

APPRAISAL OF
TWO COMMERCIAL PROPERTIES
APN's: 0032-141-170, 180
Main / Morgan / Solano Streets
Suisun City, California

AT THE REQUEST OF

Mr. Bret Prebula -
City Manager
701 Civic Center Boulevard
City of Suisun City, Ca 94585

AS OF

December 30, 2025

PREPARED BY

DAVID J. VARGAS - REAL ESTATE APPRAISALS
4416 Moffitt Drive
Napa, CA 94558

DAVID J. VARGAS - REAL ESTATE APPRAISALS

4416 Moffitt Drive, Napa, Ca 94558; (707) 258-0427; davidvargas@sbcglobal.net

February 2, 2026

Mr. Bret Prebula
City Manager
701 Civic Center Boulevard
City of Suisun City, Ca 94585

Re: TWO COMMERCIAL PROPERTIES
APN's: 0032-141-170, 180
Main / Morgan / Kellogg Streets
Suisun City, California

Dear Mr. Prebula:

As requested, the properties identified by APN's: 0032-141-170, 180 and located together at frontages of Main / Morgan / Kellogg Streets, Suisun City, California were appraised. The subject property is two legal parcels are improved as parking lots, but they can be redeveloped with structures and they are appraised as vacant land.

Each lot is effectively developable land; each zoned for commercial uses per the Waterfront Specific Plan (Main Street Mixed Use).

The purpose of the appraisal is to estimate the market value of each of the subject properties "as if vacant land" as separate parcels. The interest appraised is their fee simple interest. The function of the report is for property management and the intended user is the City of Suisun City.

In the valuation of the subject, the Sales Comparison Approach was completed. The report is made in compliance with USPAP. The date of valuation is December 30, 2025 which is also the date of inspections.

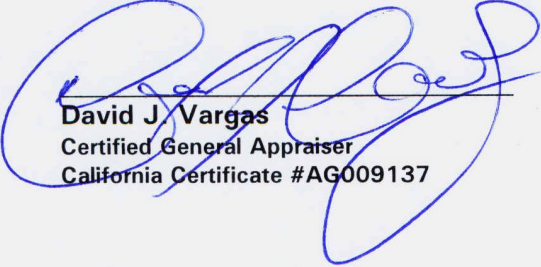
Based on a market investigation and analysis, the estimated market value of the subject properties "as if vacant" as of December 30, 2025 is the following:

Parcel	Size	Unit Value	Market Value
0032-141-170	11,434	\$20.00 s.f.	\$228,680; R \$228,000
0032-141-180	16,363	\$22.00 s.f.	\$359,986; R \$360,000
Total	27,797	\$21.15 avg.	\$588,000

Mr. Bret Prebula
February 2, 2026
Page 2

The report which follows contains a summary of our investigation and analysis. The conclusions contained herein are subject to the limiting conditions attached. This report has been produced in conformity with the Uniform Standards of Professional Practice (USPAP) of the Appraisal Foundation, and is subject to the requirements of the Code of Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute. This report conforms to the requirements of the Financial Institution Reform, Recovery and Enforcement Act (FIRREA).

Respectfully submitted,



David J. Vargas
Certified General Appraiser
California Certificate #AG009137

David J. Vargas, MAI

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STATEMENT OF LIMITING CONDITIONS

1. Date and definitions of value, together with other definitions and assumptions on which our analysis are based, are set forth in appropriate sections of this report. These are to be considered part of these limiting conditions as if included here in their entirety.
2. The conclusions stated herein, including values which are expressed in terms of the U.S. Dollar, apply only as of the date of value and are based on prevailing physical and economic conditions and available information at that time. No representation is made as to the effect of subsequent events.
3. Title to the property is assumed to be marketable and free and clear of all liens, encumbrances, easements and restrictions except those specifically discussed in the report. The property is appraised assuming it to be under responsible ownership and competent management, and available for its highest and best use.
4. All facts and data set forth in this report are true and accurate to the best of the appraiser's knowledge and belief. The appraisal is based upon the assumption that data which is of public record or which has been secured through interviews with owners, agents or other informed persons is true and correct. The appraisers reserve the right to make appropriate revisions in the event of discovery of additional or more accurate data.
5. The appraiser reserves the right to make such adjustments to the analyses, opinions and conclusions set forth in this report as may be required by consideration of additional data or more reliable data that may become available.
6. The appraiser assumes no responsibility for hidden or unapparent conditions of the property, subsoil, or structures that render it more or less valuable. No responsibility is assumed for arranging for engineering studies that may be required to discover them.
7. The property is appraised assuming it to be in full compliance with all applicable federal, state, and local environmental regulations and laws, unless otherwise stated.
8. The property is appraised assuming that all applicable zoning and use regulations and restrictions have been complied with, unless otherwise stated.
9. The property is appraised assuming that all required licenses, certificates of occupancy, consents, or other legislative or administrative authority from any local, state, or national government or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
10. No engineering survey has been made by the appraiser. Except as specifically stated, data relative to size and area was taken from sources considered reliable and no

encroachment of real property improvements is considered to exist.

11. Unless otherwise stated in this report, the existence of hazardous material, which may or may not be present on the property, was not observed by the appraiser. The appraiser has no knowledge of the existence of such materials on or in the property. The value estimate is predicated on the assumption that there is no such material on or in the property that would cause a loss in value.
12. Since earthquakes are not uncommon in the area, no responsibility is assumed due to their possible effect on individual properties, unless detailed geologic reports are made available.
13. This appraisal covers only the real property described herein. Unless specifically stated to the contrary, it does not include consideration of related right of entry, nor personal property or the removal thereof.
14. By reason of this assignment, testimony or attendance in court or at any government or other hearing with reference to the property is not required without prior arrangements having been made relative to such additional employment.
15. No opinion is expressed as to the value of subsurface oil, gas or mineral rights or whether the property is subject to surface entry for the exploration or removal of such materials except as is expressly stated.
16. Maps, plats and exhibits included in this part are for illustration only as an aid in visualizing matters discussed within the report. They should not be considered as surveys or relied upon for any other purpose, nor should they be removed from, reproduced, or used apart from the report.
17. No opinion is intended to be expressed for matters which require legal expertise or specialized investigation or knowledge beyond that customarily employed by real estate appraisers.
18. The distribution, if any, of the total valuation in this report between land and improvements applies only under the stated program of utilization. The separate allocations for land and buildings must not be used in conjunction with any other appraisal and are invalid if so used.
19. Disclosure of the contents of this report is governed by the By-Laws and Regulations of the Appraisal Institute. Neither all nor any part of the contents of this report (especially the conclusions as to value, the identity of the appraiser or the firm with which he is connected, or any reference to the Appraisal Institute or the MAI designation) shall be disseminated to the public through advertising media, public relations media, news media, sales media or any other public means of communication, without prior written consent and approval of the authors.
20. The liability of David J. Vargas - Real Estate Appraisals its owners and staff is limited

to the Client only and to the amount of the fee actually paid for the services rendered, as liquidated damages, if any related dispute arises. Further, there is no accountability, obligation or liability to any third party. If this report is placed in the hands of anyone other than the Client, the Client shall, after its knowledge thereof, make such party aware of all limiting conditions and assumptions of the assignment and related discussions. The Appraiser is in no way to be responsible for any cost incurred to discover or correct any deficiencies of any type present in the property, physically, financially and/or legally. The Client also agrees that in case of lawsuit (brought by lender, partner or part owner in any form of ownership, tenancy or any other party), Client will hold appraisers completely harmless from and against any liability, loss, cost or expense incurred or suffered by appraiser in such action, regardless of its outcome.

SPECIAL LIMITING CONDITIONS AND CRITICAL ASSUMPTIONS

1. A preliminary title report was not available for review. Title to the property is assumed to be marketable, and free and clear of all liens, encumbrances, easements and restrictions which negatively impact the subject property, except those specifically discussed in the report.

The client is strongly advised to obtain a preliminary title report to determine all legal factors affecting the property prior to any loan or related decisions.

Designated Wildlife Habitat: It is not known whether there are designated wetlands or wildlife habitat on the subject property.

2. Unless otherwise stated in this report, compliance with the requirements of the Americans with Disabilities Act of 1990 (ADA) has not been considered in arriving at the opinion of value stated herein.
3. We have not been provided with an environmental assessment report regarding the subject property. ***The appraisers, however, are not qualified to make any judgments regarding hazardous materials or assess the impact of hazardous substances and toxics in regard to the subject property. The value estimate is predicated on the assumption that there is no such material on or in the property that would cause a loss in value. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required to discover them.***

EXECUTIVE SUMMARY

Property:	Two Commercial properties
Location:	Main / Morgan / Kellogg Streets (south block) Suisun City, California 94585
Census Tract & Zip Code:	2523.10 / 94534
Assessor's Parcel Number:	APN's: 0032-141-170, 180
Land Area:	11,434 sf, 16,363 sf, respectively
Zoning:	MSMU – Main Street Mixed Use; DMU – Downtown Mixed Use
Total Building Area:	not applicable
Flood Zones:	APN: 0032-141-180 is not within a flood zone, but APN: 0032-141-170 is within a flood zone of minimal risk, according to FIRM Map Panel #06095C-0456F, dated 08/03/16.
Earthquake Zones:	The subject property is not in an Alquist-Priolo Special Studies zone.
Highest & Best Use:	Redevelop
Property Rights Appraised:	Fee simple interest
Date of Inspection:	December 30, 2025
Date of Appraised Value:	December 30, 2025
Marketing and Exposure Times:	Six to eighteen months

Valuation Summary

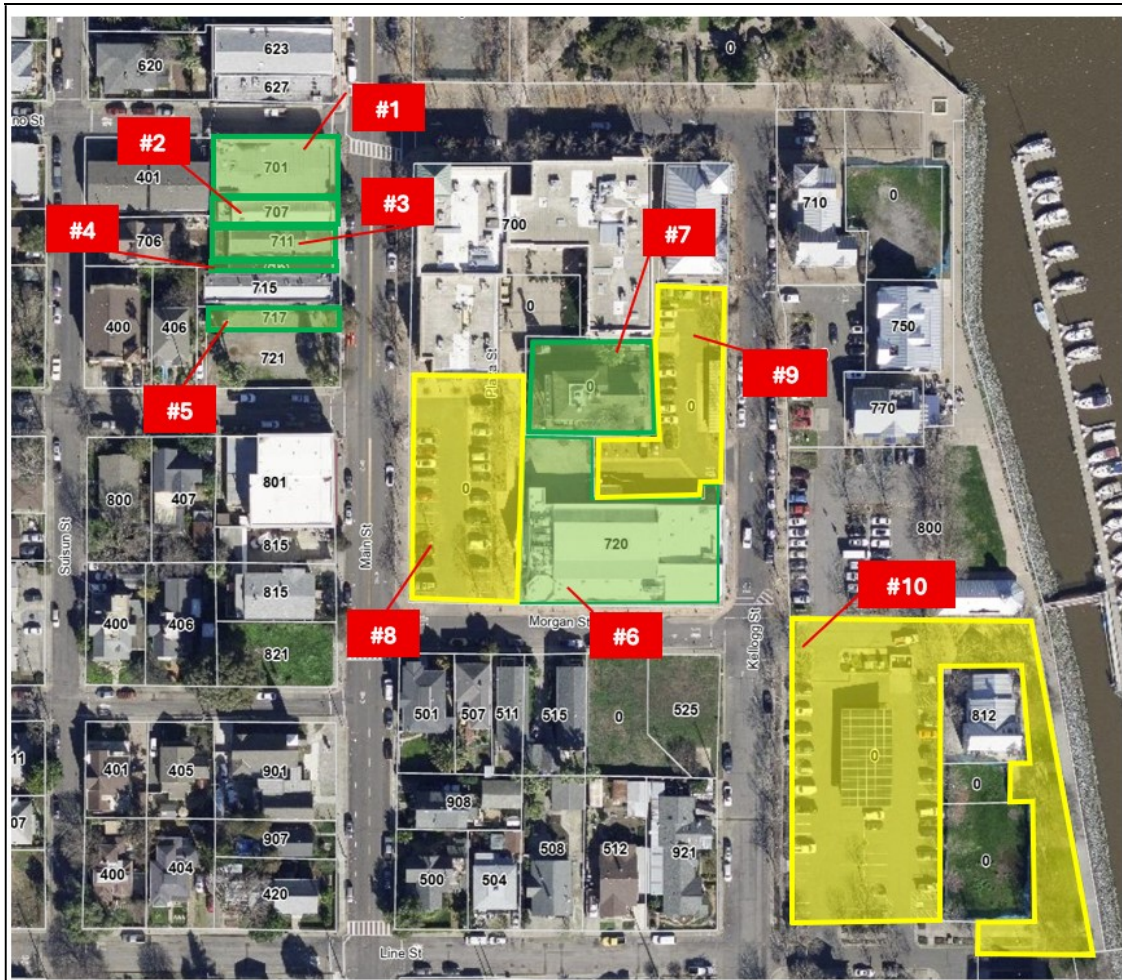
Parcel	Size	Unit Value	Market Value
17	11,434	\$20.00 s.f.	\$228,680; R \$228,000
18	16,363	\$22.00 s.f.	\$359,986; R \$360,000
Total	54,029		\$ 588,000

Final Estimate of Market Value "as is": **\$ 588,000**

INTRODUCTION

Identification

The subject of this report are the properties identified by APN's: 0032-141-170, 180 and located near each other with frontages of Main / Morgan / Kellogg Streets, Suisun City, California. The subject properties are two legal parcels which are separate lots. The two parcels are improved as parking lots. The subject properties are identified on the following map and designated as Lots 8 and 9.



Each lot is effectively developable land; each zoned for commercial uses per the Waterfront Specific Plan (Main Street Mixed Use designation). The lots are quality parcels with extensive three street frontages and they can be developed separately. Each would have its own parking requirements and benefit from public parking. Much of the remainder of the block is developed with newer structures.

The properties are within the old downtown district of the City of Suisun City. The neighborhood is comprised of older and some dilapidated properties mixed with newer projects to the north and nearby, including waterfront structures and parking along the Suisun Slough which is further improved with marina improvements.

Purpose of the Appraisal

The purpose of the appraisal is to estimate the market value of each of the subject properties "as if vacant land" as separate parcels.

Function of the Appraisal / Intended User

The function of the report is for property management and the intended user is the City of Suisun City.

Property Rights Appraised

The interest appraised is the fee simple interests of each property. Property rights are defined in the definitions section of this report.

Date of Inspection / Date of Valuation

The date of valuation is December 30, 2025 which is also the property inspection date.

Competency

David J. Vargas has extensive experience in the appraisal of vineyards, wineries, commercial, and industrial properties within the subject and surrounding markets; no steps to competency are required.

Property Sales History

The subject properties have been owned by the subject owners for over three years. Their prior sale are not relevant to this valuation. The subject properties are being considered for sale, but there are no pending sales, purchase agreements, options to purchase, or long-term leases known to the appraiser as of the date of valuation.

Scope of the Appraisal

In the valuation of the subject, the Sales Comparison Approach was completed. The report is made in compliance with USPAP. The subject land is appraised as if it were a raw site with no additional improvements made. In essence, the subject site is appraised "prior any proposed approvals or improvements made". The Sales Comparison Approach was completed with a direct comparison to vacant residential land. The sales reflect a range of potential residential uses of the subject. We reviewed County records and talked with brokers, appraisers, and/or buyers and sellers to find comparable sales. All comparables were confirmed with principal(s) and/or participatory agent(s), or sources deemed reliable. This is an appraisal made in compliance with USPAP.

Exposure Times

Exposure times for the comparable sales surveyed in the Sales Comparison Approach varied from 6 to 12 months.. The subject is expected to attract buyers within an estimated exposure time of **6 to 18 months** for the subject properties "as is".

DEFINITIONS

Market Value

"Market value" means the most probable price which a property should bring in a competitive open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. buyer and seller are typically motivated;
2. both parties are well informed or well advised, and acting in what they consider their own best interest;
3. a reasonable time is allowed for exposure in the open market;
4. payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale."¹

Fee Simple Interest

The term "fee simple interest" is defined:

"Absolute ownership unencumbered by any other interest or estate, subject only to the limitations of eminent domain, escheat, police power, and taxation."²

Leased Fee Interest

The term "leased fee interest" is defined:

"An ownership interest held by a landlord with the right of use and occupancy conveyed by lease to others; usually consists of the right to receive rent and the right to repossession at the termination of the lease"³

¹Office of the Comptroller of the Currency under 12 CFR, part 34, Subpart C-Appraisals, 34.42 Definitions {f}.

² American Institute of Real Estate Appraisers, The Dictionary of Real Estate Appraisal, Chicago: American Institute of Real Estate Appraisers, 1984, Page 123.

³ American Institute of real Estate Appraisers, The Dictionary of Real Estate Appraisal. Chicago: American Institute of Real Estate Appraisers, 1984, page 179.

LEGAL DATA

Ownership of Record: Suisun City / Redevelopment Agency of Suisun City

Assessor's Parcel No.: 0032-141-170, 180

Land Area: 11,434 sf, 16,363 sf, respectively

Zoning: Specific Plan: MSMU – Main Street Mixed Use; DMU – Downtown Mixed Use.

Legal Description: Please refer to the complete legal description appearing in the Addendum to this report.

Easements/Encroachments: A preliminary title report was not available for review. Title to the property is assumed to be marketable, and free and clear of all liens, encumbrances, easements and restrictions which negatively impact the subject property, except those specifically discussed in the report. *The client is strongly advised to obtain a preliminary title report to determine all legal factors affecting the property prior to any loan or related decisions.*

Designated Wildlife Habitat: It appears there is no wetlands or wildlife habitat on the subject property.

Tenancy: n/a

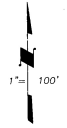
Planning: The subject zoning provides for compatible land uses and densities which create a balanced commercial district and enhance its market value and stability.

Assessment Data: Current assessments are in the property data sheets in the Addendum of this report.

SACRAMENTO

POR. SEC. 36, T.5N., R.2W., M.D.B. & M.

Tax Area Code **32-14**
5017



(12)

SOLANO

(13)

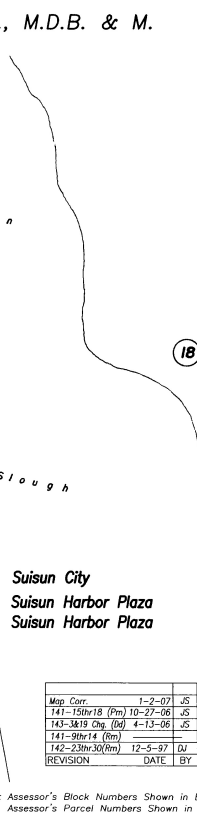
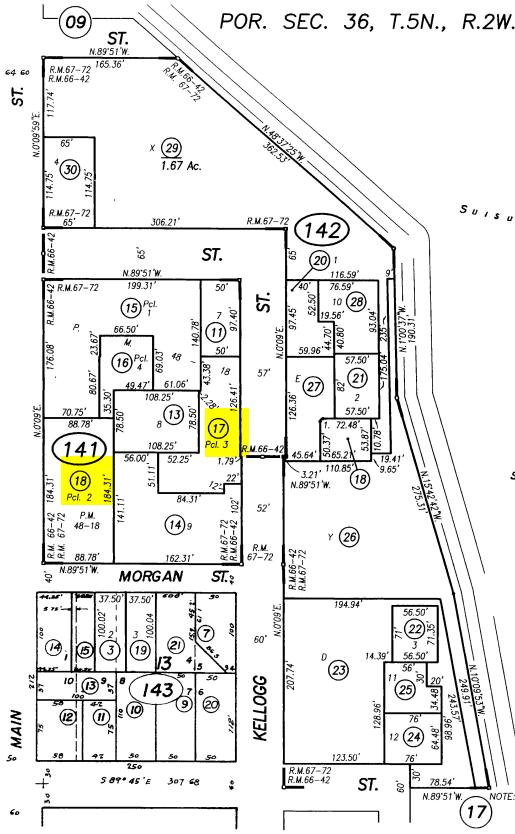
CALIFORNIA ST.

(15)

MORGAN ST.

MAIN

LINE



1.	Rw=3.50'	L=5.50'
2.		
3.		
4.		
5.		

Suisun City
Suisun Harbor Plaza
Suisun Harbor Plaza

, R.M. Bk. 1 Pg. 105
Unit No. 1 , R.M. Bk. 66 Pg. 42
Unit No. 2 , R.M. Bk. 67 Pg. 72

NOTE: This map is for assessment purposes only and is not for the intent of interpreting legal boundary rights, zoning regulations and/or legality of land division laws.

Map Corr.	1-2-07	JS
141-15th/18 (Pm)	10-27-06	JS
143-36/19 Chg. (Dd)	4-13-06	JS
141-9th/14 (Pm)		
142-23th/30 (Pm)	12-5-97	DJ
REVISION	DATE	BY

CITY OF SUISUN
Assessor's Map Bk. 32 Pg. 14
County of Solano, Calif.

(08-09) APR 10 2008

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NOTE: Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

COUNTY DATA

Solano County is located in the North Bay region of the San Francisco Bay Area. It borders Contra Costa County to the south and is efficiently linked to the economic centers of San Francisco and Oakland along Interstate 80 and Concord, Walnut Creek and Pleasanton/San Ramon along Interstate 680.

The population of Solano County is approximately 413,344 as of the 2010 census and the Association of Bay Area Governments (ABAG) estimated the population to reach 445,456 by the Year 2017. Its rate of growth has been the highest within the past five years in comparison to other Bay Area counties. Much of the anticipated growth is due to the comparatively affordable housing available and linkages which support commuting as well as pro-growth local governments.

Future expansion of the county will likely include job growth within industrial and business parks developed in the county. The range of industrial/business product provides for small and large scale users, heavy industrial, manufacturing, warehouse and distribution, and research and development. Although not within Solano County, the University of California at Davis is within adjacent Yolo County and is easily accessed by local residents.

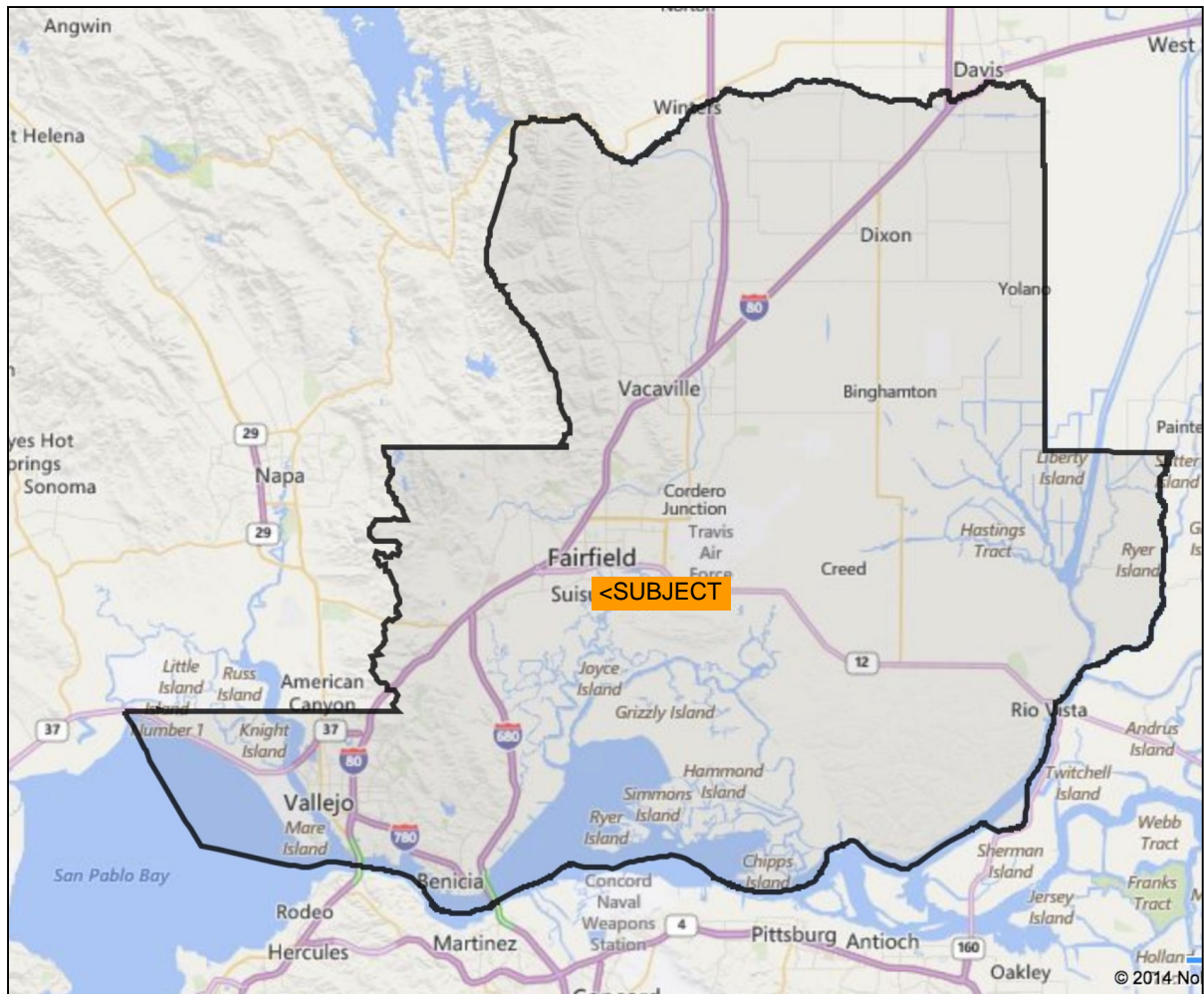
Vallejo is Solano County's largest city. It is located at the south west portion of the county and is bordered by Mare Island Naval yard and the Napa River to the west, San Pablo Bay and Carquinez Strait to the south, Napa County to the north, and the remainder of Solano County to the northeast.

Benicia is near Vallejo along the Carquinez Strait. They provide deep water ports and heavy industrial capacity. Fairfield and Vacaville are next in size, and they straddle I-80 which runs in a northeast direction to Sacramento and points east.

Fairfield is the County seat and second largest city and it is home to Travis Air Force Base which is headquarters for the Military Airlift Command.

Vacaville is developing a significant commercial sector and has become a highly desirable bedroom community for the San Francisco and Sacramento areas. The northeastern portion of the county consists primarily of agricultural uses including grain, field crops, livestock, and food processing.

COUNTY MAP



In the short run, the county has rebounded from the effects of the recession and its rate of residential growth is trending toward growth. Its rate of jobs growth is also trending toward growth in its industrial market segment as more businesses relocate to take advantage of good linkages and affordability of industrial properties. This will provide a growing long-term major source of jobs for the region in years to come. Industries locating in Solano County will continue to find a favorable labor market.

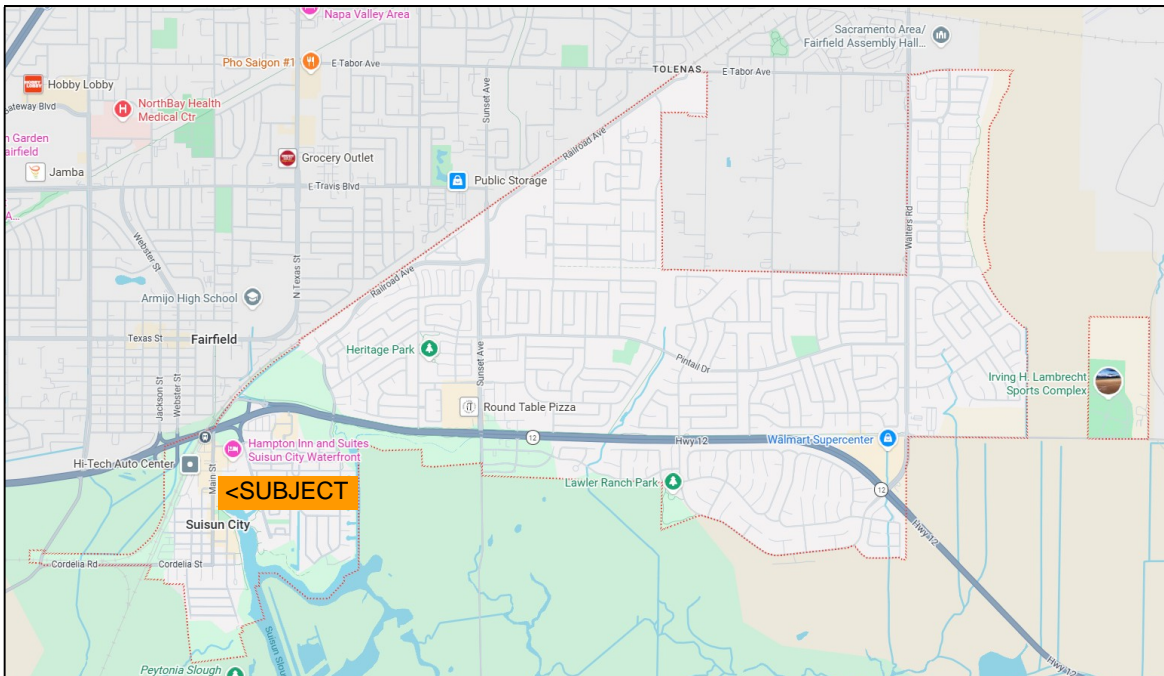
Solano County is well positioned for growth in the long term, and will likely experience the growth challenge now facing other counties in the region. Over the long term, the projected growth in employment and population within the county create a strong potential demand for housing throughout the communities in the county.

Major growth in employment in Solano County is expected to occur in the Fairfield and Vacaville areas, and it is believed that future demand for housing and commercial properties in these general areas will remain strong at or exceeding historical trends. Additionally, the Vallejo/Benicia area's close proximity to the Bay Area will continue to be attractive for residential and commercial growth, especially along the I-780 corridor.

CITY DATA

The City of Suisun City is centrally located in Solano County along Highway 12 near its intersection with Interstate 80 between the City of Vallejo to the southwest and the City of Fairfield to the north. It is approximately 45 miles from San Francisco to the southwest and 40 miles from the Sacramento to the northeast. These are two major population hubs and they are within commuting distance from Suisun City.

Fairfield is the county seat and second largest city in Solano County and its population is approximately 102,832 persons. Suisun is located along its southerly border and it is a small city which generally part of the Highway 12 transportation corridor, extending to Interstate 5 and Highway 99 to the east. Also the City of Stockton.



The community has a diverse economic base with Travis Air Force Base

anchoring the community and the city's linkages to larger population hubs being a strong component fueling residential demand in the city. Travis provides approximately 14,353 jobs, while the largest private sector employer is North Bay Medical Center which employs approximately 1,115 persons. Other major employers are Anheuser-Busch, the school district, the city and various other small companies. Anheuser-Busch operates a large regional Budweiser brewery, Clorox produces bleach products, and the Jelly Belly Candy Company confects its specialty jelly beans in Fairfield.

#	Employer	# of Employees
1	Travis Air Force Base	14,353
2	County of Solano	2,850
3	Fairfield-Suisun Unified School District	2,000
4	NorthBay Medical Center	1,115
5	Solano Community College	650
6	City of Fairfield	502
7	Sutter Medical Foundation	475
8	Jelly Belly	461
9	Westamerica Bank	407
10	Pride Industries	343

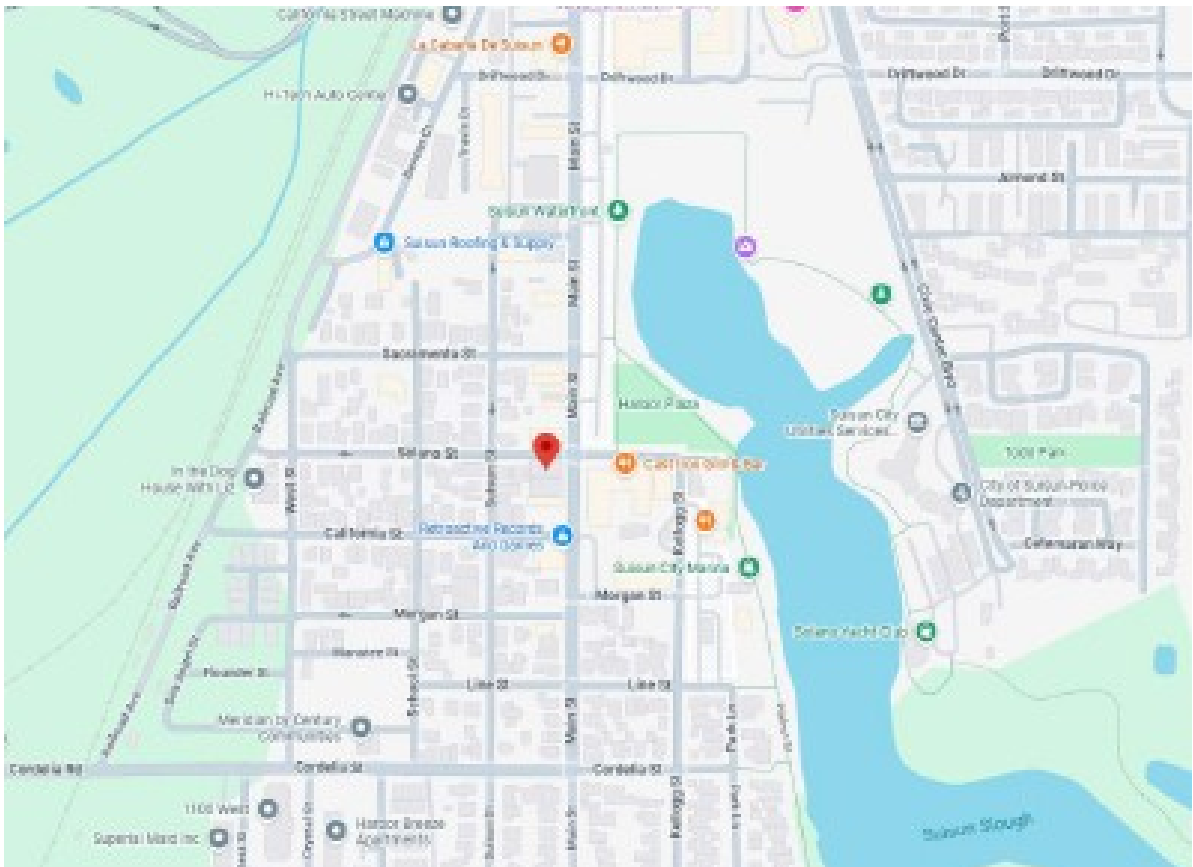
Due to its linkages to other job markets, the City of Suisun City has a significant residential segment which dominates its incorporated area on the north side of Highway 12 and it continues to grow. Homes are typically smaller and priced in the \$300,000 to \$700,000 range. Home prices have been “soft” in recent years due to high interest rates and competition with other communities. There are new homes and apartments planned in coming years according to city planning data. Much of the Solano County economy is reliant upon the jobs growth of nearby Contra Costa and Alameda Counties. Expansion of the industrial sector of Fairfield and Vacaville are also a major sources of new jobs.

The City of Suisun City commercial districts include a re-vitalized (in progress over the past twenty years) downtown district on the southside of Highway 12 which is anchored by the Waterfront District which has been improved with boat slips and elaborate improvements to Suisun Slough which extends to Suisun Bay. The bay reaches San Pablo and San Francisco Bays to the west and the Sacramento River to the northeast. Several public buildings and a train station are part of the waterfront district. There are also condominiums, apartments, and other projects extending from Highway 12.

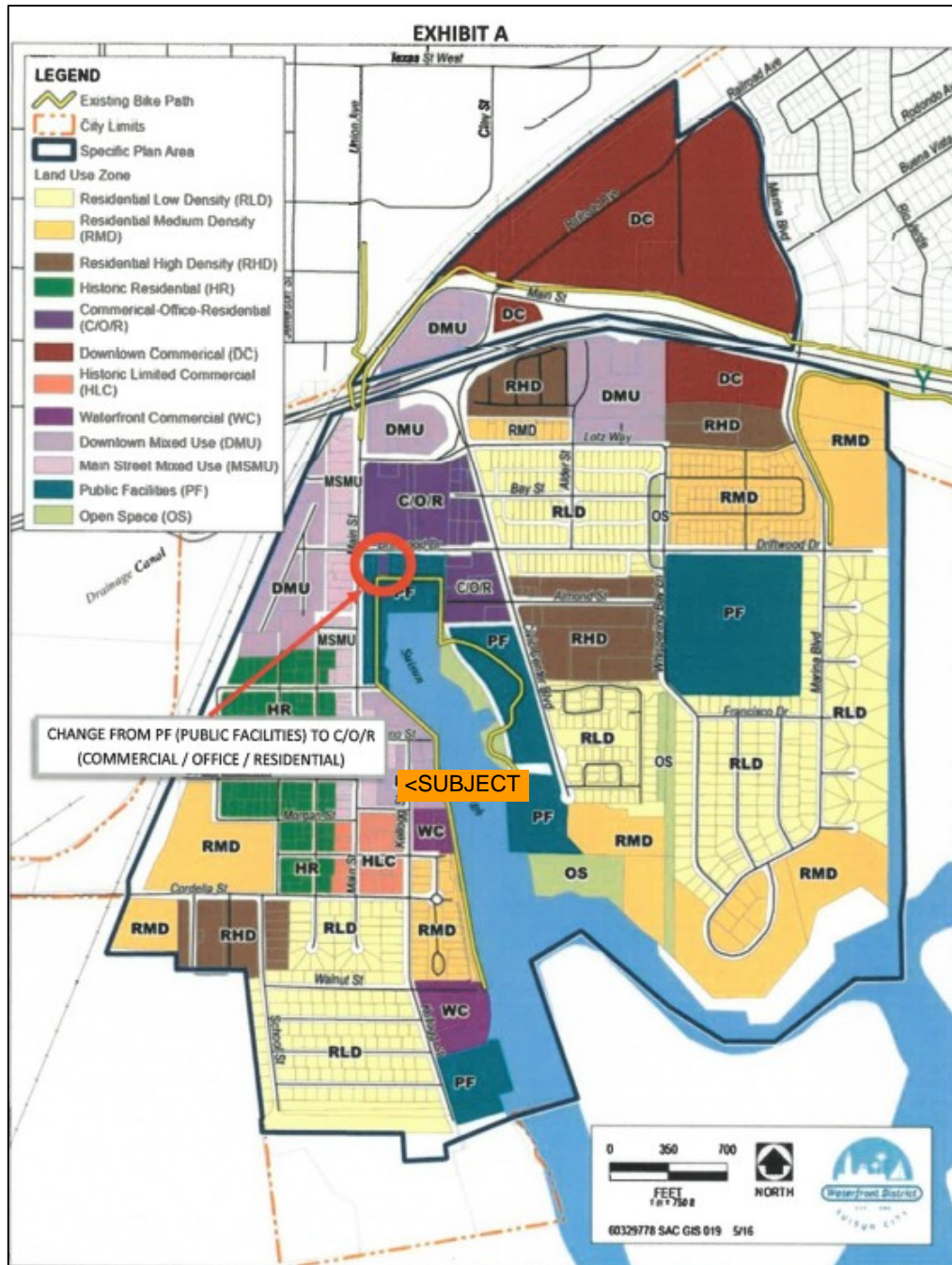
Overall, the City of Suisun City is strategically located along Highway 12 and very near Interstate 80 and enjoys strong linkages to the San Francisco Bay Area, Sacramento Metropolitan area, and the Central Valley. It is in the expansionary path of these population centers and has good appeal for its affordable housing and quality community amenities. The waterfront is a unique opportunity to develop an amenity which is seldom possible in the area and with affordable land values and cost factors.

NEIGHBORHOOD DESCRIPTION

The subject property is located within the southwesterly portion of the City of Suisun City to the south of Highway 12. The neighborhood is in an area of expanding commercial and residential growth and its primary commercial component is the Waterfront District. The district is divided into an easterly and westerly side, bisected by Suisun Slough. Key areas of the slough are improved with marina improvements, boat docks, scenic walkways which are landscaped, public parking, and newer building which provide commercial services along the waterfront. There are also residential structures which are primarily townhouses.



The neighborhood is the Waterfront Specific Plan area which is detailed in the following exhibit. The district and zonings are displayed. The subject lies on the easterly side of the commercial corridor and it is within a primary block of the core downtown district. Main Street extends from Highway 12 to the southerly end of the west side (Main Street).



The southerly end is an older residential subdivision of average quality along with medium density residential, waterfront commercial, and public facilities on the water line. Just north is the subject commercial district of Main Street and its lateral roadways to the east. Historic residential is to the west along with medium residential lands. The district is tightly contained on its west side, while the east side which also has Suisun Slough frontages is primarily residential uses with a school and park.

Overall, there is a large residential base, full commercial uses planned, schools, and large scale commercial shopping and services nearby along the northside of Highway 12. The neighborhood is well defined and has average to good access and infrastructure. Highway and rail linkages are average to good.

Commercial properties within the subject neighborhood are generally newer properties maintained in good condition and older improved properties which are in average condition. Several commercial structures in the Main Street section are in fair condition and needing redevelopment to the designs and uses outlined in the Waterfront Specific Plan. There is also expected growth in the residential sector well into the foreseeable future.

PROPERTY DESCRIPTION

Site

Location:

The subject properties are located on the easterly side of Main Street in the City of Suisun City, just south of Solano Street. The subject is in an area of the MSMU – Main Street Mixed Use and Downtown Mixed Use corridor (same corridor) which is being redeveloped with mixed uses (commercial, mixed residential) and expected to be part of the commercial and waterfront area.



Assessor's Parcel Numbers:

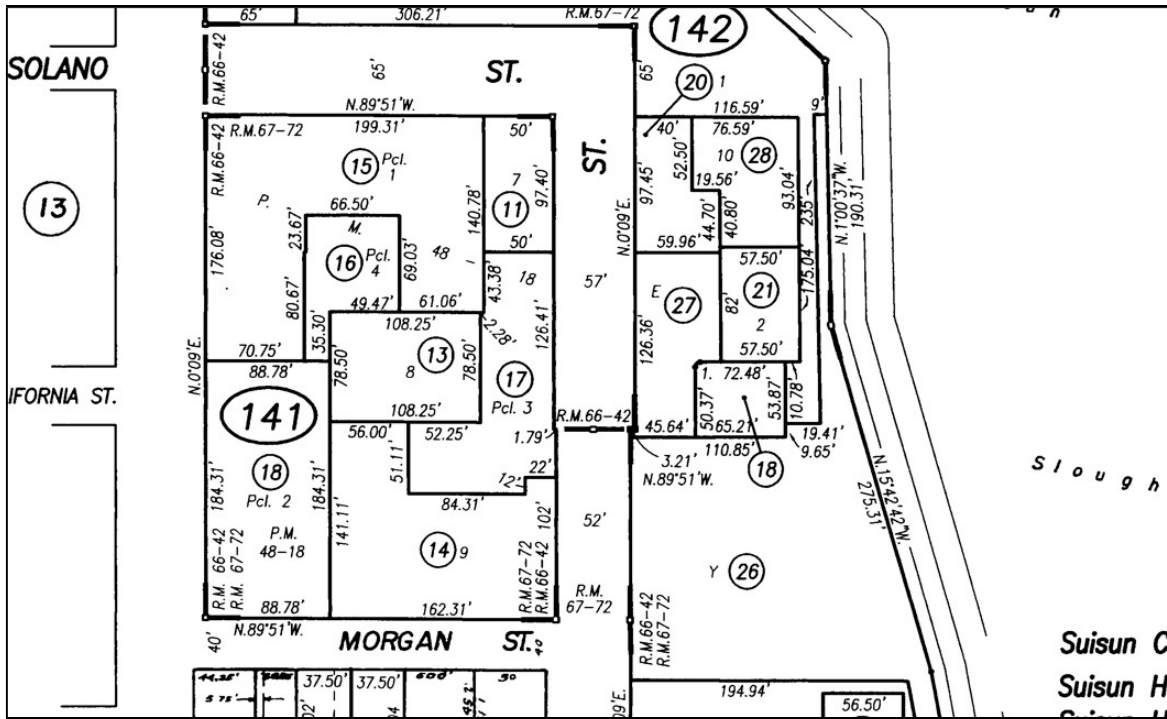
0032-141-170, 180

Land Areas:

11,434 sf, 16,363 sf, respectively (of their APN's).

Frontage and Shape:

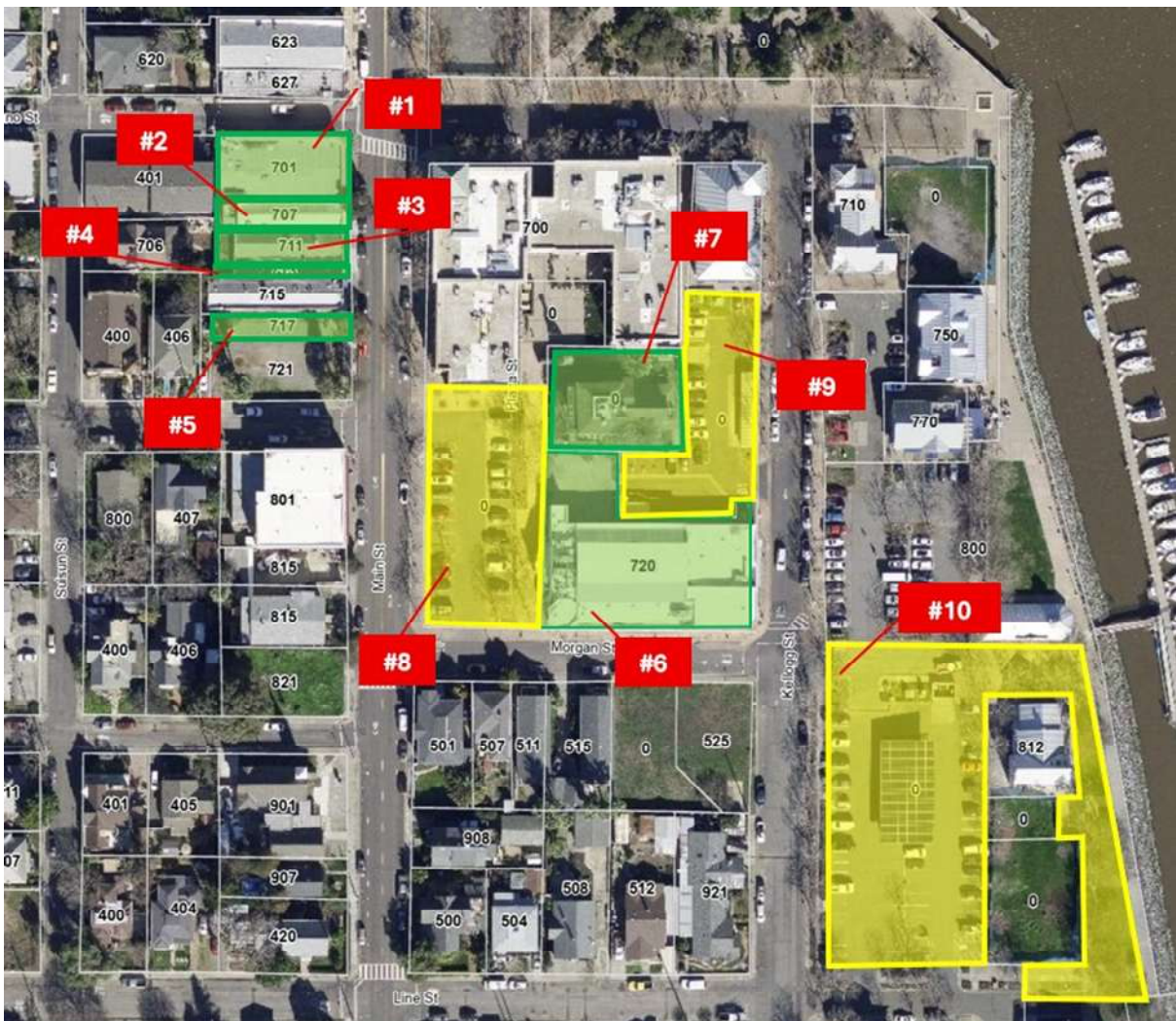
Each of the subject lots has extensive street frontage and they contribute to the overall access and visibility of the south block. They separately form a prominent frontage which can result in the entire block being one of the most prominent places in the waterfront district. Their frontages are 184 feet on Main Street, 88 feet on Morgan Street, and 126 feet on Kellogg Street. Each lot has adequate frontage to be a stand-alone project See plat map (zoom) below for lot frontages.



The subject properties are depicted on the following overhead map and labeled Numbers 8 and 9. Their sizes are in the table below.

Size Chart:

Parcel (APN)	Lot #	Size / s.f.
0032-141-170	17	11,434
0032-141-180	18	<u>16,363</u>
Total		27,787 s.f.



Streets:

Each of the roadways are paved with asphalt and concrete curbs, gutters, and sidewalks. They are designed for moderate to low traffic at slow speeds. The streets appear to be 50+- feet wide with Main Street being 60+- feet wide, including sidewalks and parallel parking at each side. Each is a two-lane roadway with opposing traffic. There is municipal parking nearby.

Utilities:

All utilities are provided by local districts and will be delivered through underground improvements. There are overhead lines south of Morgan Street which is not within the immediate subject neighborhood.

Parking / Site Circulation:

All parking is off-site, except for limited parking at the rear of buildings.

Topography:

The subject site topography is level

Soils:

No soils report has been made available. It is assumed that the soils are capable of sustaining proposed development.

Access:

Access to the sites is directly from their street frontage(s). The property is conveniently linked to Highway 12 and Interstate 80.

Toxic Contamination:

No evidence of toxic contamination or hazardous waste was observed during our on-site inspection.

Flood Zones:

Lots 18 is not in a Zone AE flood zone. Lot 17 is partially within a flood zone of low risk (.2% annual, 1% annual avg. depth of less than 1 foot, or drainage less than ¼ mile; Zone X, not primary Zone AE). This data is according to FIRM Map Panel #06095C-0456F, dated 08/03/16.

Earthquake Zones:

The subject property is not located in an Alquist-Priolo Special Study Zone according to the flood zone map below.

Flood Map



Zoning:

The subject properties are zone MSMU – Main Street Mixed Use or DMU – Downtown Mixed Use. The zonings are primarily to support commercial development consistent with existing “old town” character on Main Street and high quality commercial character on other street frontages. Minimum lot widths are noted in the zoning, but they are not applicable to existing legal parcels as of the date of valuation. This factor is similar to most cities nearby.

TABLE 3.5: MAIN STREET MIXED USE ZONE ALLOWED USES	
Permitted Uses ¹	Administrative Review and Conditionally Permitted Uses
<ul style="list-style-type: none"> ■ Art, modeling, music, and/or dance studio (U) ■ Artist studios; art supply stores ■ Bed and breakfast inn ■ Business services (U) ■ Commercial services ■ Communication services ■ Community social services ■ Eating and drinking places ■ Educational services ■ Finance, insurance, and real estate offices ■ General merchandise and hardware store ■ Movie theater ■ Optical shop or optometrist ■ Personal services ■ Professional or medical offices (U) ■ Specialty retail shops³ 	<p>Administrative Review:</p> <ul style="list-style-type: none"> ■ Food and grocery stores ■ Medical health care facility ■ Public/quasi-public use (e.g., community center, school, fire station, library, church) <p>Conditionally Permitted:</p> <ul style="list-style-type: none"> ■ Commercial amusement or entertainment ■ Drive-through facilities (only north of Driftwood Drive) ■ Entertainment (i.e., nightclub and bar/lounge) ■ Furniture stores ■ Reupholstery and furniture repair; antique refinishing ■ Residential dwellings² ■ Convenience market ■ Shops selling age-restricted goods or providing age-restricted services
<p>■ Any other retail, service, or public/quasi-public uses that are similar in nature, function, and operations to the permitted, administrative review clearance, and conditionally permitted uses listed above.</p>	
<p>Notes:</p> <ol style="list-style-type: none"> 1. Where a “U” is denoted next to a particular use, that use is permitted on the upper floor(s) of a building. 2. Permits the same type of residential dwellings as the RHD zone. 3. Specialty retail shops are defined as small retail stores with distinctive, one-of-a-kind merchandise, often supplied locally, not including sale of age-restricted goods or providing age-restricted services. 	

TABLE 3.7: DOWNTOWN MIXED USE ZONE ALLOWED USES	
Permitted Uses	Administrative Review and Conditionally Permitted Uses
<ul style="list-style-type: none"> ▪ Antique shop ▪ Art, modeling, music, and/or dance studio ▪ Artist studios; art supply stores ▪ Bed and breakfast inn ▪ Business services ▪ Clothing and costume stores ▪ Commercial services ▪ Communication services ▪ Community social services ▪ Eating and drinking places ▪ Educational services ▪ Finance, insurance, and real estate offices ▪ Food and grocery stores ▪ General merchandise and hardware store ▪ Medical health care facility ▪ Theater (i.e., motion picture or live) ▪ Optical shop or optometrist ▪ Personal services ▪ Professional or medical offices ▪ Specialty retail shops¹ ▪ Residential dwellings² 	<p>Administrative Review:</p> <ul style="list-style-type: none"> ▪ Public/quasi-public use (e.g., community center, school, fire station, library, church) <p>Conditionally Permitted:</p> <ul style="list-style-type: none"> ▪ Commercial amusement or entertainment ▪ Commercial retail or services greater than 40,000 square feet ▪ Drive-through facilities (only north of Driftwood Drive) ▪ Entertainment (i.e., nightclub and bar/lounge) ▪ Furniture stores ▪ Hospital ▪ Reupholstery and furniture repair; antique refinishing ▪ Convenience market ▪ Shops selling age-restricted goods or providing age-restricted services
<ul style="list-style-type: none"> ▪ Any other retail, service, public/quasi-public, or residential uses that are similar in nature, function, and operations to the permitted, administrative review clearance, and conditionally permitted uses listed above. 	
<p>Notes:</p> <ol style="list-style-type: none"> 1. Specialty retail shops are defined as small retail stores with distinctive merchandise, often supplied locally or with a local theme, not including sale of age-restricted goods or providing age-restricted services. 2. Permits the same type of residential dwellings permitted in the RHD zone. 	

An excerpt of the zoning ordinance is in the Addendum of this appraisal report.

Improvements

The existing improvements are expected to be razed and they add no value to the property (they are red tagged and fully depreciated). The cost to raze the structures is nominal in comparison to the total expected project costs, with the exception of hazardous materials removal (if any) and these are expected to be born by the property owners if the property(ies) were to be sold.

HIGHEST AND BEST USE

Highest and Best Use is defined as

"That reasonable and probable use that will supply the highest present value, as defined, as of the effective date of the appraisal.

Alternatively, highest and best use is:

The use, from among reasonable, probable and legal alternative uses, found to be physically possible, appropriately supported, financially feasible, and that results in the highest present land value."

Highest and Best use is determined by:

1. Assuming the site is vacant and available for development and improvement;
2. Defining what improvements could and should be made to existing improvements, if any, to provide the maximum return to the property; and
3. Evaluating which use, among those that are feasible, results in the highest land value. Feasibility requires fit with legal/political constraints (zoning and planning requirements, as well as the political environment), technical constraints (soils, topography, design), linkage constraints (streets, sewers, services, etc.), market constraints (supply, demand, competitive standards), and financial constraints (cost-benefit relationships).

Highest and Best Use as if Vacant

Legally Permissible:

The subject property is zoned MSMU – Main Street Mixed Use / DMU – Downtown Mixed Use which is primarily to retain the general style and look of the old downtown along Main Street and to require high quality design on other Street frontage. Densities, frontages, depths, are noted in the table on the following page. Existing lots are exempt from frontage minimums.

6.3.2 Commercial and Mixed Use Development Standards

Development standards for commercial and mixed use zones are summarized in Table 6.2.

Table 6.2: Commercial and Mixed Use Development Standards¹

Land Use District	Downtown Commercial (DC)	Downtown Mixed Use (DMU)	Main Street Mixed Use (MSMU)	Historic Limited Commercial (HLC)	Waterfront Commercial (WC)
C. LOT / SITE DESIGN					
1. Lot Coverage ²	80% max	80% max	100% max	70% max	50% max
2. Density ³	N/A	N/A	N/A	N/A	N/A
3. Floor Area Ratio	0.25-2.0	0.30-3.0	0.30-2.0	0.25-1.0	0.25-1.0
4. Lot Area	4,000 sf min	3,000 sf min	2,500 sf min	2,500 sf min	2,500 sf min
5. Lot Width	50' min	50' min	40' min	40' min	40' min
6. Lot Depth	70' min	60' min	60' min	60' min	60' min
D. BUILDING PLACEMENT AND HEIGHT					
Primary Building Setback⁴					
1. Front Setback	0' min-20' max	0' min-15' max	0' min-15' max ⁴	5' min-15' max ⁵	5' min-15' max
2. Side Setback (street)	0' min-15' max	0' min-15' max	0' min-15' max	5' min-15' max	10' min-20' max
3. Side Setback (interior)	0' min (nonresid.) 15' min (resid.)	0' min (nonresid.) 15' min (resid.)	0' min (nonresid.) 15' min (resid.)	5' min (1-2 stories); 15' min (3+ stories)	0' min (nonresid.) 15' min (resid.)
4. Rear Setback ⁶	15' min	15' min	0' min (nonresid.) 15' min (resid.)	5' min	0' min (nonresid.) 15' min (resid.)
5. Height Limit	60' max	60' max ⁷	16' min; 50' max ⁷	35' max	35' max
Notes: du/ac = dwelling units per acre; min = minimum; max = maximum; sf = square feet; nonresid. = nonresidential; resid. = residential					

Physically Possible:

The subject sites are generally level and at grade with the frontage street. They have adequate access with no known physical characteristics which would preclude commercial development. The sites are adequately served by paved and legal streets which can be further developed for a commercial use and all necessary utilities and public services are available. The sites have average access to highways and general services.

Financially Feasible / Maximally Productive:

The neighborhood is strongly in the path of commercial growth with potential

for expanded commercial uses toward the waterfront.

Commercial development is growing in starts and stops due to a variety of factors including interest rates and construction costs. Proposed and planned residential uses in the general waterfront area and in other areas of Suisun City continue to support commercial development. However, there is minimal market based development of commercial uses as of the current date.

The scale of projects which can be accommodated on the subject lots is such that an owner/user or medium investor could potentially develop a project and it would be financially feasible and the maximally productive use of the site. Pre-leasing or owner/use is needed to develop in the current market. Otherwise, the subject lots are considered average to good for a “hold” until a “development factors improve” scenario.

Based on current factors, the highest and best use of the subject properties as if vacant is to fit into one of three scenarios: owner/user development, pre-leased investor development, or “hold” for general market improvement to support speculative construction for lease. Current land values are near base market values and support each of these scenarios relatively similarly.

Highest and Best Use as Improved

The property parking lot improvements are older and fully depreciated and they add no value to the property. The highest and best use as improved is to raze the parking lot and develop each vacant site in accordance with its highest and best use “as if vacant”.

VALUATION METHODOLOGY

The value of the real property is estimated through one or more of three approaches to value. The three approaches are the Cost Approach, the Sales Comparison Approach and the Income Approach.

The Cost Approach incorporates the depreciated cost of improvements, land value as vacant and available for its highest and best use, and an entrepreneurial profit. It is based on the premise that the value of a property would not be greater than the cost of constructing a building of similar utility on a comparable site.

The Sales Comparison Approach incorporates an analysis of sales of similar properties, with adjustments for differences in location, quality, size, tenancy, age, and other characteristics. This approach is based on the principle of substitution, which states that a buyer would not pay more for one property than for another that was equally desirable.

The Income Approach is based on the income generating capabilities of a property. Depending on the actions of the market, a capitalization rate may be applied to net income, or projected net income (including property reversion) over a holding period may be discounted to a present value. This approach is based on the principle of anticipation, which means that the value is created by the expectation of benefits to be derived in the future.

The Sales Comparison Approach was utilized in the subject valuation. The Cost Approach and the Income Approach are not processed because they are not relevant to the subject valuation as vacant land. Also, there is insufficient data to process a reliable land residual valuation.

THE SALES COMPARISON APPROACH

The Sales Comparison Approach is an estimate of market value based on an analysis of recent sales and current listings of similar properties. This approach is based on the proposition that an informed purchaser would pay no more for a property than the cost of acquiring a substitute property. The Sales Comparison Approach is most reliable when an active market produces a sufficient number of comparable sales.

Comparable Sales

Numerous sales were investigated and six sales of vacant land suitable for commercial use were selected. Some of the sales can be developed with residential uses as well as commercial uses. The sales represent a cross section of relatively recent activity. All of the sales are located in the Suisun market area.

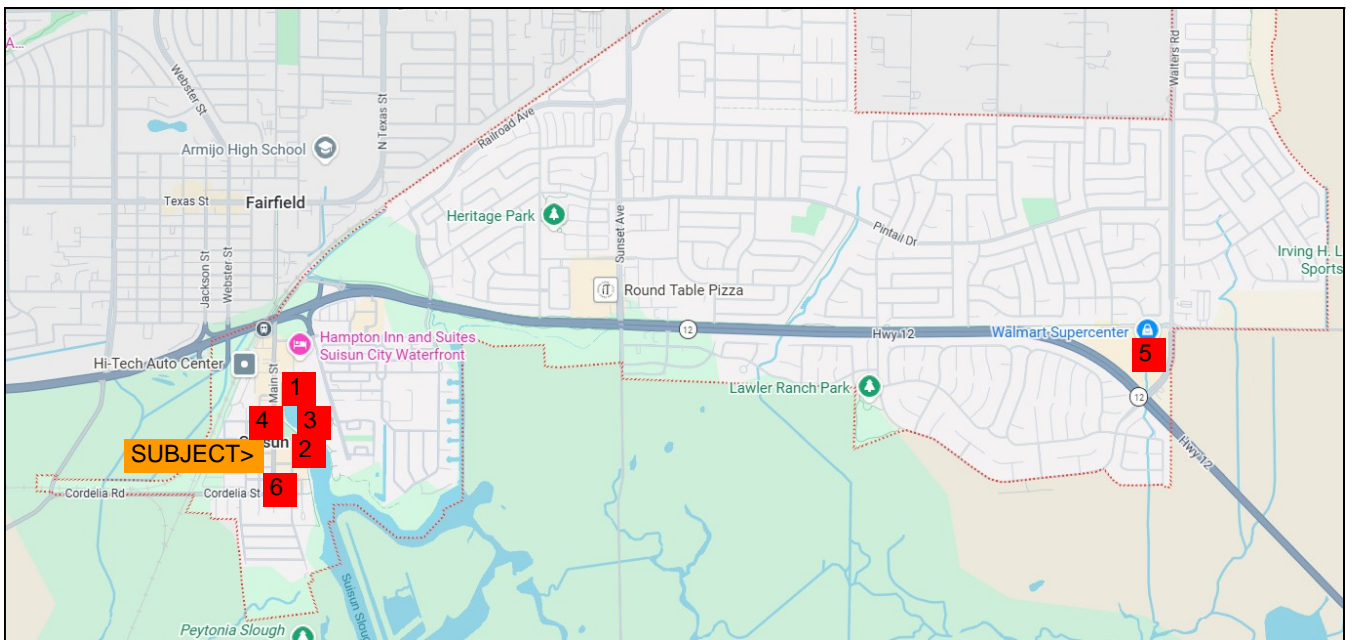
Comparable Sales Analysis & Adjustments:

We have an adequate number of sales within the subject market and the properties reflect the general locational characteristics of the subject properties as well as bracketing their potential use. The sales are summarized in the table on the next page with a location map following. Sales comparable photographs can be found in the *Addendum*.

The comparable sales have been analyzed and adjustments have been made based on factors including property rights transferred, financing, conditions of sale, market conditions, location, size, site factors, and development factors. They range in size from 6,372 s.f. to 42,688 s.f. and range from \$14.13 to \$22.49 per square foot. Sale 5 requires full on-site parking, while the others also use public parking.

COMPARABLE LAND SALES

No.	Location APN Document #	Sales Date/ Marketing Time (a.)	Sales Price	Financing Conditions Bonds	SIZE:		SITE: Zoning Location Shape Topography Offsites	\$/SF (b.)	Buyer Seller Confirmation
					Gross SF Gross Ac./ Net SF Net Ac.				
1.	400 Main Street Suisun City, Ca 0032-091-220 25-29417	6/25	\$150,000	Conventional Arm's Length None	7,000 0.161 7,000 0.161		DWSP/MSMU Interior Rectangular Level Complete	\$21.43	Awanta LLC Anderson R W Exempt tr. County rec./public
2.	Kellogg Street (slough) Suisun City, Ca 0032-142-240, 250 22-78630	12/22	\$130,000	Conventional Arm's Length None	9,200 0.211 9,200 0.211		DWSP/DMU Interior Rectangular Level Complete	\$14.13	Lionext Inc. Red. Ag. of City of Suisun County rec./Costar
3.	Kellogg Street / Solano Suisun City, Ca 0032-142-280 22-78636	12/22	\$110,000	Conventional Arm's Length None	6,372 0.146 6,372 0.146		DWSP/DMU Interior Rectangular Level Complete	\$17.26	Lionext Inc. Red. Ag. of City of Suisun County rec./Costar
4.	Main / Solano Suisun City, Ca 0032-142-300 22-78651	12/22	\$130,000	Conventional Arm's Length None	7,459 0.171 7,459 0.171		DWSP?MSMU Interior Rectangular Level Complete	\$17.43	Lionext Inc. Successor ag. Red. Ag./City of S County rec./Costar
5.	Walters Rd & Hwy 12 Suisun City, Ca 0173-830-070 22-049287	7/22	\$960,000	Conventional Arm's Length None	42,688 0.980 42,688 0.980		CR Interior Rectangular Level Complete	\$22.49	Beryessa Partners LLC Engstrom Properties Costar
6.	525 Morgan / Kellogg Suisun City, Ca 0032-143-070, 210 21-102136	9/21	\$200,000	Conventional Arm's Length None	9,709 0.223 9,709 0.223		DWSP/HLC Corner; dual Sl. irregular Level Complete	\$20.60	Archangeli, Dante Ruiz, Javier M. COMPS, Inc., MLS, file data sold: 12/19; \$126,000 / \$12.98sf



The subject lots are conforming in size and are within the range of size of the sale properties. They have a good location and of a size which supports owner/user as well as investor opportunities within a key location of the waterfront district. The general price per square foot is a relatively narrow range. The primary factors impacting their unit values are location, site factors, frontage, and neighborhood.

Transaction Factors

Property Rights Transferred:

Each of the sales is a fee simple transaction and no adjustments were made.

Financing:

Each of the sales was financed utilizing conventional means or cash, and no adjustments were made for this factor.

Conditions of Sale:

All of the sales are arm's length market transactions with no conditions of sale and no adjustments are required for this factor.

Market Conditions:

All of the sales occurred within a period of general market stability which the current market generally reflects. No adjustments were made for this factor. There has been minimal to no appreciation in the past three years due to changes in construction costs, interest rates, market demand, and economic factors.

Property Factors

Land Sale 1 - This is the sale of a vacant parcel located on Main Street in the waterfront area. The property was acquired in 6/25 and it was approved for a 20 unit apartment project in 9/25 (approvals in progress prior to sale). This is a corner site near other new construction in the waterfront district. It is adjacent to a new park with water views and a new commercial project is across the street. It has good access to Hwy 12 and areas of shopping along the highway.

This property is similar to the subject property relative to its location with dominant new projects across the street. It is similar as to its overall scale, given the market as a whole. The sale property is superior to the subject properties due to its waterfront view (directly on the waters edge). It has similar access and visibility. The sale is similar to the subject relative to its topography, infrastructure, and other factors.

Land Sale 2 - This is the sale of two vacant parcels located in the waterfront district near the Suisun Slough. The property was acquired as a total of four parcels with three separate purchase prices. The properties are close to the slough and this adds character and desirability of these two parcels. They are well placed for future waterfront development at the southerly edge of the commercial district. Commercial exposure is limited. These lots have good access to Hwy 12 and areas of shopping along the highway.

This property is inferior to the subject property relative to its location due to the subject being adjacent to major new projects. It is similar as to its overall scale, given the market as a whole. The sale property is inferior to the subject properties due to its inferior frontage, access, and visibility. (partially offset by its waterfront view. The sale is similar to the subject relative to its topography, infrastructure, and other factors.

Land Sale 3 - This is the sale of a vacant parcel located in the waterfront district near the Suisun Slough. The property was acquired as a total of four parcels with three

separate purchase prices. This property is close to the slough and this adds character and desirability to the parcel. It is well placed for future waterfront development at the heart of newer construction and renovations. Commercial exposure is average to good. The property has good access to Hwy 12 and areas of shopping along the highway.

This property is inferior to the subject property relative to its location due to the subject being adjacent to prominent new projects. It is similar as to its overall scale, given the market as a whole. The sale property is inferior to the subject properties due to its inferior frontage, access, and visibility. (partially offset by its waterfront view). The sale is similar to the subject relative to its topography, infrastructure, and other factors.

Land Sale 4 - This is the sale of a vacant parcel located in the waterfront district along Main Street across from a major new project on the slough side of Main Street. The property was acquired as a total of four parcels with three separate purchase prices. It is well placed for future waterfront development at the heart of newer construction and renovations. Commercial exposure is very good. The property has good access to Hwy 12 and areas of shopping along the highway.

This property is similar to the subject property relative to its location with it being across from a key waterfront project and on the west Main frontage. It is similar as to its overall scale, given the market as a whole. The sale property is similar to the subject properties due to its similar frontage, access, and visibility. The sale is similar to the subject relative to its topography, infrastructure, and other factors.

Land Sale 5 - This is the sale of a vacant land parcel located within a small enclave of commercial lots across from WalMart. The lot was subsequently developed with a Starbuck's. This is a high visibility, highway commercial enclave as traffic leaves town to the east. There is also a service station and another commercial store on the three lot enclave. Access and visibility are good. The lot is a triangle with acute corners limiting use.

This property is superior to the subject property relative to its location, as it is along Hwy 12 across from Walmart and at a corner site with credit tenant properties adjacent (7-Eleven, Starbuck's, Take 5 Oil Change). The property is much larger than the subject properties and a slight adjustment is made for this factor. The property is superior to the subject properties relative to its frontage, access, and visibility. The property is an acute triangle and it is adjusted for its slightly inferior utility. The sale is similar to the subject relative to its topography, infrastructure, and other factors.

Land Sale 6 - This is the sale of two adjacent parcels acquired for proposed development of a mixed use project: 31 apartments; 1,645 s.f. of non-residential. It is located in a medium enclave of commercial uses near Hwy 12 and townhouses two blocks in. The property is on the second street of the project between commercial uses. Approvals are in process.

This property is similar to the subject property relative to its location with it being across from a key waterfront project and being on the west side of Main Street. It is similar as to its overall scale, given the market as a whole. The sale property is similar to the subject properties due to its similar frontage, access, and visibility. The sale is similar to the subject relative to its topography, infrastructure, and other factors.

A summary of the adjustments made to each sale is summarized in the table on the following page.

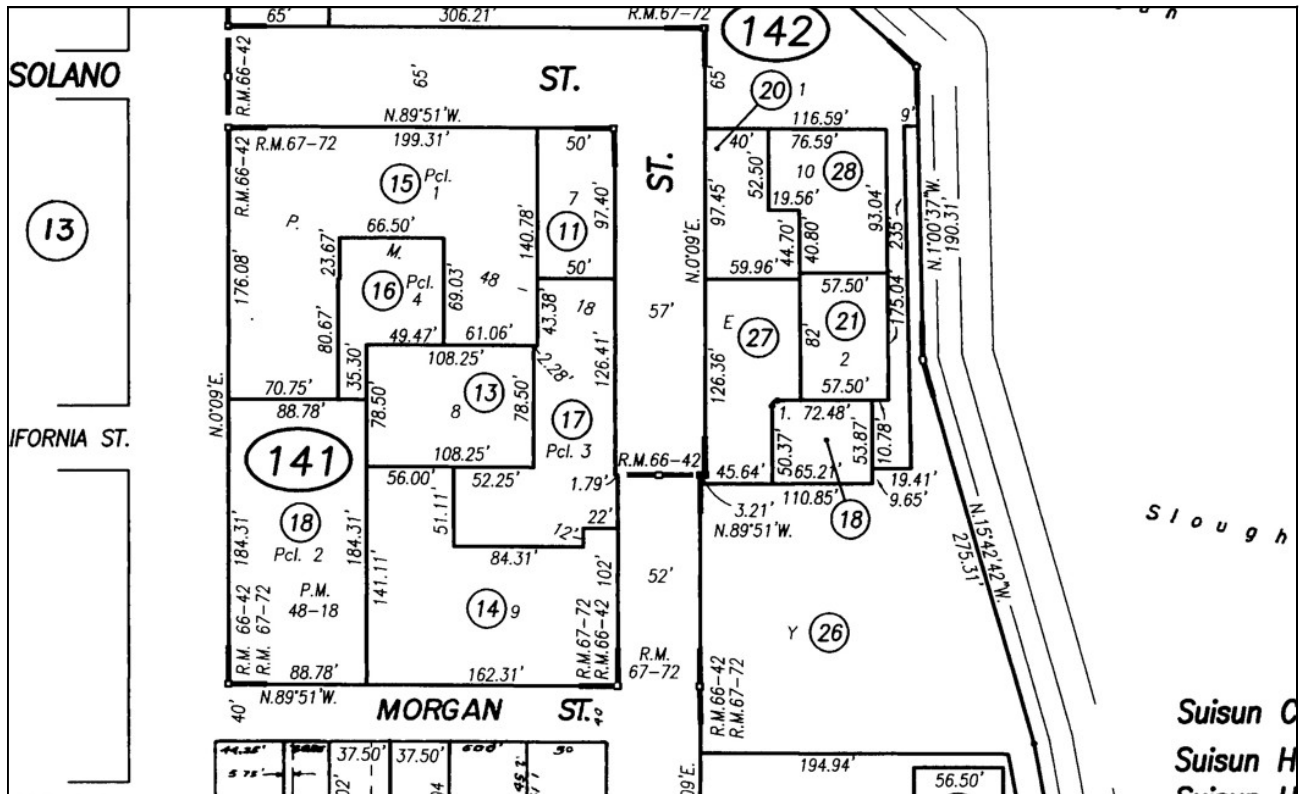
COMPARABLE LAND SALES ADJUSTMENT GRID

	Subject	No. 1	No. 2	No. 3	No. 4	No. 5	No. 6
	<i>Main / Morgan / Kellogg Suisun, Ca</i>	<i>400 Main Street Suisun City, Ca</i>	<i>Kellogg Street (slough) Suisun City, Ca</i>	<i>Kellogg Street / Solano Suisun City, Ca</i>	<i>Main / Solano Suisun City, Ca</i>	<i>Walters Rd & Hwy 12 Suisun City, Ca</i>	<i>325 Morgan / Kellogg Suisun City, Ca</i>
Site Size (Net SF):	8,498 to 17,734 s.f.	7,000	9,200	6,372	7,459	42,688	9,709
Site Size (Net Ac.):		0.16	0.21	0.15	0.17	0.98	0.22
Sales Price:		\$150,000	\$130,000	\$110,000	\$130,000	\$960,000	\$200,000
Pre-development/Bonds:		0	0	0	0	0	0
Adjusted Sales Price:		\$150,000	\$130,000	\$110,000	\$130,000	\$960,000	\$200,000
Sales Price/SF		\$21.43	\$14.13	\$17.26	\$17.43	\$22.49	\$20.60
Prop. Rights Transferred:	Fee simple	Fee Simple	Fee Simple	Fee Simple	Fee Simple	Fee Simple	Fee Simple
Adjustment:		0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Adjusted Price:		\$150,000	\$130,000	\$110,000	\$130,000	\$960,000	\$200,000
Financing Terms:	Conventional	Conventional	Conventional	Conventional	Conventional	Conventional	Conventional
Adjustment:		0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Adjusted Price:		\$150,000	\$130,000	\$110,000	\$130,000	\$960,000	\$200,000
Condition of Sale:	Arms Length	Arm's Length	Arm's Length	Arm's Length	Arm's Length	Arm's Length	Arm's Length
Adjustment:		0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Adjusted Price:		\$150,000	\$130,000	\$110,000	\$130,000	\$960,000	\$200,000
Market Conditions:	Current	6/25	12/22	12/22	12/22	7/22	9/21
Adjustment:		0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Adjusted Price:		\$150,000	\$130,000	\$110,000	\$130,000	\$960,000	\$200,000
Adjusted Price/SF		\$21.43	\$14.13	\$17.26	\$17.43	\$22.49	\$20.60
Location:	Main St. / Waterfront	Similar	Inferior	Inferior	Similar	Superior	Similar
Adjustment:	Next to new	0.0%	10.0%	10.0%	0.0%	-10.0%	0.0%
Size SF:	8,498 to 17,734 s.f.	7,000	9,200	6,372	7,459	42,688	9,709
Adjustment:		0.0%	0.0%	0.0%	0.0%	5.0%	0.0%
Frontage/Access/Visibility:	Good	Park, waterfront	Inferior	Inferior	Similar	Superior	Similar
Adjustment:		-10.0%	10.0%	10.0%	0.0%	-10.0%	0.0%
Shape / Utility:	Irregular	Similar utility	Similar	Similar	Similar	Inferior	Similar
Adjustment:		0.0%	0.0%	0.0%	0.0%	5.0%	0.0%
Topography:	Level	Similar	Similar	Similar	Similar	Similar	Similar
Adjustment:		0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Infrastructure:	Paved streets	Similar	Similar	Similar	Similar	Similar	Similar
Adjustment:	C, G, S	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Other:	Depreciated Imp.	Similar	Similar	Similar	Similar	Similar	Similar
Adjustment:	MSMU / DMU	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Total Adjustment:		-10.0%	20.0%	20.0%	0.0%	-10.0%	0.0%
Adjusted Range:		\$19.29	\$16.96	\$20.72	\$17.43	\$20.24	\$20.60

Summary & Conclusion

The sales data indicates an adjusted range of \$16.96 to \$20.72 per acre. Each sale is weighed as to its relevance to the subject property. Each contributes a perspective which, altogether brackets the subject property as if it were a site with no recent improvements made. Sales 1 through 4 and Sale 6 are weighed most heavily in this analysis due to their waterfront neighborhood location. The remaining sale provides additional support.

Subject Lots:



Each of the lots has similar market appeal due to their extensive frontages. Parcel 18 is a corner lot, while Lot 17 is an interior lot with broad frontage. Lot 18 is a premium lot with Lot 17 being a good lot.

Land Areas

Lots APN's: 0032-141-170, 180

Sizes: 11,434 sf, 16,363 sf, respectively

Based on the preceding sales analysis, the market value of the subject properties is estimated based on a unit value of \$22.00 per s.f. for Lot 18 and a unit value of \$20.00 per s.f. for lot 17. The estimates of market value for each parcel is as follows:

Parcel	Size	Unit Value	Market Value
17	11,434	\$20.00 s.f.	\$228,680; R \$228,000
18	16,363	\$22.00 s.f.	\$359,986; R \$360,000
Total	27,797	\$21.15 avg.	\$588,000

- ADDENDUM -

PHOTOGRAPHS—SUBJECT PROPERTY



Lot 18 frontage



Lot 18 – secondary street



Lot 17



Lot 17 (parking lot)



Morgan Street



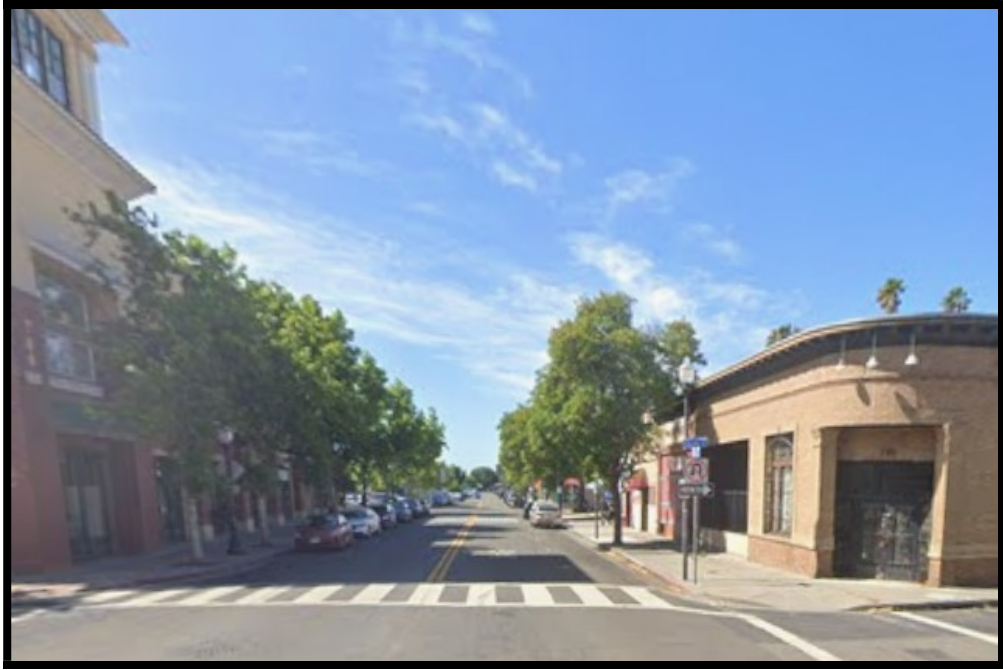
Morgan Street - easterly



Kellogg Street - northerly



Kellogg Street – southerly; Lot 17 on right side



Main Street - southerly



Main Street - northerly

PHOTOGRAPHS—COMPARABLE LAND SALES



Comparable Land Sale 1



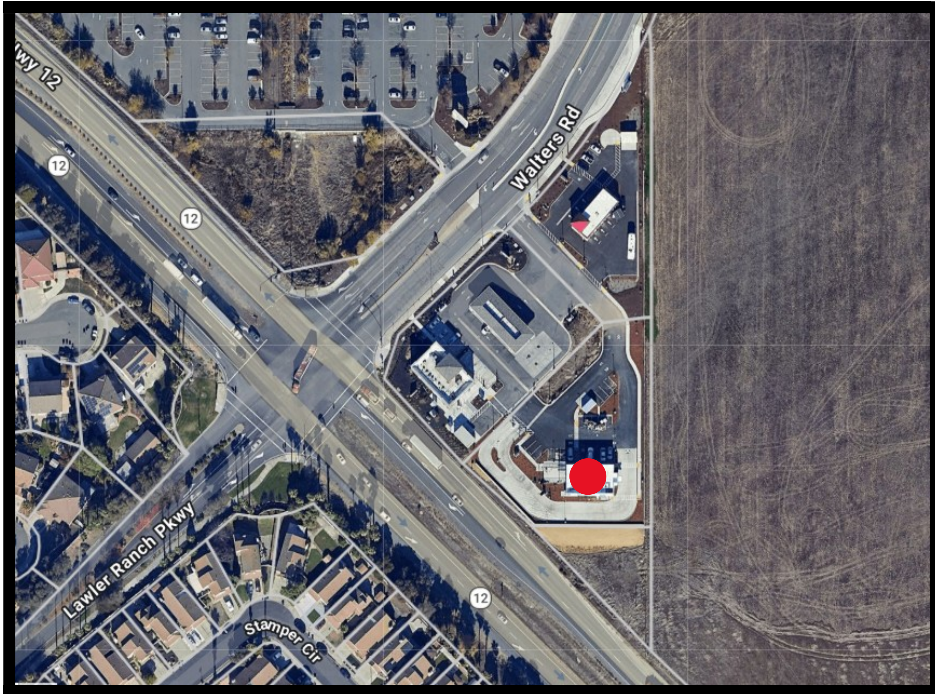
Comparable Land Sale 2



Comparable Land Sale 3



Comparable Land Sale 4




Comparable Land Sale 5



Comparable Land Sale 6

0032-141-180, CA, Solano County

APN: 0032-141-180 CLIP: 7297660565

	Beds	Full Baths	Half Baths	Sale Price	Sale Date
	N/A	N/A	N/A	N/A	N/A
	Bldg Sq Ft	Lot Sq Ft	Yr Built	Type	
	N/A	16,363	N/A	MISC	

OWNER INFORMATION			
Owner Name Full	Suisun City	Tax Billing City & State	Suisun City, CA
Tax Billing Address	701 Civic Center Blvd	Tax Billing Zip	94585

COMMUNITY INSIGHTS			
Median Home Value	\$563,276	School District	FAIRFIELD-SUISUN UNIFIED
Median Home Value Rating	7 / 10	Family Friendly Score	28 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	40 / 100	Walkable Score	21 / 100
Total Incidents (1 yr)	152	Q1 Home Price Forecast	\$562,801
Standardized Test Rank	21 / 100	Last 2 Yr Home Appreciation	-0%

LOCATION INFORMATION	
Within 250 Feet of Multiple Flood Zone	Yes (X, X500, Ae)

TAX INFORMATION			
Tax ID	0032-141-180	Tax Area	005017
Parcel ID	0032141180	Lot	2
Legal Description	SUB BK-PG 48-18 LOT 2		

ASSESSMENT & TAX	
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CHARACTERISTICS			
Approx Lot SqFt	16,363	Land Use - County	Gov & Other Misc
Lot Acres	0.3756	Land Use - Universal	Miscellaneous

SELL SCORE	
Value As Of	2026-01-25 06:32:55

LAST MARKET SALE & SALES HISTORY	
Owner Name Full	Suisun City
Recording Date	03/09/2011
Nominal	Y
Buyer Name	City Of Suisun City
Seller Name	Suisun City Redevelopment Agcy
Document Number	20719
Document Type	Grant Deed


PROPERTY MAP



*Lot Dimensions are Estimated

0032-141-130, CA, Solano County

APN: 0032-141-130 CLIP: 1009104665

	Beds	Full Baths	Half Baths	Sale Price	Sale Date
	N/A	N/A	N/A	N/A	N/A
	Bldg Sq Ft	Lot Sq Ft	Yr Built	Type	
	N/A	8,498	N/A	MISC	

OWNER INFORMATION			
Owner Name Full	Redevelopment Agency Of Su	Tax Billing City & State	Suisun City, CA
Tax Billing Address	701 Civic Center Blvd	Tax Billing Zip	94585

COMMUNITY INSIGHTS			
Median Home Value	\$563,276	School District	FAIRFIELD-SUISUN UNIFIED
Median Home Value Rating	7 / 10	Family Friendly Score	28 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	40 / 100	Walkable Score	21 / 100
Total Incidents (1 yr)	152	Q1 Home Price Forecast	\$562,801
Standardized Test Rank	21 / 100	Last 2 Yr Home Appreciation	-0%

LOCATION INFORMATION			
Subdivision	Suisun Harbor Plaza	Within 250 Feet of Multiple Flood Zone	Yes (X, X500, Ae)

TAX INFORMATION			
Tax ID	0032-141-130	Tax Area	005017
Parcel ID	0032141130	Lot	8
Legal Description	SUISUN HARBOR PLAZA 2 SUB B K-PG 67-72 LOT 8		

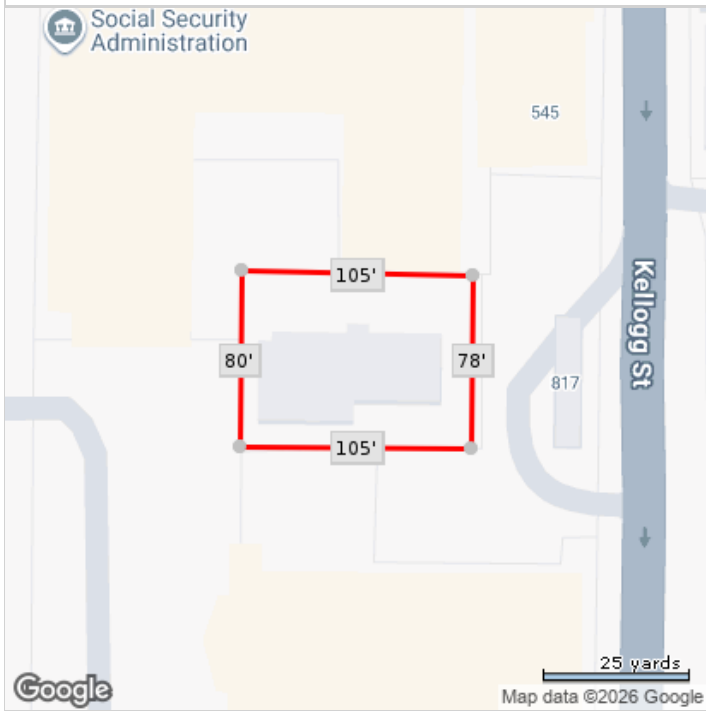
ASSESSMENT & TAX			
Tax Year	Total Tax	Change (\$)	Change (%)
2022	\$2,936		
2023	\$2,977	\$42	1.43%
2024	\$3,010	\$33	1.1%
Special Assessment		Tax Amount	
Victorian Harbor C-D Maint		\$2,426.98	
Victorian Harbor C-D Dredging		\$583.38	
Total Of Special Assessment		\$3,010.36	

CHARACTERISTICS			
Approx Lot SqFt	8,498	Land Use - County	Gov & Other Misc
Lot Acres	0.1951	Land Use - Universal	Miscellaneous

SELL SCORE			
Value As Of	2026-01-25 06:32:55		

LAST MARKET SALE & SALES HISTORY			
Owner Name Full	Redevelopment Agency Of Su		
Recording Date	12/03/2021		03/09/2011
Nominal	Y		Y
Buyer Name	Redevelopment Agcy Of The City Of		City Of Suisun City
Seller Name	City Of Suisun City		Suisun City Redevelopment Agcy
Document Number	124478		20717
Document Type	Quit Claim Deed		Grant Deed


PROPERTY MAP



*Lot Dimensions are Estimated

0032-141-170, CA, Solano County

APN: 0032-141-170 CLIP: 8507736672

	Beds	Full Baths	Half Baths	Sale Price	Sale Date
	N/A	N/A	N/A	N/A	N/A
	Bldg Sq Ft	Lot Sq Ft	Yr Built	Type	
	N/A	11,434	N/A	MISC	

OWNER INFORMATION			
Owner Name Full	Suisun City	Tax Billing City & State	Suisun City, CA
Tax Billing Address	701 Civic Center Blvd	Tax Billing Zip	94585

COMMUNITY INSIGHTS			
Median Home Value	\$563,276	School District	FAIRFIELD-SUISUN UNIFIED
Median Home Value Rating	7 / 10	Family Friendly Score	28 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	40 / 100	Walkable Score	21 / 100
Total Incidents (1 yr)	152	Q1 Home Price Forecast	\$562,801
Standardized Test Rank	21 / 100	Last 2 Yr Home Appreciation	-0%

LOCATION INFORMATION	
Within 250 Feet of Multiple Flood Zone	Yes (X, X500, Ae)

TAX INFORMATION			
Tax ID	0032-141-170	Tax Area	005017
Parcel ID	0032141170	Lot	3
Legal Description	SUB BK-PG 48-18 LOT 3		

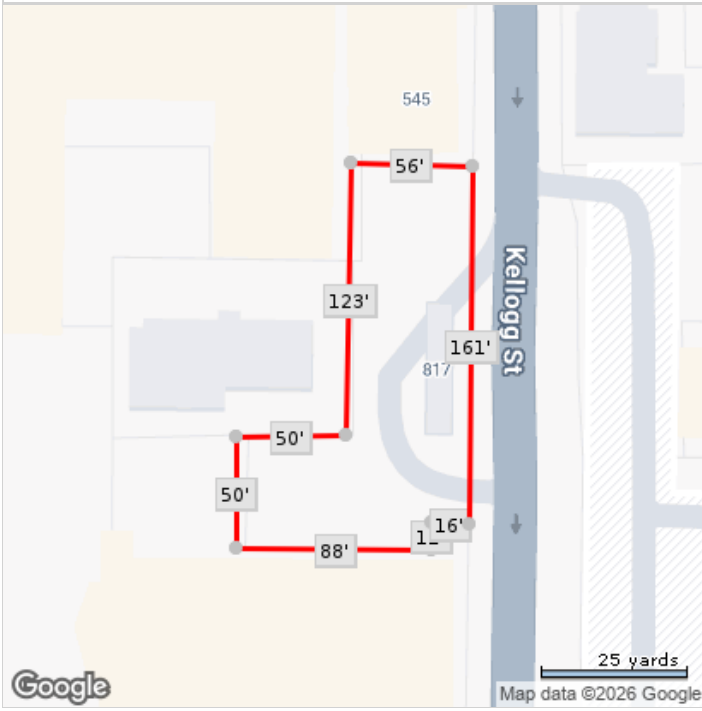
ASSESSMENT & TAX	
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CHARACTERISTICS			
Approx Lot SqFt	11,434	Land Use - County	Gov & Other Misc
Lot Acres	0.2625	Land Use - Universal	Miscellaneous


SELL SCORE	
Value As Of	2026-01-25 06:32:55

LAST MARKET SALE & SALES HISTORY	
Owner Name Full	Suisun City
Recording Date	03/09/2011
Nominal	Y
Buyer Name	City Of Suisun City
Seller Name	Suisun City Redevelopment Agcy
Document Number	20719
Document Type	Grant Deed

PROPERTY MAP



*Lot Dimensions are Estimated

	Beds	Full Baths	Half Baths	Sale Price	Sale Date
	N/A	N/A	N/A	N/A	N/A
	Bldg Sq Ft	Lot Sq Ft	Yr Built	Type	
	N/A	17,734	N/A	MISC	

OWNER INFORMATION			
Owner Name Full	Suisun City	Tax Billing Zip	94585
Tax Billing Address	701 Civic Center Blvd	Owner Occupied	No
Tax Billing City & State	Suisun City, CA		

COMMUNITY INSIGHTS			
Median Home Value	\$563,276	School District	FAIRFIELD-SUISUN UNIFIED
Median Home Value Rating	7 / 10	Family Friendly Score	28 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	40 / 100	Walkable Score	21 / 100
Total Incidents (1 yr)	152	Q1 Home Price Forecast	\$562,801
Standardized Test Rank	21 / 100	Last 2 Yr Home Appreciation	-0%

LOCATION INFORMATION			
Census Tract	2527.02	Subdivision	Suisun Harbor Plaza
Carrier Route	C001	Within 250 Feet of Multiple Flood Zone	Yes (X, X500, Ae)

TAX INFORMATION			
Tax ID	0032-141-140	Tax Area	005017
Parcel ID	0032141140	Lot	9
Legal Description	SUISUN HARBOR PLAZA 2 SUB B K-PG 67-72 LOT 9		

ASSESSMENT & TAX			
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CHARACTERISTICS			
Approx Lot SqFt	17,734	Land Use - County	Gov & Other Misc
Lot Acres	0.4071	Land Use - Universal	Miscellaneous

SELL SCORE			
Value As Of	2026-02-01 06:32:51		

LAST MARKET SALE & SALES HISTORY			
Owner Name Full	Suisun City		
Recording Date	03/09/2011	12/27/1995	05/19/1994
Nominal	Y		
Buyer Name	City Of Suisun City	Redevelopment Agency	Redevelopment Agency & City Of Suisun City
Seller Name	Suisun City Redevelopment Agcy	Conner Raymond G & Betty J Trust	Conner Raymond G & Betty J Jt
Document Number	20718	81824	50659
Document Type	Grant Deed	Grant Deed	Grant Deed

MORTGAGE HISTORY			
Mortgage Date	12/27/1995		
Mortgage Amt	\$500,000		
Mortgage Lender	Lender Seller		
Mortgage Type	Conventional		
Borrower Name	Redevelopment Agency		

PROPERTY MAP



*Lot Dimensions are Estimated



Home (<https://www.suisun.com/Home>) / **Suisun City Releases Updated Development Calendar**

Suisun City Releases Updated Development Calendar

Published on September 17, 2025

Suisun City has published its latest Development Calendar, providing residents, businesses, and community stakeholders with a clear look at active, pending, and future projects that will shape the city's growth. The update highlights both short-term developments already under construction and long-range projects still in the planning phase.



Among the projects currently entitled or underway are the Awanta Project, a 20-unit apartment complex on Main Street approved in August 2025, and the Lotz Residences, a 16-unit residential neighborhood with accessory dwelling units. Other highlights include Suisun City Dental, which is adding a new dental office and restaurant space, and the Almond Gardens Apartments, a 97-unit affordable housing project now moving forward with permits.

Several proposals remain under review, such as the McCoy Creek Mixed-Use Project, 31 apartments and retail space; the Olive Tree Ranch, planned for 70 single homes; and two large-scale logistics centers that together could bring

How can I help you today?



nearly 3.4 million square feet of warehousing and distribution space to the region. Additional projects include a retail cannabis dispensary and a Dutch Bros Coffee location, reflecting a blend of economic development opportunities.

Looking ahead, the calendar also outlines longer-term opportunities, including redevelopment of the city's Senior Center, surplus land initiatives, and parcels tied to California Forever's infill development efforts. While timelines remain preliminary, these projects represent important conversations about housing, economic vitality, and land use in Suisun City's future.

By releasing this update, Suisun City continues its commitment to transparency and community engagement, ensuring residents are informed about the projects shaping the local landscape.

To view the current development calendar please use this link: [Development-Calendar-Update-FINAL.pdf](#) (PDF, 7MB)
([/files/sharedassets/suisuncity/v/1/training/resources/images/michaels-images/development-calendar-update-final.pdf](#)).

Tagged as:

Business & Economy

'''

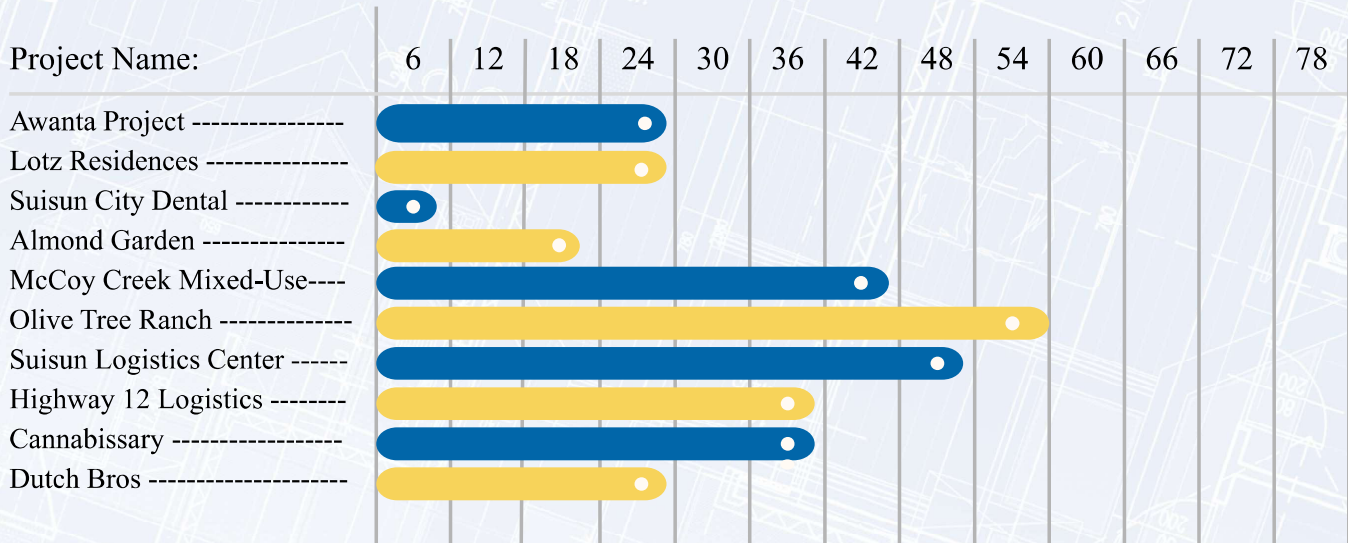
How can I help you today?



Development Calendar Update

Active Development Calendar

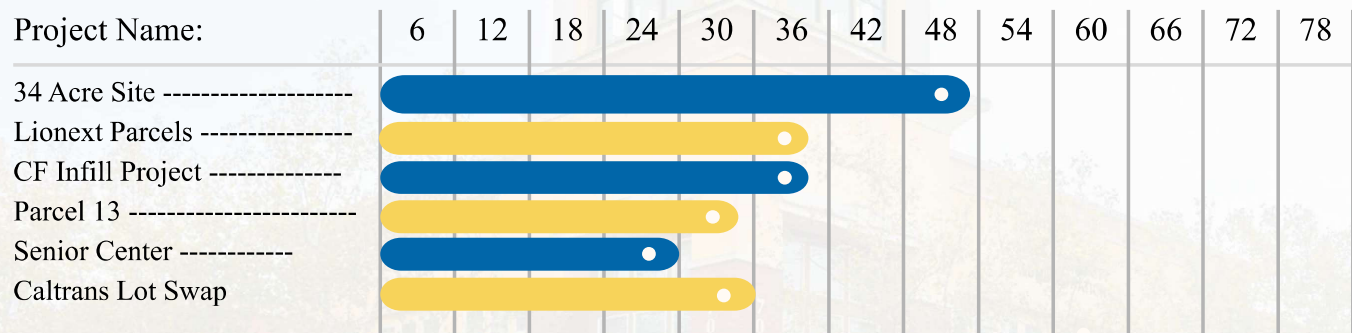
Projects that are under review, entitled, permitted, or under construction.



*The timeline projections are only **estimates.**

Future Development Calendar

Projects that are longer term that still require entitlements.



*The timeline projections are only **estimates.**



Entitled and/or Under Construction Stage

Awanta Project

400 Main Street east of Main Steet and south of Driftwood Drive

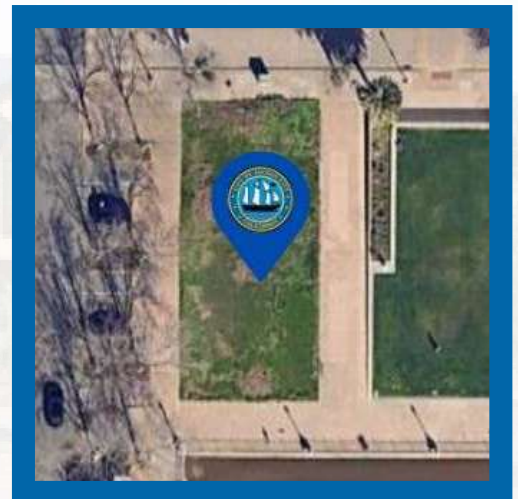
Property Owner and/or Applicant: Sunfield Development, LLC

Land Use Designation: Waterfront District Specific Plan

Zoning: Commercial/Office/Residential

Status: Approved by City Council August 2025

Project Description: A two -story 20 -unit apartment project



Lotz Residences

Northeast corner of Civic Center Boulevard and Lotz Way

Property Owner and/or Applicant: Ashria, LLC

Land Use Designation: Waterfront District
Specific Plan

Zone: Residential Medium -Density

Status: Approved by Planning Commission,
June 28, 2022. Construction drawings being
finalized by applicant team.

Project Description: A 16-unit single -family
residential project w/ an Accessory Dwelling
Unit (ADU) above garages.



Suisun City Dental

603 Lotz Way South of Lotz Way between Main Street and Harbor Center Drive

Property Owner and/or Applicant: Suisun Wellness, LLC

Land Use Designation: Waterfront District Specific Plan

Zoning: Commercial/Office/Residential

Status: Approved by City Council, July 18, 2023/
Under construction.

Project Description: A 4,446 square foot dental office with a 2,220 square foot shell tenant space for a future restaurant on a 7,150 square foot lot.



Almond Gardens Apartments

707-815 Almond Street between Civic Center Boulevard and Whispering Bay Lane.

Property Owner: Ashria, LLC

Land Use Designation: Waterfront District
Specific Plan

Zoning: Residential High -Density

Status: Building Permits issued September 2025

Project Description: A 97-unit three -story
affordable apartments project.





Under Review / In Process

McCoy Creek Mixed -Use

1220 and 1240 McCoy Creek Way.

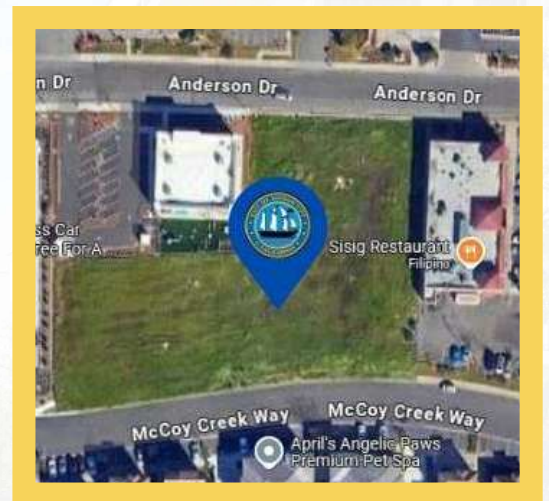
Property Owner: Canlas Development, LLC

Land Use Designation: Commercial Mixed Use

Zoning Classification: Commercial Mixed Use

Status: City Council tentative, Fall 2025.

Project Description: A 31-unit apartment project with 1,645 square feet of non -residential space.



Olive Tree Ranch

Between Humphrey Dr. and Olive Ave. South of
Railroad Ave and E. Tabor Avenue

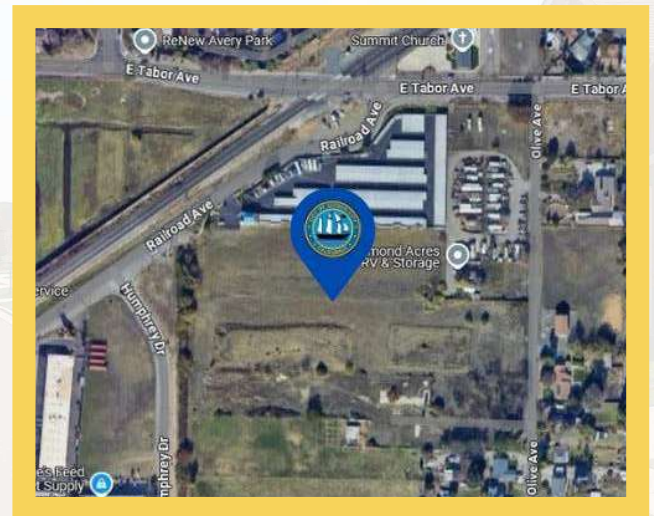
Property Owner and/or Applicant: Suisun
Investments, LLC

Land Use Designation: Commercial Mixed Use
and Residential Medium -Density

Zoning : Commercial Services and Fabricating
and Residential Medium -Density

Status: In planning review

Project Description: 70 single -family residential
units on approximately 10 acres of land



Suisun Logistics Center

East of Walters Rd. and South of Petersen Rd.

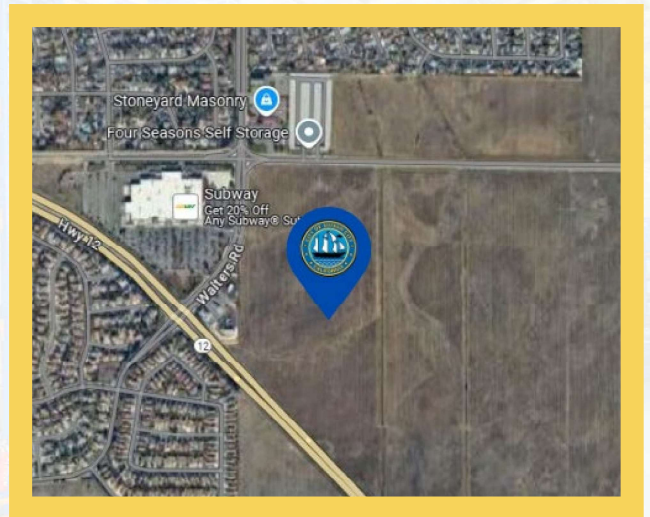
Property Owner and/or Applicant: Buzz Oates Construction

Land Use Designation: Special Planning Area (existing) / Commercial Mixed Use (proposed).

Zoning: Not yet rezoned / Commercial Services and Fabricating (CSF) and Open Space (OS) (proposed) .

Status: In planning review

Project Description: 2.1 million square feet of Warehousing/Logistics building space on 120 acres.



Highway 12 Logistics Center

South of Highway 12 at Pennsylvania Ave.

Property Owner and/or Applicant: Buzz Oates Construction.

Land Use Designation: Commercial Mixed Use.

Zoning: Prezoned as Commercial Services and Fabricating (CSF) and Open Space (OS).

Status: Project Entitled and Environmental Impact Report certified by City Council December 2024. Submittal to LAFCO for annexation forthcoming.

Project Description: 1.28 million square feet of Warehousing/Logistics building space on 63.7 acres.



Cannabissary

South of Railroad Avenue and East of Humphrey Drive.

Property Owner and/or Applicant: Verna Schuetter

Land Use Designation: Commercial Mixed Use

Zoning: Commercial Services and Fabricating

Status: City Council tentative, Fall 2025.

Project Description: 2,494 square foot retail cannabis dispensary



Dutch Bros

North of Highway 12 and directly east of the Sunset Center

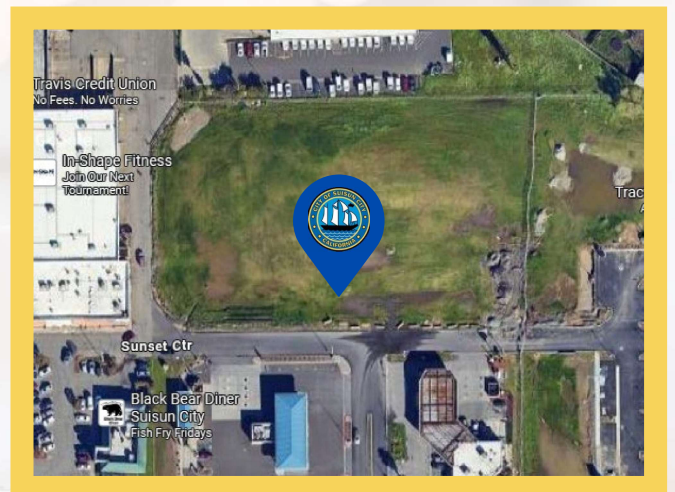
Property Owner and/or Applicant: Hilbers Inc.

Land Use Designation: Commercial Mixed Use

Zoning: Commercial Mixed Use

Status: In planning review. Planning Commission tentative, Fall 2025.

Project Description: 1,025 square foot drive thru coffee business





Future Projects

34 Acre Site Project

Northwest Corner of Highway 12 and Marina Boulevard

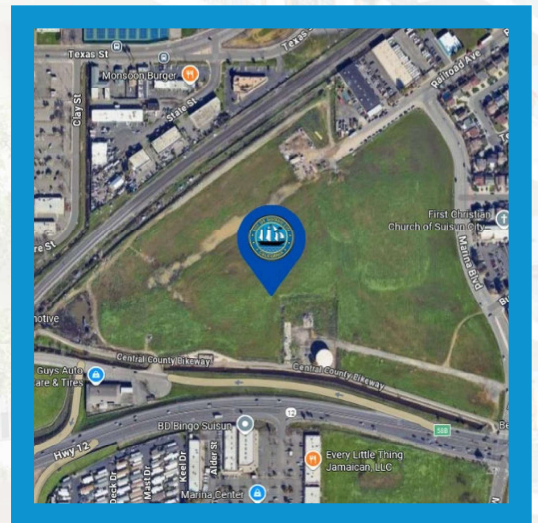
Property Owner and/or Applicant: Suisun City Housing Authority.

Land Use Designation: Waterfront District Specific Plan.

Zoning: Downtown Commercial.

Status: Beginning Surplus Lands Act (SLA) process.

Project Description: Unknown/To be Determined.



Lionext Parcels

Multiple parcels: (1) Northeast corner of Main Street and Solano Street; (2) eastern terminus of Solano Street; and (3) east of Kellogg Street and north of Line Street

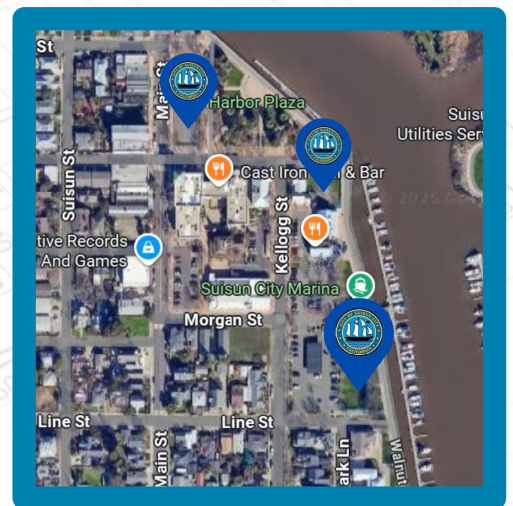
Property Owner and/or Applicant: Lionext Inc.

Land Use Designation: Waterfront District Specific Plan.

Zoning: Main Street Mixed Use and Downtown Mixed Use.

Status: Application not yet submitted.

Project Description: Unknown/To be Determined.



California Forever (CF) Infill Development

Multiple parcels along Main St. and Solano St.

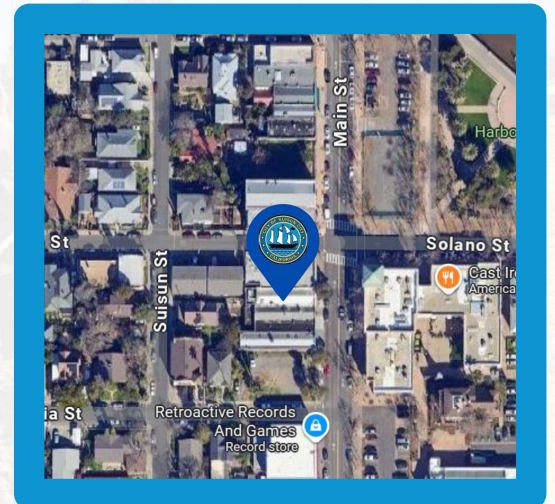
Property Owner and/or Applicant: Suisun City
Successor Agency

Land Use Designation: Waterfront District Specific
Plan

Zoning: Main Street Mixed Use

Status: Purchase and Sale Agreement in process.

Project Description: Unknown/To be Determined.



Parcel 13

West of Civic Center Boulevard and south of Driftwood Drive.

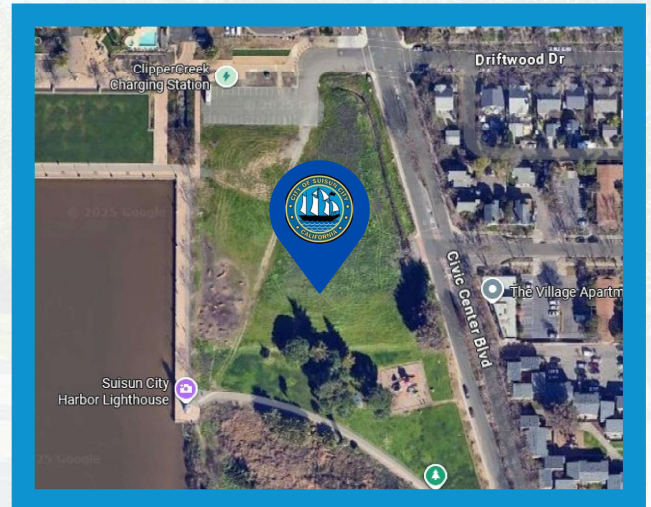
Property Owner and/or Applicant: Ashria, LLC.

Land Use Designation: Waterfront District
Specific Plan.

Zoning: Commercial/Office/Residential.

Status: Application not yet submitted.

Project Description: Unknown / To Be
Determined.



Senior Center Redevelopment

318 Merganser Drive adjacent to Casa de Suisun.

Property Owner: City of Suisun City

Land Use Designation: Higher Density Residential

Zoning: Residential High -Density 2

Status: Application not yet submitted

Project Description: Unknown / To Be Determined



CALTRANS Lot Swap

South of Highway 12 between Main St. & Civic Center Blvd.

Property Owner and/or Applicant: State of California.

Land Use Designation: Waterfront District Specific Plan

Zoning: Downtown Mixed Use

Status: Application not yet submitted

Project Description: Unknown / To Be Determined





6.3.2 Commercial and Mixed Use Development Standards

Development standards for commercial and mixed use zones are summarized in Table 6.2.

Table 6.2: Commercial and Mixed Use Development Standards¹

Land Use District	Downtown Commercial (DC)	Downtown Mixed Use (DMU)	Main Street Mixed Use (MSMU)	Historic Limited Commercial (HLC)	Waterfront Commercial (WC)
C. LOT / SITE DESIGN					
1. Lot Coverage ²	80% max	80% max	100% max	70% max	50% max
2. Density ³	N/A	N/A	N/A	N/A	N/A
3. Floor Area Ratio	0.25-2.0	0.30-3.0	0.30-2.0	0.25-1.0	0.25-1.0
4. Lot Area	4,000 sf min	3,000 sf min	2,500 sf min	2,500 sf min	2,500 sf min
5. Lot Width	50' min	50' min	40' min	40' min	40' min
6. Lot Depth	70' min	60' min	60' min	60' min	60' min
D. BUILDING PLACEMENT AND HEIGHT					
Primary Building Setback⁴					
1. Front Setback	0' min-20' max	0' min-15' max	0' min-15' max ⁴	5' min-15' max ⁵	5' min-15' max
2. Side Setback (street)	0' min-15' max	0' min-15' max	0' min-15' max	5' min-15' max	10' min-20' max
3. Side Setback (interior)	0' min (nonresid.) 15' min (resid.)	0' min (nonresid.) 15' min (resid.)	0' min (nonresid.) 15' min (resid.)	5' min (1-2 stories); 15' min (3+ stories)	0' min (nonresid.) 15' min (resid.)
4. Rear Setback ⁶	15' min	15' min	0' min (nonresid.) 15' min (resid.)	5' min	0' min (nonresid.) 15' min (resid.)
5. Height Limit	60' max	60' max ⁷	16' min; 50' max ⁷	35' max	35' max

Notes:

du/ac = dwelling units per acre; min = minimum; max = maximum; sf = square feet; nonresid. = nonresidential; resid. = residential

- ¹ Residential development within a commercial or mixed use zone shall be subject to the development standards for the Residential High Density Zone (RHD), identified in Table 6.1, except for residential development within the C/O/R Zone, which may use development standards for the RMD or RHD Zones.
- ² Lot coverage includes primary buildings, accessory buildings, covered parking, and covered patios.
- ³ Density bonuses or increases may be allowed for the provision of affordable housing and project amenities, such as day care facilities and additional open space, as addressed in the Suisun City Zoning Code, Chapter 18.47 for residential density bonuses.
- ⁴ Yards and setback areas shall be landscaped in accordance with water-efficient landscaping standards, addressed in Title 20 of the Suisun City Zoning Code and the State Model Water Efficient Landscape Ordinance.
- ⁵ Front setbacks shall be consistent with the setbacks of adjacent buildings on the street.
- ⁶ Rear garage setback for a detached garage shall be a minimum of 3 feet from the rear property line. Rear setbacks for an attached garage shall be the same as that required for the primary structure.
- ⁷ Building heights in the Downtown Core planning district shall not exceed a maximum height of 50 feet. Building heights shall be stepped to respect the heights of existing adjacent development.

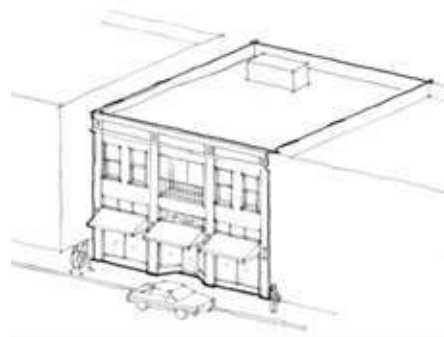
6.3.3 Main Street Mixed Use and Downtown Mixed Use Zones in the Downtown Core



Downtown commercial structures are typically rectilinear and built to the edge of the sidewalk.



Where building heights differ between adjacent properties, the height of adjacent major façade elements shall be related.



The scale of new infill construction shall be harmonious with that of adjacent buildings of historic interest.

The following design guidelines apply to the Main Street Mixed Use and Downtown Mixed Use Zones, particularly within the Downtown Core Planning District. This District consists primarily of commercial buildings typically built up to the sidewalk edge, rectilinear in form, with large storefronts on the ground floor facade. Where residential structures exist on the west side of Main Street, the residential standards and guidelines in Section 6.1 shall govern. Refer to Chapter 4 for street and streetscape design guidelines for Main Street and other Downtown commercial and residential areas.

A. Building Height, Placement, and Setbacks

1. The height of new street-facing facades should be greater than sixteen (16) feet but no more than fifty (50) feet, as measured from the sidewalk to the top of the cornice.
2. Along Main Street, building facades shall be a minimum of 16 feet in height and appear as a two (2) story building, if not two (2) stories or greater in height.
3. Where building heights differ between adjacent properties, the adjacent heights of major facade elements, such as storefronts, ground floors, upper floors, sill lines and strong horizontal features, such as belt courses and cornices shall be related.
4. Buildings and facades shall be constructed to the back of the sidewalk of the adjacent street(s). Only entries and flanking display windows may be recessed from the property line. Doorways should be designed to focus on the street to create more activity along the sidewalk.

B. Building Form and Style

1. Like the historic buildings on Main Street, building forms shall be primarily rectilinear and parallel to existing nearby streets or buildings. Oblique, polygonal, and circular-shaped buildings are prohibited.
2. Unique architectural features of buildings shall be maintained and respected in any renovation or remodeling work.
3. The scale of new construction should be harmonious with that of adjacent buildings. The scale of various design and construction elements should be consistent with adjacent buildings of historic interest.
4. When a new building is proposed to replace a historic structure, key architectural elements of the original building should be used in the construction of the new building.
5. The architectural character of new construction and rehabilitation shall reflect the traditional building forms of



historic Suisun City by containing design elements that produce a similar visual image. Highly contemporary and articulated building forms are not permitted. “Wild West” themes typified by false front architecture, embellished with gingerbread-style detail, board- and- batten siding, and bright colors are not an appropriate or acceptable building motif.

C. Exterior Walls

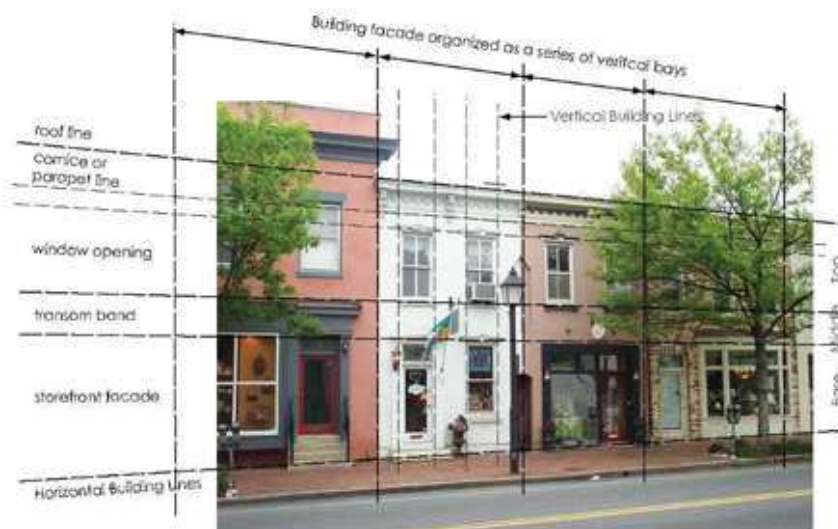
1. Exterior walls should usually be designed with brick, wood, painted or architectural metal (such as cast iron and pressed metal with anodized finish or painted).
2. Except in limited amounts and in locations other than along Main Street, exterior wall materials not normally permitted include concrete, concrete block, stone veneer, stucco, granite, modern metal applications, large expanses of glass, tile, or plastic.
3. New storefronts along Main Street should approximate the rectangular shape, proportions, and character of adjacent buildings of historic character. Storefronts with recessed entries are encouraged and should be divided into three bands with a base, middle, and top, including a transom band, a band of display windows, and a small spandrel or paneled band under the display windows. One-story buildings should have a solid wall space above the storefront and a cornice, with or without a parapet. Two story buildings should usually have a horizontal band and a second floor with windows and cornice. All of the above bands should align with those of adjacent buildings to the extent possible.



Exterior walls should be designed with brick, wood, and painted or anodized finish metal.



New storefronts along Main Street should approximate the rectangular form, proportions, and character of adjacent buildings of historic interest.



Storefronts along Main Street should be designed as three bands that include a base, middle, and top.



Canvas awnings attached above street level storefronts and windows are encouraged.



Traditional design features, such as wooden balconies, canopies, and porches are encouraged.

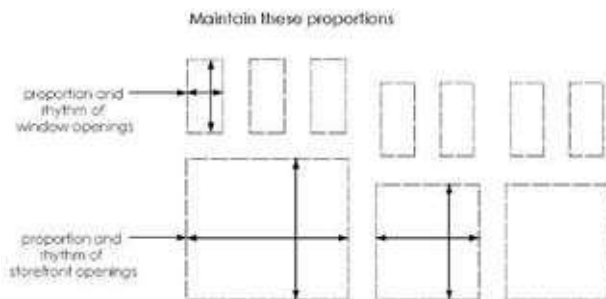


Buildings at key intersections, such as Main Street and Driftwood Drive should be designed to mark the corner.

4. If provided, awnings should be regularly cleaned and maintained. Metal and glass awnings are discouraged. Mansard, free form, and geometric form awnings or other sidewalk covers are discouraged. Care should be taken in choosing the size, type, location, configuration, and color of awnings to ensure compatibility with the building's architecture and the character of adjacent structures. Awnings or canopies that obscure transom windows or that are used primarily for signage rather than cover are not permitted.
5. Wooden balconies, canopies, and porches are traditional to some types of buildings and are encouraged, where appropriate. The creation of such elements should be carefully considered to ensure compatibility with the style of historic structures along Main Street. Other important architectural features should not be obscured or destroyed in the building of these features.
6. Retail continuity along Main Street's west side is essential. Storefronts should be varied in design and character, but continuous where possible along each block. Storefronts should wrap around corners to create a sense of transparency and activity at intersections.
7. Buildings at key intersections (such as Main Street and Driftwood Drive) should be designed to "mark the corner" with such architectural features as a tower or a cupola. Such features may be erected to a greater height than fifty (50) feet, provided the design is in keeping with the overall character of the structure and surroundings.
8. The backs and sides of buildings that are visible from public streets should incorporate window and door openings, where possible. For new construction, backs and sides should be as carefully designed as front facades. On existing buildings, original openings should be restored or compatible new ones provided where feasible. Interesting details, awnings, painting, and landscaping should also be used to add visual interest to these areas.



Windows should be organized vertically, in multiple bays, although several vertical elements may be combined to form a horizontal opening.





D. Windows and Doors

1. Except on narrow building fronts, windows should be organized in multiple bays, in coordination with ground-level storefronts. The directional expression of windows and doors should be vertical, although several vertical elements may be combined to form a horizontal opening.
2. Fenestration should be heavy wood rectilinear assemblies. Metal window assemblies or metal window frames are discouraged. Fenestration should be well proportioned and compatible with the dimensions of a given wall.
3. Glass in windows, doors, and transoms should primarily be kept clear. Plastic materials should not be used in place of glass.
4. Upper floor facades should be composed as solid surfaces with punched openings for individual windows or discrete sets of windows. The openings may be highlighted with special treatment at the head, sill, and/or sides, such as special brick coursing, arched heads, or other accents.
5. Large areas of blank wall with few openings or enriching details should be avoided on street facades. New and substantially rehabilitated buildings should have wall to window area ratios and proportions that are similar to the traditional Downtown buildings. For minor rehabilitated buildings, existing window openings, which have been boarded up, stuccoed, or painted over should be restored and reglazed.
6. Original or existing storefront areas and window openings should not be filled in or covered up from either the interior or exterior of the building. Where buildings with retail storefront display areas have been converted to non-retail uses, such as offices, the storefront glazing should not be covered over or permanently obscured. Removable interior window coverings may be used to provide some degree of privacy, but visual contact with the street should be maintained to the maximum extent feasible.



Upper floor facades should be composed of solid surfaces with punched openings for individual or sets of windows.

E. Roofs

1. Building roofs should reflect the historic styles in the Downtown Core and should be either gable, gambrel, hip, or shed. False fronts or parapet walls should conceal pitched or flat roofs from view along Main Street. Mansard, free form, and geometric roof shapes are discouraged. Flashings should be unobtrusive.
2. Pitched roofs should usually be dark asphalt shingles. Roofing materials not normally allowed include weathered wood shingles, concrete, plastic tile, or fabric.



False fronts or parapet walls should conceal pitched or flat roofs.



Exterior colors should complement the color of neighboring buildings or storefronts and the overall Downtown landscape character.



Complementary colors should be selected for signs and awnings of individual shops within the same building.

F. Color

1. Choice for building exteriors may express individual taste, but should always contribute to the historical character of the area. Exterior colors should harmonize with other colors on the same building and on the streetscape.
2. Exterior colors should complement the colors of neighboring buildings or storefronts and should be selected to be mutually supportive and beneficial to the overall character of the streetscape.
3. Where brick has been painted, repainting is appropriate. Where brick was unpainted and remains unpainted, use of paint on the exterior is prohibited.
4. Colors for building walls and storefronts should be uniform for a shop, which occupy multiple storefront buildings.
5. The use of different colors to mark individual shops within a building can be visually disruptive and obscure the overall composition of the facade. Where existing buildings have been painted in this manner, they should be repainted complementing colors when rehabilitation or change in tenancy occurs.
6. A range of complimentary colors may be selected for signs and awnings of individual shops within the same building. The sign and awning color of individual businesses should be coordinated wherever possible. Patterned or multi-colored awnings should be used with care and in consideration of the color(s) of adjacent awnings.



Additions to existing structures shall be a height and scale that does not overwhelm the original building.

6.3.4 Historic Limited Commercial Zone

The Historic Limited Commercial Land Use Zone occurs in both the Downtown Core Planning District and Historic Suisun Planning District.

The buildings that front on Main Street between Morgan Street and Cordelia Street and the areas within the HLC zone are predominantly residential in design and character. These structures are expected to convert to retail or limited commercial uses over time. The following sections address these “transitional” buildings and provide standards and guidelines for their renovation for commercial use. These guidelines also apply to the design of new commercial structures so that residential elements are incorporated and are compatible with the existing structures in which they adjoin.

A. Building Height, Placement, and Setbacks

1. The maximum height of any new building or addition to an existing building shall be thirty-five (35) feet. The maximum height limitation matches that specified for the adjacent residential district. It will allow for an appropriate transition in scale between commercial and residential zones.



2. Additions to existing structures shall be of a height and scale which does not overwhelm that of the original building.
3. Building setbacks should be provided from all property lines. The front yard and side setback from the street should approximate that of adjacent residential buildings on the block. Rear and side setbacks should be similar to those provided for existing residential buildings, with greater setbacks provided for new structures or additions of significantly greater height or scale.

Building setbacks from the street will help to maintain a consistent street wall and signal the transition from the commercial area to the adjacent residential area. Side and rear setbacks can provide buffer zones to protect the privacy of adjacent residential areas.

4. Setback areas shall be adequately landscaped to provide a residential character to the street and to form green buffers between buildings. The presence of trees and planting around buildings is typical of residential areas and will provide an appropriate transition between them and the commercial area.

B. Building Form and Composition

1. Unique architectural features and the overall residential quality and appearance of a structure should be maintained and respected. Major form-giving elements to be retained include pitched rooflines, projecting or recessed entry porches, dormers and bay windows. Important features and details may include multi-paned windows set in wood frames, overhanging eaves, decorative brackets and balustrades and substantially designed porch bases and steps.

The conversion of a residential structure to commercial use should not destroy the residential character of the building. Where modifications are necessary to improve access, they should be done in a manner that is least disruptive of the original building fabric. Closing or filling porches or window openings destroys the building's character and is inappropriate.

2. New construction and additions to existing buildings should utilize the major residential form-giving elements described above.
3. Roof forms should be expressed rather than concealed behind parapets or false fronts. Appropriate forms are those typically used for residential development in and adjacent to the area. These include hip, gable and shed forms with projecting eaves. Roof forms for building additions should be consistent with those of the original structures.
4. Building massing should relate to the scale of surrounding residential structures. Where a new building will be significantly larger than surrounding structures, it should be composed of



Setback areas shall be adequately landscaped to provide a residential character and green buffer to the street.



Unique architectural features and the residential quality and appearance of structures should be maintained.



Conversion of a residential structure to a commercial use should not destroy the character of the building.



New larger buildings should use smaller-scaled elements that approximate the scale or form of adjacent residential development.

smaller elements that approximate the scale or form of the existing residential structures.

In order to avoid changes in scale that would overwhelm adjoining residential structures, new buildings should use smaller-scaled elements as building blocks. Devices, such as partial or full setback upper floors, building projections or recesses, and changing or articulated roof forms help to reduce the apparent mass of a building.

C. Material Finishes and Colors



Exterior wall materials should use traditional residential building materials, such as wood siding, stone, and brick.

1. Exterior wall materials should be limited to those commonly used for residential buildings, including wood siding, and brick.
2. Additions to existing buildings should be finished in the same material as the original structure. Complementary materials, such as wood shakes with wood siding or brick with stucco may be used for architectural accents or special details.
3. Existing window openings and multi-paned windows should be retained. Large expenses of glass should be avoided in building additions and new construction in favor of individual window openings with multi-paned windows or multiple window units.
4. Window frames shall be of painted wood, metal, dark anodized aluminum, or in the case of a renovation, a material and finish which matches the existing original window frames.
5. Metal window grilles or other exterior devices, which imply security problems, are discouraged.

Visible security devices detract from the area's image. Security problems should be addressed in less visible ways, such as internal alarm systems, which will not detract from the visual image of the area.



Use of fabric awnings is encouraged, where appropriate to the building design.

6. Appropriate paint colors for building wall surfaces include white or light, neutral pastels similar to those called for in other commercial zones, medium toned natural finishes for brick. Where wood siding or shakes are used, darker stains or painted finishes may also be appropriate. Trim elements and details may be painted to match the building wall or in a contrasting color.
7. The use of fabric awnings is encouraged where appropriate to the design of the building. Awnings should be placed to avoid obscuring architectural features or overwhelming the scale of the building. Awnings may be placed over windows or entries but must be attached directly to the building and be self-supporting. Extended sidewalk canopies are inappropriate.

6.3.5 Commercial/Office/Residential and Waterfront Commercial Land Zones

The Commercial/Office/Residential and Waterfront Commercial Land Use Zones occur within both the Downtown Core and the Southern



Waterfront Planning Districts. These areas adjacent to the waterfront are related to the historic Downtown, yet have very different characteristics. Proposed uses within these parcels are intended to build upon and enhance the character and function begun on these sites. The following design guidelines address the unique character of these two distinct opportunity areas.

A. C/O/R Zone Design Guidelines

1. All commercial buildings should have facades built to the back of the sidewalk, in order to maintain an active and interesting edge for window shoppers, strollers, and passersby.
2. Residential setbacks, where applicable, should be consistent with residential development in the Victorian Harbor neighborhood.
3. In keeping with the historic character, the linear frontage of new buildings along Main Street south of Driftwood Drive should not exceed fifty (50) feet. Commercial or mixed-use development north of Driftwood Drive may be larger. The design of the building should still emphasize the vertical appearance of smaller increments of building frontage that preserves the pedestrian quality present along Main Street.
4. New development and buildings should be designed to maximize waterfront views and access from common area spaces, as well as front onto the major surrounding streets, including Main Street, Lotz Way, and Civic Center Boulevard.
5. Flexibility in the application of these design guidelines can be attained through the PUD process.



Existing office and hotel uses in the Commercial/Office/Residential zone north of the former Sheldon Oil site.

B. Waterfront Commercial Zone Design Guidelines

New development in this area shall be guided by the design guidelines in Section 6.3.4, addressing the Historic Limited Commercial zone, and the following additional guidelines.

The area located north of the City boat ramp is intended primarily to accommodate the service retail needs of boaters and marine-related industries. Design of these buildings shall be reflective of traditional maritime architecture; that is, buildings with high ceilings, and large floor areas, but which reflect the character of the Waterfront and do not obscure it from view. This area is the subject of a recent planning study, “the South Waterfront Design Report.” The South Waterfront Design Report should be referenced for the development of the area, referenced in Figure 6-1 as Opportunity Area I.

The following design guidelines should be observed within the Waterfront Commercial zone.

1. Roofs should be pitched, without parapet facades. Flat roofs are inappropriate.



New waterfront development should be consistent with the scale and character of existing waterfront commercial development.



Setback areas shall be adequately landscaped to provide a residential character and green buffer to the street.



Building massing should be broken to smaller massing, approximating the scale or form of existing adjacent structures.



Contemporary design and reuse of industrial structures are encouraged.

2. Extensive areas of glazing or storefronts shall be utilized where the building faces a public street, common area, or the waterfront.
3. Maximum building height is thirty-five (35) feet.

6.3.6 Downtown Mixed Use Zone in the Suisun-Fairfield Train Depot Planning District

A. Building Height, Placement, and Setbacks

1. The height of new buildings should be multi-story, but no more than fifty (50) feet, as measured from the sidewalk to the top of the roof line.
2. Where building heights differ with adjacent properties in the Downtown Commercial Core, building heights shall be stepped to respect the scale of existing, adjacent development.
3. Where building heights differ between adjacent properties, the adjacent heights of major facade elements, such as storefronts, ground floors, upper floors, sill lines, and horizontal features, such as belt courses and cornices shall be related.
4. Building facades and openings should be designed to front onto Main Street or Downtown side streets rather than facing the railroad tracks.
5. Setback areas shall be adequately landscaped to provide an appropriate transition between the commercial development on Main Street, the residential development south of the district, and streets and parking areas.
6. Public open space should be internally located and buffered from rail or freight traffic.

B. Building Form and Style

1. Building massing should relate to the scale of surrounding Downtown structures. Where a new building will be larger than surrounding structures, it should be broken down into smaller elements and massing which approximate the scale or form of the existing adjacent structures.

Design strategies, such as partial or full setback upper floors, building projections or recesses, and changing or articulated roof forms help to reduce the apparent mass of a building.

2. New construction and renovation of existing buildings shall respect the waterfront design themes and historic character in the Planning Area and should maintain the distinct character of the Downtown Waterfront District.
3. More contemporary building designs and reuse of industrial structures are encouraged in this district, while respecting the



traditional design elements of Main Street and the adjacent residential neighborhoods in Old Town.

C. Exterior Walls

1. Exterior walls should usually be designed with brick, wood, painted or architectural metal (such as cast iron and pressed metal with anodized finish or painted), consistent with materials encouraged for commercial development along Main Street.
2. Balconies, canopies, and porches are encouraged and should be designed to be compatible with the appearance of adjacent structures.
3. The back and side of buildings, visible from public streets, should incorporate window and door openings, where possible. In new construction, backs and sides should be carefully designed as front facades. On existing buildings or building renovations, original openings should be restored or compatible new ones provided, where feasible. Interesting details, awnings, painting, and landscaping should be used to add visual interest to these areas.



Exterior walls should be designed with brick, wood, and painted or architectural metal.

D. Windows and Doors

1. Except on narrow building fronts, windows should be organized in multiple bays.
2. Glass in windows, doors, and transoms should primarily be kept clear. Plastic materials should not be used in place of glass.
3. For rehabilitated buildings, existing window openings, which have been boarded up, stuccoed, or painted over should be restored and reglazed.
4. Removable interior window coverings may be used to provide some degree of privacy, but visual contact with the street should be maintained to the maximum extent feasible.



Windows should be organized into multiple bays.

E. Color and Material Finishes

1. Choice for building exteriors may express individual taste, but should contribute to the character of the Waterfront District.
2. Exterior colors should harmonize with landscape themes in the district and Downtown waterfront themes.
3. The use of different colors to mark individual shops or residential units within a mixed-use building should be avoided. However, accent colors applied to highlight architectural features and trim elements and details painted in a contrasting color, compatible with the building wall are encouraged.
4. Window frames shall be of painted wood, metal, dark anodized aluminum.



Exterior colors should be chosen to complement the architectural and landscape themes in the district.



Public spaces should be provided to enhance commercial vitality and activity in the district.



Street furnishings and landscaping can help support a pleasant, urban retail experience.



Commercial building facades should front onto the sidewalk to maintain an active edge for shoppers and pedestrians.



Buildings are encouraged to be clustered to support a pedestrian-friendly shopping experience.

5. A range of complementary colors may be selected for signs and awnings of individual shops within the same building. The sign and awning color of individual businesses should be coordinated, wherever possible.

6.3.7 Downtown Commercial and Downtown Mixed Use within the Western Marina and Highway 12 Planning District

A. Public Space and Pedestrian Amenities

1. Public spaces, such as plazas, courtyards, and outdoor dining spaces should be designed to enhance the vitality of the district and support commercial patronage.
2. Public spaces, plazas, and courtyards should be designed as outdoor living rooms, enhanced with seating and other pedestrian furniture, street lights, shade, and landscaping.
3. Street furnishings and landscaping, including planters or tree grates and potted plants, should be provided along walkways, to support a pleasant urban retail experience.
4. Public art should be considered for focal points or gateway entrances into the commercial district.
5. Textured or colored pavement should be used to clearly define pedestrian access ways or intersection crossings, articulate different sidewalks activity zones, and highlight special areas within the district.

B. Building Height, Placement, and Setbacks

1. The height of new buildings are encouraged to be multi-story to establish a pedestrian-friendly character, consistent with the Downtown Waterfront District, but should be no more than sixty (60) feet, as measured from the sidewalk to the top of the building roof line.
2. Commercial buildings should have facades built to the edge of the sidewalk in order to maintain an active and interesting edge for window shoppers, strollers, and passersby.
3. To nurture a pedestrian-focused community, buildings should be designed to front onto the commercial main street or internal common space. Setbacks should be landscaped and buildings should be oriented to activate common spaces and public rights-of-way, with courtyards, plazas, seating, and other public amenities.

C. Building Form and Style

1. Building forms shall be primarily rectilinear and parallel to existing nearby streets or buildings.



2. Commercial buildings are encouraged to be clustered to support a pedestrian-friendly shopping environment.
3. Buildings at key intersections should be designed to "mark the corner" with architectural features, such as towers.

D. Exterior Walls

1. Large areas of blank wall with few openings or enriching details should be avoided on street facades. The backs and sides of buildings, which are visible from public streets, should incorporate window and door openings, where possible. Building backs and sides should be as carefully designed as front facades. Interesting details, awnings, painting, and landscaping should be used to add visual interest to these areas.
2. Exterior walls are encouraged to be designed with traditional building materials, such as brick, wood, painted or architectural metal (such as cast iron and pressed metal, with anodized finish or painted).
3. Doors, windows, cornice lines, floor lines, signage, and overhangs should be incorporated into the building design to support interesting building façades.
4. Individual tenants in a multi-tenant structure should be easily distinguished, using architectural features, including:
 1. columns, piers, or pilasters placed between building bays;
 2. building setback variations for recessed entrances, niches for landscaping, outdoor seating or dining, or other pedestrian amenities;
 3. arcades and roof overhangs; and
 4. changes in building or roof heights between adjacent tenants.
5. Canvas awnings, attached above street-level storefronts and over individual windows, are encouraged. If provided, awnings should be regularly cleaned and maintained. Care should be taken in choosing the size, type, location, configuration, and color of awnings to ensure compatibility with the building's architecture and the character of the district.

E. Windows and Doors

1. Commercial storefronts and ground floor common areas should provide a transparent façade along the street, consisting of storefronts, entries, and windows.
2. Storefronts should be varied in design and character, but continuous where possible along each block. Storefronts should wrap around corners to create a sense of transparency and activity at intersections.



Architectural details, such as doors, windows, building lines, signage, and overhangs should be used to articulate the building façade.



Color and different architectural treatments should be used to distinguish individual tenants in multitenant buildings.



Commercial storefronts and ground floor common areas should provide a transparent façade along the street.

3. Doorways should be designed to focus on the street to create more activity along the sidewalk.

F. Color and Material Finishes



Color should be selected to coordinate with the streetscape and landscape themes of the district.

1. Choice for building exteriors may express individual taste, but should contribute to the waterfront themes of the Downtown Waterfront District. Exterior colors should complement the colors of neighboring buildings or storefronts and should be selected to be mutually supportive and beneficial to the overall character of the streetscape.
2. Colors for building walls and storefronts should be uniform for a shop, which occupy multiple storefront buildings.
3. The sign and awning color of individual businesses should be coordinated, wherever possible.

Qualifications of David J. Vargas, MAI, R/W-AC

4416 Moffitt Drive, Napa, Ca 94558; Ph. 707 258-0427; email: davidvargas@sbcglobal.net

Summary of Experience

Two years appraising 1 to 4 unit residential properties on a URAR format to typical mortgage underwriting standards.

Thirty-five years appraising various income properties and complex residential properties, including residential subdivisions, retail, office and industrial uses, special-use commercial properties for construction lending, wineries and vineyards. Feasibility analysis.

Primary area of expertise is the north San Francisco Bay area including Napa, Sonoma, Solano, Contra Costa and Alameda Counties.

Education

California State University - Hayward:
Bachelor of Science - Business Administration, Finance Option (1/84 - 12/87)

Chabot College - Hayward:
Associate of Arts - General Education (9/81 - 12/83)

Real Estate Courses

- * A.I.R.E.A. Principles of Appraisal
- * Appraisal Institute - Capitalization Theory - Parts A and B
- * Appraisal Institute - SPP Parts A, B and C
- * Appraisal Institute - Course 510 - Highest and Best Use
- * Appraisal Institute - Course 530 - Advanced Sales Comparison and Cost Approach
- * Appraisal Institute - Course 540 - Report Writing and Valuation Analysis
- * Appraisal Institute - Course 550 - Advanced Applications
- * Appraisal Institute – Course 833 - Fundamentals of Separating Real Property, Personal Property, and Intangible Business Assets
- * Appraisal Institute – Course 797 - Valuation of Conservation Easements
- * Courses required for General Certified Appraiser
- * Principles of Real Estate - C.S.U.H.
- * Real Estate Investment Analysis - C.S.U.H.
- * Advanced Topics in Real Estate - C.S.U.H.
- * Appraisal Institute - General Demonstration Report - Capstone Program
- * IRWA - 431 Problems in Valuation of Partial Acquisitions
- * IRWA - 421 Valuation of Partial Acquisitions

Licenses

General Certified Appraiser / AG009137 - 9/21/22-9/21/24; State of California
Real Estate Broker - State of California (current)

Employment History

David J. Vargas (self-employed), Napa, CA. Owner. Commercial real estate appraisal.
December 2001 to present.

Hamilton, Ricci & Associates, Inc., San Francisco, CA. Associate appraiser. Commercial real estate.
April 1992 to December 2001

Napa Valley Development, Napa, CA. Appraiser - Staff appraiser. Commercial real estate.
April 1988 to May 1992.

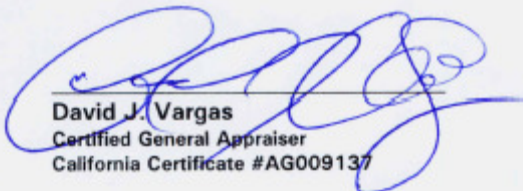
Dawson & Jones, SRA, San Ramon, CA. Staff appraiser - Residential/commercial properties.
February 1986 to March 1988.

Rosenbusch & Associates, MAI, Oakland, CA. Appraiser Trainee - Income property valuation.
September 1985 to February 1986.

CERTIFICATION

I certify to the best of my knowledge and belief, ...

- * the statements of fact contained in this appraisal report are true and correct.
- * the reported appraisal analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, unbiased professional analyses, opinions, and conclusions.
- * I have no present or prospective interest in the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved.
- * my compensation is not contingent on an action or event resulting from the analyses, opinions, or conclusions in, or the use of, this report.
- * the appraisal assignment was not based on a requested minimum valuation or specific valuation or approval of a loan. Employment of the appraiser was not conditioned upon the appraisal producing a specific value or a value within a given range.
- * my analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Practice as set forth in the Uniform Standards of Professional Appraisal Practice (USPAP) as adopted by the Appraisal Standards Board of the Appraisal Foundation.
- * The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- * I have made a personal inspection of the property that is the subject of this report.
- * no one provided significant professional assistance to the person(s) signing this report.
- * The subject property has not been appraised nor has there been any services rendered by the appraiser relative to the subject property within the past three years.


Date: February 2, 2026

David J. Vargas
Certified General Appraiser
California Certificate #AG009137