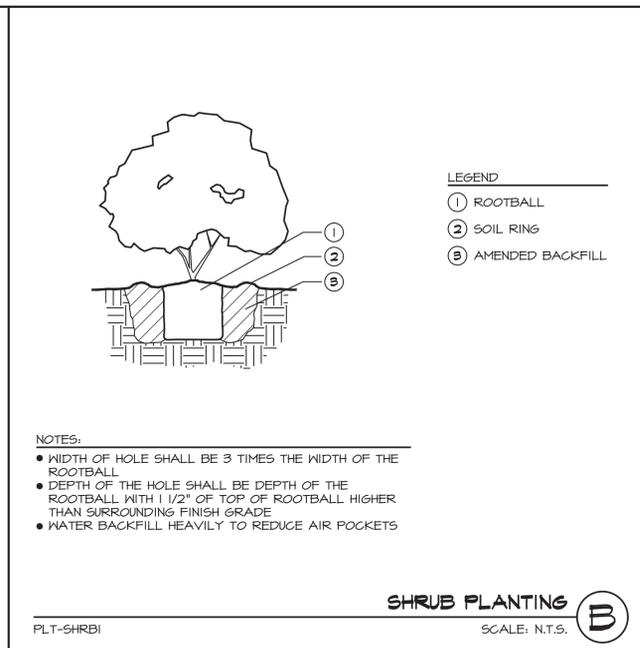
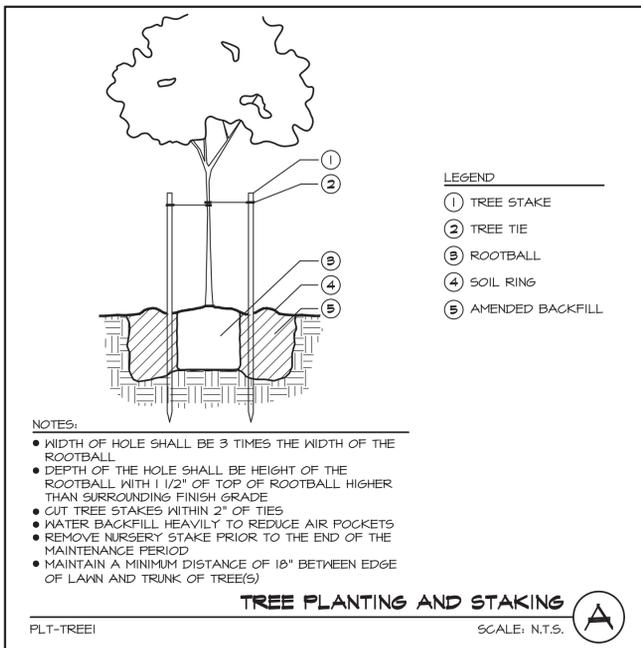
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IRRIGATION DETAILS



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Project Mgr.: JMA Sheet No.:
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Scale: SEE DRAWING **L 3.1**
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File Name: HP-IRDT 10 of 18 sheets



YAMASAKI LANDSCAPE ARCHITECTURE
Irrigation Division
Irrigation Audit Services (CLIA)
LEED Certified Landscape Design
AB1881 Compliance Documentation

PROJECT INFORMATION

Project Name: Heritage Park Shopping Center Date: 11/26/2018

Project Contact: Applicant: Yamasaki Landscape Architecture
1223 High Street, Auburn, CA 95603
(530) 885-0040
Contact: Jeff Ambrosia
Owner: Michelle Simmons
ProEquity Asset Management Corporation
(916) 877-7878
Project Address: 200 Sunset Ave.
Suisun City, CA

Project Type: New Public Project
Local Water Purveyor: City of Suisun City
Water Supply: Potable Water

Total Landscape Area: 2,142 s.f.
Maximum Applied Water Allowance: 27,012 gallons
Estimated Total Water Use: 26,377 gallons

Document Check List:

- Project Information
- Water Efficient Landscape Worksheet
- Soil Management Report
- Landscape Design Plan
- Irrigation Design Plan
- Grading Design Plan

Applicant Signature: _____ Date: 11/26/2018

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."

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Irrigation Audit Services (CLIA)
LEED Certified Landscape Design
AB1881 Compliance Documentation

Water Efficient Landscape Worksheet
Section A: Hydrozone Information Sheet

Hydrozone	Zone or Valve #	Irrigation Method	Area (Sq.Ft.)	% of Landscape Area
L	1	Drip	1,639	77%
H	2	Rotor	503	23%
	3			0%
	4			0%
	5			0%
	6			0%
	7			0%
	8			0%
	9			0%
	10			0%
	11			0%
	12			0%
	13			0%
	14			0%
	15			0%
	16			0%
	17			0%
	18			0%
	19			0%
	20			0%
	21			0%
	22			0%
	23			0%
	24			0%
	25			0%
	26			0%
Total Bubbler Area			0	0%
Bubbler Area is deducted from Drip Area			2,142	100%
Total Area(Sq.Ft.)			2,142	
Total (%)				100%

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Water Efficient Landscape Worksheet
Section B: Water Budget Calculation

Maximum Applied Water Allowance (MAWA)

Project ETo City: Suisun City

MAWA = (ETo) (0.62) [(0.45 x LA) + (0.55 x SLA)]

Insert: 45.2 Where: MAWA = Maximum Applied Water Allowance (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
0.45 = ET Adjustment Factor (ETAF)(AB 1881 Dec 1, 2015)
LA = Landscape Area includes Special Landscape Area (Sq.Ft.)
0.62 = Conversion Factor (to gallons per Sq.Ft.)
SLA = Special Landscape Area (Sq.Ft.)
0.55 = The additional ET Adjustment Factor for SLA (1.0-0.45=0.55)

MAWA = 45.2 (0.62) [(0.45 x 2,142) + (0.55 x 0)]

Maximum Applied Water Allowance: 27,012 Gal. / Yr

Effective Precipitation (Eppt)

If considering Effective Precipitation, use 25% of Annual precipitation.

MAWA = (ETo - Eppt) (0.62) [(0.45 x LA) + (0.55 x SLA)]

Annual Prec: 0 (x 0.25)

Eppt: 0

MAWA = 45.2 - 0 (0.62) [(0.45 x 2,142) + (0.55 x 0)]

Maximum Applied Water Allowance: 27,012 Gal. / Yr

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AB1881 Compliance Documentation

Water Efficient Landscape Worksheet
Section B: Water Budget Calculation

Estimated Total Water Use (ETWU)

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	IE	ETAF (PF/IE)	Area (HA) (Sq.Ft.)	ETAF x Area	Estimated Total Water Use
1	Low (L)	0.2	0.81	0.25	1,639	405	11,341
2	High (H)	0.8	0.75	1.07	503	537	15,036
3						0	0
4						0	0
5						0	0
6						0	0
7						0	0
8						0	0
9						0	0
10						0	0
11						0	0
12						0	0
13						0	0
14						0	0
15						0	0
16						0	0
Total					2,142	941	26,377
SUM							26,377
Special Landscape Areas							
				0.00	0	0	0
				0.00	0	0	0
				0.00	0	0	0
				0.00	0	0	0
				0.00	0	0	0
				0.00	0	0	0
Total SLA				SUM	0	0	0

Project Eto: 45.2
Regular Landscape ETWU: 26,377
Average ETAF: 0.44
SLA ETWU: 0
Sitewide ETAF: 0.44

Max Applied Water Allowance: 27,012 Estimated Total Water Use: 26,377

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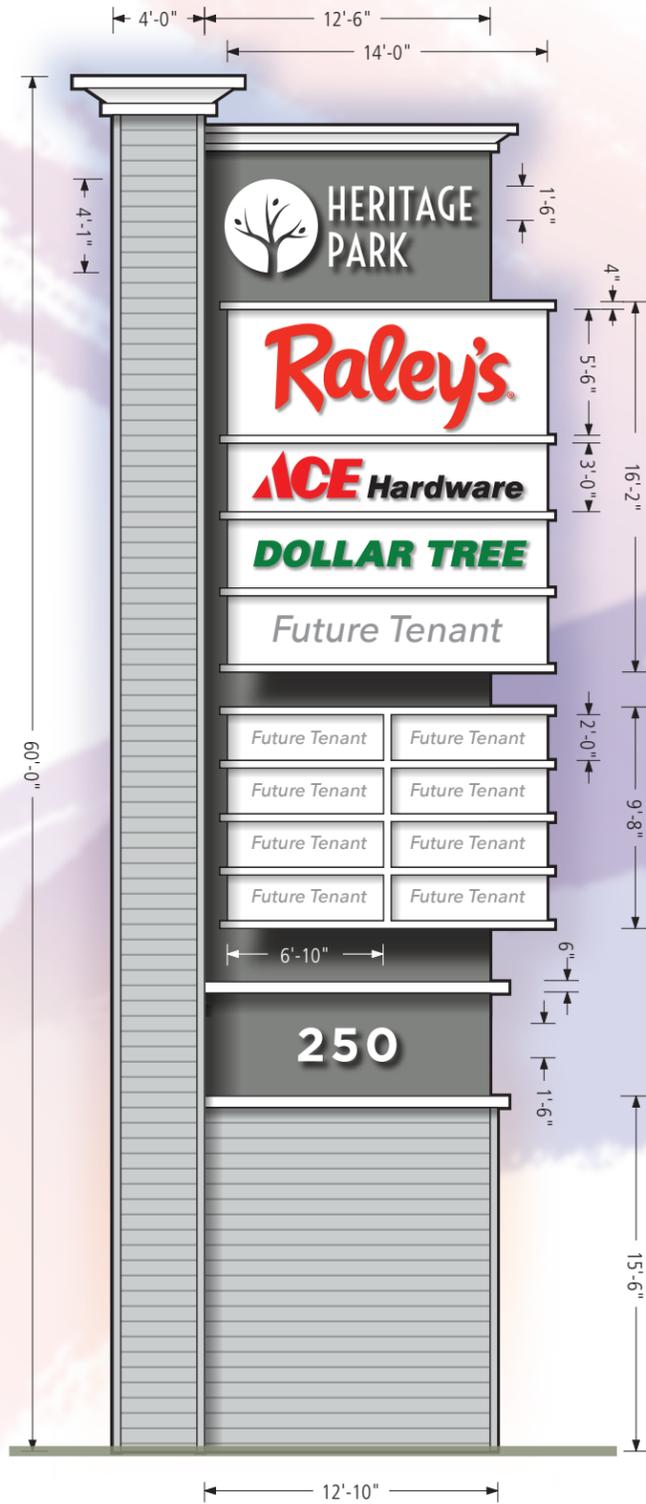
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Seal:

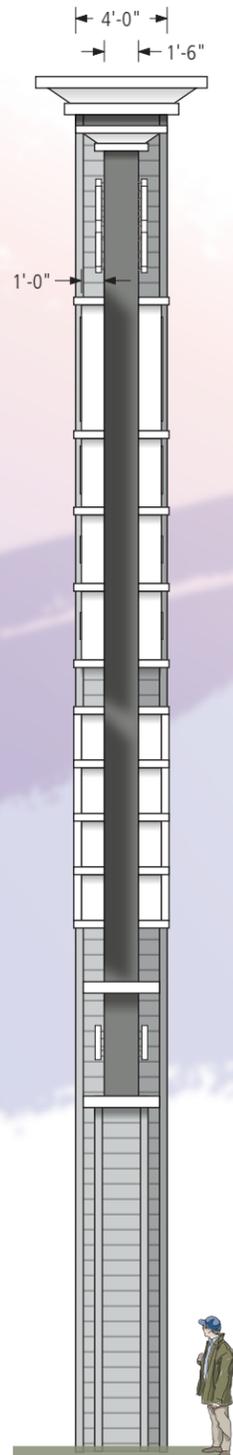
No. Date Revision

Project Mgr.: JMA Sheet No.:
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Scale: SEE DRAWING **L 3.2**
Date: 15 JAN 19
File Name: HP-PLDT 11 of 18 sheets

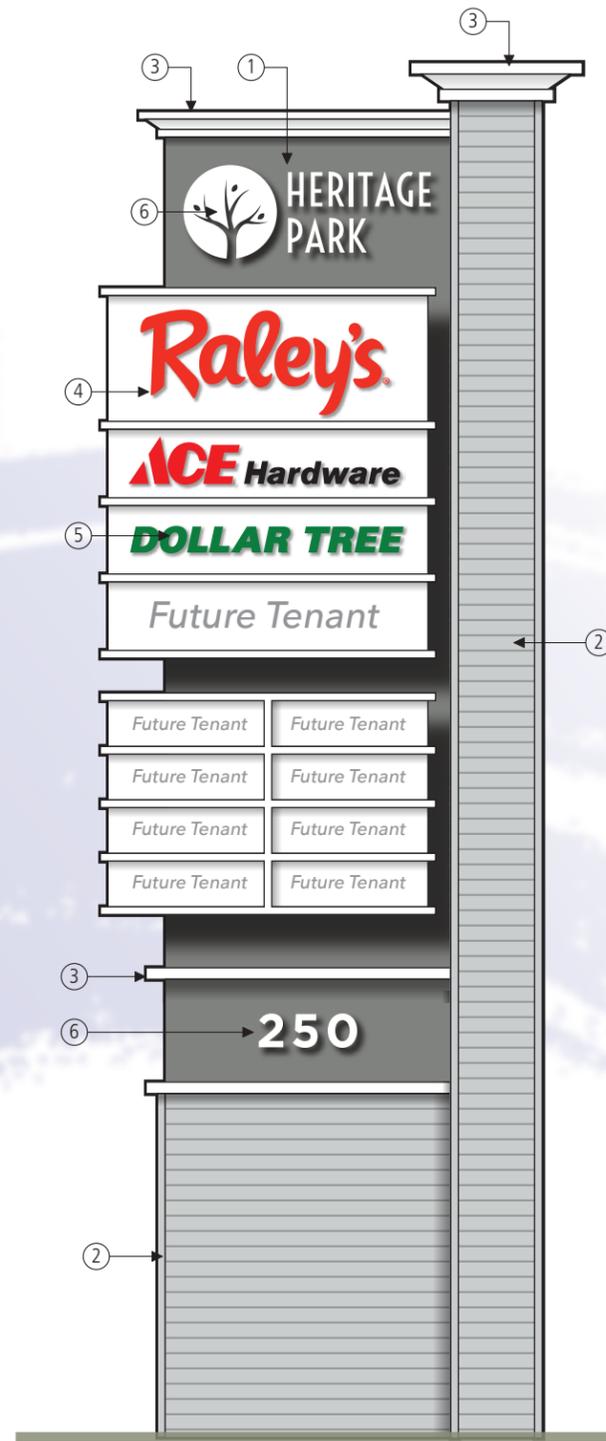
Freestanding Sign | D/F Shared Tenant Pylon Sign



A D/F Multi-Tenant Pylon Sign (Side 1)
Scale 1/8" = 1'-0"



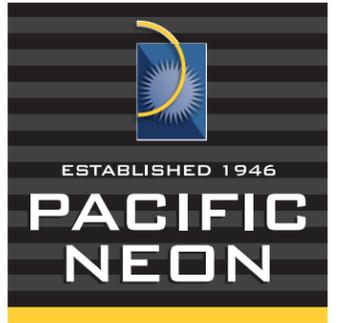
A End View (Street Side)
Scale 1/8" = 1'-0"



A D/F Multi-Tenant Pylon Sign (Side 2)
Scale 1/8" = 1'-0"

Material Schedule

- ① Recessed Fin Background
Fin to be fabricated aluminum construction with texcote finish. Faces and returns to be painted to match Sherwin Williams SW 7067 Cityscape.
- ② Pole Cover and Base
Fabricated frame structure to be skinned with James Hardie Hardie Plank cement fiber board siding with corner rails painted to match Sherwin Williams SW 7662 Evening Shadow.
- ③ Cornices and Tenant Panel Dividers
Fabricated aluminum construction with light texcote (sand) finish. All exposed surfaces to be painted White.
- ④ Tenant Cabinet / Panel Faces
Cabinet to be fabricated aluminum construction. Tenant faces to be routed out aluminum (for tenant graphics) with a light texcote (sand) finish. Tenant panel faces and returns to be painted White. Cabinet to be internally illuminated with H.O. fluorescent lamps as req'd.
- ⑤ Tenant Panel Graphics
All graphics to be push-thru clear acrylic with 3M White Diffuser film applied to face. 3M colored vinyl film to be applied over diffuser as per tenant's color specifications. Raley's logo to be 3M 3630-143 Red vinyl film overlay to match PMS 485C.
- ⑥ Shopping Center Identity / Address
Shopping center graphics to be fabricated aluminum, reverse pan channel halo illuminated construction. Faces and returns to be painted White, satin finish. Backs to be clear Lexan with White diffuser film. Letters to be internally illuminated with White L.E.D. modules. Letter sign cabinets and graphic rule to be pegged off of recessed fin background surface with 1-1/2" tube spacer standoffs.



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Fax 916. 927.2414
www.pacificneon.com

Project No: **17-0093-05**

Account Executive: **Ralph Cundiff**

Project:
Heritage Park Shopping Center

Address:
250 Sunset Ave.
Suisun City, CA

Drawn By: **William Dickson**
Date: **3.30.17**
Revision: **11.26.18**
11.30.18
12.18.18
1.15.19

Customer Approval:

U.L. Listed
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Electrical Circuits
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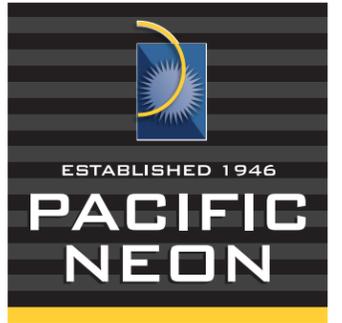
Freestanding Sign | Photo Renderings



D/F Multi-Tenant Pylon Sign - East Elevation



D/F Multi-Tenant Pylon Sign - West Elevation



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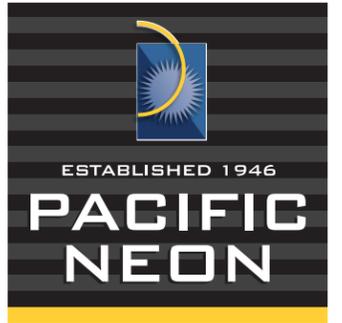
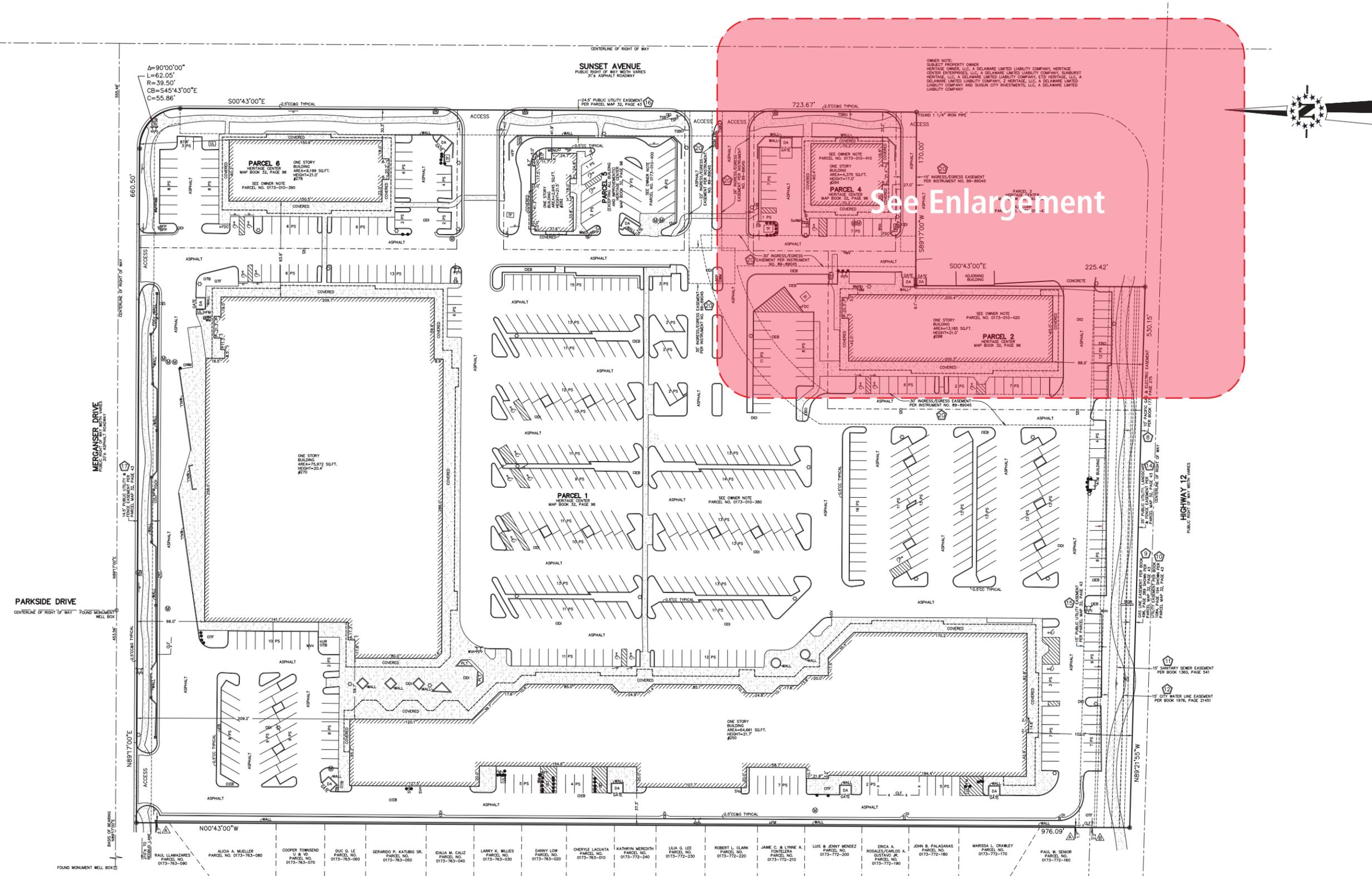
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1 Plaza Shops Sign - 8'-0" h x 14'-0" w O.A.



2 Shopping Center Entry Sign (Sunset Ave.) - 13'-6" h x 12'-6" w O.A.



3 Flyers Price Point Sign (Sunset Ave.) - 5'-5" h x 8'-1" w



4 Del Taco Sign (Sunset Ave.) - 3'-0" h x 8'-0" w



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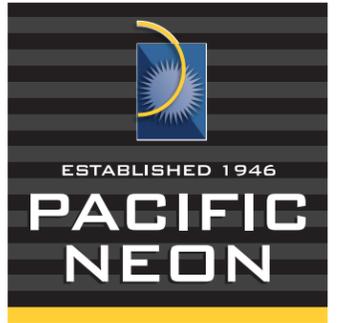
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5 Flyers Price Point Sign (Hwy12) - 5'-5" h x 8'-1" w



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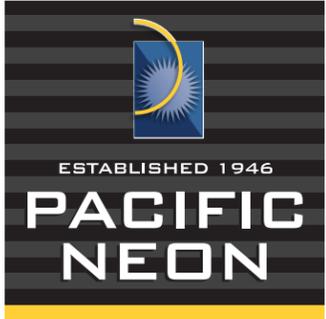
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Project No: **17-0093-06**

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2.8.19

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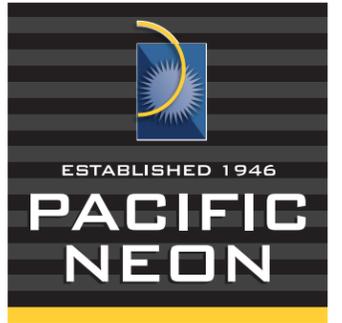
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D/F Multi-Tenant Pylon Sign - West Elevation



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Project No: **17-0093-06**

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