

PLANNING COMMISSION  
Albert Enault, Chair  
Kristina Elder, Vice Chair  
Herbert Dardon, Member  
Vinay Tewari, Member  
Terrence West, Member



PLANNING COMMISSION MEETING

**A G E N D A**  
**SPECIAL MEETING OF THE SUISUN CITY**  
**PLANNING COMMISSION**  
**THURSDAY, JUNE 29, 2023**  
**6:00 PM**

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**Suisun City Council Chambers - 701 Civic Center Boulevard - Suisun City, California**

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*PLANNING COMMISSION MEETINGS ARE HELD IN-PERSON  
PUBLIC PARTICIPATION IS ALSO AVAILABLE VIA ZOOM*

*ZOOM MEETING INFORMATION:*

*WEBSITE: <https://zoom.us/join>*

*MEETING ID: **874 1745 5335***

*CALL IN PHONE NUMBER: (707) 438-1720*

*REMOTE PUBLIC COMMENT IS AVAILABLE FOR THE PLANNING COMMISSION MEETING BY EMAILING  
CLERK@SUISUN.COM (PRIOR TO 4 PM), VIA WEBSITE OR ZOOM CALL IN PHONE NUMBER: (707) 438-1720.*

*(If attending the meeting via phone press \*9 to raise your hand and \*6 to unmute/mute for public comment.)*

*(Next Resolution No. PC 23-05)*

**ROLL CALL**

Planning Commissioners  
Pledge of Allegiance  
Invocation

**CONFLICT OF INTEREST NOTIFICATION**

*(Any items on this agenda that might be a conflict of interest to any Commissioners should be identified at this time.)*

**REPORTS: (Informational items only.)**

1 City Manager/Staff

## **PUBLIC COMMENTS**

*(Request by citizens to discuss any matter under our jurisdiction other than an item posted on this agenda per California Government Code §54954.3. Comments are limited to no more than 3 minutes unless allowable by the Chair. Speaker cards are available on the table near the entry of the meeting room and should be given to the Clerk. By law, no prolonged discussion or action may be taken on any item raised during the public comment period, although informational answers to questions may be given and matters may be referred for placement on a future agenda.)*

## **CONSENT CALENDAR NONE**

*Consent calendar items requiring little or no discussion may be acted upon with one motion.*

## **PUBLIC HEARING**

- 2 Planning Commission Adoption of Resolution No. PC23-\_\_\_: A Resolution of the Planning Commission of the City of Suisun City Recommending City Council Approval of Site Plan/Architectural Review Permit (SP/AR 22-23-001) and Planned Unit Development Permit (PUD 22-23-001) for a 6,800 Square Foot Building on a Vacant 7,150 Square Foot Parcel Located South of Lotz Way Between Main Street and Harbor Center (APN 0173-390-390) - (Kearns: jkearns@suisun.com).

## **GENERAL BUSINESS NONE**

## **REPORTS: (Informational items only.)**

- 3
  - a. Commission Member
  - b. Commission Chairperson

## **ADJOURNMENT**

### **Public Access To Agenda Documents**

A complete packet of information containing staff reports and exhibits related to each item for the open session of this meeting, and provided to the City Council, are available for public review at least 72 hours prior to a Council /Agency/Authority Meeting at Suisun City Hall 701 Civic Center Blvd., Suisun City. Agenda related writings or documents provided to a majority of the Council/Board/Commissioners less than 72 hours prior to a Council/Agency/Authority meeting related to an agenda item for the open session of this meeting will be made available for public inspection during normal business hours. An agenda packet is also located at the entrance to the Council Chambers during the meeting for public review. The city may charge photocopying charges for requested copies of such documents. To the extent feasible, the agenda packet is available for online public viewing on the City's website: <https://www.suisun.com/Government/City-Council/Agendas>

The City Council/Agency/Authority hopes to conclude its public business by 10:00 p.m. No new items will be taken up after 10:00 p.m., unless so moved by a majority of the City Council, and any items remaining will be agendized for the next meeting. The agendas have been prepared with the hope that all items scheduled will be discussed within the time allowed.

### **Accommodations**

If you require an accommodation to participate in this meeting, please contact the City Clerk at (707) 421-7302 or [clerk@suisun.com](mailto:clerk@suisun.com). The City's reasonable accommodation policy is available for review on the City's website at [www.suisun.com/government/city-council/](http://www.suisun.com/government/city-council/), you may request an electronic copy or have a copy mailed to you. Please note that for accommodations that are not readily available, you must make your request as soon as you can prior to the time of the meeting.

**Decorum**

All participants are expected to conduct themselves with mutual respect. Conduct that disrupts meetings will be addressed in accordance with Section 54957.95 of the Government Code.

**Ordinances**

Ordinances are city laws contained in the Suisun City Municipal Code. Enacting a new city law or changing an existing one is a two-step process. Government Code 36934 provides, except when, after reading the title, further reading is waived by regular motion adopted by majority vote all ordinances shall be read in full either at the time of introduction or passage; provided, however, that a reading of the title or ordinance shall not be required if the title is included on the published agenda and a copy of the full ordinance is made available to the public online and in print at the meeting prior to the introduction or passage.

**Certification Of Posting**

Agendas for regular and special meetings are posted in accordance with the Brown Act at Suisun City Hall, 701 Civic Center Boulevard, Suisun City, CA. Agendas may be posted at other Suisun City locations including:

- Suisun City Fire Station, 621 Pintail Drive, Suisun City, CA;
- Joe Nelson Center, 611 Village Drive, Suisun City, CA;
- Harbor Master Office, 800 Kellogg Street, Suisun City, CA.

I, Bianca Vasquez, Administrative Assistant for the City of Suisun City, declare under penalty of perjury that the above agenda was posted and available for review, in compliance with the Brown Act.



## Planning Commission Agenda Report      Meeting Date June 29, 2023

DATE:	June 29, 2023	Files: SP/AR22-23-001 PUD22-23-001
TO:	PLANNING COMMISSION	
FROM:	JOHN KEARNS, PRINCIPAL PLANNER	
RE:	NARE OFFICE BUILDING (SOUTH OF LOTZ WAY BETWEEN MAIN STREET AND HARBOR CENTER)	

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### SUMMARY

The proposed project is a 6,800 square foot building which is intended to house an approximate 4,563 square foot dental office with the remaining space reserved for future uses. The proposed building would be located adjacent to Lotz Way just outside of the existing One Harbor Center office building. The proposed project requires both a Site Plan/Architectural Review Permit (SP/AR) as well as a Planned Unit Development Permit (PUD).

**Recommendation:** Planning staff recommends adoption of Resolution No. PC23-\_\_\_; A Resolution of the Planning Commission of the City of Suisun City Recommending City Council Approval of Site Plan/Architectural Review Permit (SP/AR 22-23-001) and Planned Unit Development Permit (PUD 22-23-001) for a 6,800 Square Foot Building on a Vacant 7,150 Square Foot Parcel Located South of Lotz Way Between Main Street and Harbor Center (APN 0173-390-390).

**Proposed Motion:** Move that the Planning Commission adopt Resolution No. PC23-\_\_\_; A Resolution of the Planning Commission of the City of Suisun City Recommending City Council Approval of Site Plan/Architectural Review Permit (SP/AR 22-23-001) and Planned Unit Development Permit (PUD 22-23-001) for a 6,800 Square Foot Building on a Vacant 7,150 Square Foot Parcel Located South of Lotz Way Between Main Street and Harbor Center (APN 0173-390-390).

### OWNER/APPLICANT

Dr. Preeti Nare  
807 Main Street  
Suisun City, CA 94585

### BACKGROUND

The site is located on a 7,150 square foot property south of Lotz Way between Main Street and Harbor Center. The property was formerly a part of the Main Street West Development and Disposition Agreement (DDA) and was known as "Parcel 11". The DDA provided exclusive development rights to the master developer (Main Street West Partners). Following a settlement agreement between the Suisun City Successor Agency and Main Street West Partners, this

property was offered through a Request for Proposals (RFP) process in which the applicant's proposal was selected.

The applicant, Dr. Preeti Nare has an existing dental practice on the 800 block of Main Street and has been seeking opportunities to construct a new building within the city which would better meet her growing needs. The project site area is approximately 7,150 square foot and is located on the south- east corner of Main Street and Lotz way. The proposed project would include a 4,563 square foot dental office building as well as future tenant space. The site is improved with asphalt pavement, parking, utilities, and landscape. The project site is surrounded by retail spaces to the west, professional offices to the south, hotels to the east and paved parking lot to the north. The project will have vehicular access from existing driveways at Harbor Center and Main Street and will use existing developed parking spaces through a shared access agreement with the One Harbor Center office building.

The exterior of building will be designed at a main building height of 20 feet and corner tower of 30 feet and it includes a combination of earthtone stucco finish, stacked stone veneer as a column accent, storefront glass and aluminum horizontal canopies.

There will be approximately eight full time employees on-site at any given time and the anticipated daily customers will be approximately 20-30 people.

A required Good Neighbor public meeting was hosted by the applicant on Saturday March 25, 2023. Surrounding property owners were sent notice of the meeting by first class mail. The Good Neighbor meeting notice and agenda, along with information about the project, were also posted on the Suisun City website.

Planning Commission meeting notices to affected property owners were sent by First Class mail on June 16, 2023, and the public hearing notice was published in the Daily Republic on June 19, 2023. As of the date of this staff report, no additional inquiries regarding this item had been received by City Staff.

## **DISCUSSION/ANALYSIS**

The project is located within the Waterfront District Specific Plan (designated as Downtown Waterfront) within the General Plan). Further, the site is zoned as Commercial/Office/Residential (C/O/R) within the Waterfront District Specific Plan. According to the Chapter 3 (Page 3-9) of the Waterfront District Specific Plan:

*The C/O/R zone is envisioned to be developed with a mix of uses, including business/professional offices, retail commercial, dining, and entertainment uses. Offices and a hotel have already been established in this zone... Because of the unique character of the site and its strategic location, any proposed uses and development for all or any portion of the site must be approved through the Planned Unit Development process, as described in Chapter 7 of this Specific Plan.*

**General Plan Consistency**

The General Plan designates the Project site as Downtown Waterfront District Specific Plan (DWSP) and the General Plan defers to that document for development standards.

The overall vision of the General Plan includes residential, employment and recreational uses. The Economic Development Element of the 2035 General Plan consistently reinforces establishment of new businesses and making the Waterfront District a destination. Further, Goal ED-5 “Promote revitalization and redevelopment of the Downtown Waterfront Area and other areas with infill development potential” are strengthened by policy language that focuses on job creation and encouraging development within close proximity to the train depot. Further, Exhibit 5-8 identifies the subject site as an “Economic Development Area.” Focused development in these areas is intended to ensure generation of the greatest long-term economic benefit for the community. The Land Use Element also refers to the subject site (part of the “Northwest Downtown”) as an “Opportunity Area” with the goal of promoting development in these areas.

Based on the analysis above, it has been determined that the proposed project is consistent with both the applicable policies of the Suisun City 2035 General Plan in that the project brings a commercial project to a key economic development area which brings jobs and an opportunity for future economic growth.

**Zoning Code/Specific Plan Consistency**

Title 18 “Zoning” of the Suisun City Code identifies the site as “Waterfront District Specific Plan” and thus subject to that plan. The WDSP establishes the land use designations and the development standards for this district of the City and the proposed Project site. Figure 3-1: Land Use Map of the WDSP identifies the land use designation for the Project site as Commercial/Office/Residential (C/O/R). This zone requires all development application to go through a Planned Unit Development application process due to the unique character and strategic location of the sites. Additionally, Chapter 6 “Commercial Development Standards + Design Guidelines” provide direction relative to expected commercial development. Further, Section 6.3.5.A offers specific guidance on development in the C/O/R District.

Chapter 2, Existing Uses + Regulating Plans of the WDSP identifies expectations for development. With regard to commercial development, a sampling of the guidance provided by the WDSP includes:

## Section 2.2.1.6 “Sustainability”

- Use sustainable development and land use practices that provide for today’s residents and businesses while preserving choices for the community in the future.

Below is a table (Table 1) which compares the proposed project to the standards of the Waterfront District Specific Plan.

**Table 1: Development Standards**

<b>Subject</b>	<b>Permitted/Required</b>	<b>Proposed</b>
<i>Zone</i>	Commercial/Office/ Residential	Commercial/Office/ Residential
<i>Floor Area Ratio</i>	0.3 to 2.0	0.95
<i>Height</i>	50ft Max	30'0"
<i>Parking</i>	There are 31 spaces (25 onsite directly adjacent spaces and 6 on-street spaces along Lotz Way. Further the existing parking lot has approximately 175 spaces.	29 Spaces

Based on the analysis above, it has been determined that the proposed project is consistent with both the development standards and overall intent of the Zoning Code and Waterfront District Specific Plan in that applicable development standards are being met with the proposed project.

#### **Planned Unit Development/Precise Development Plan/and Site Plan/Architectural Review**

All new construction within the WDSP must adhere to the Specific Plan's Design Guidelines to ensure that development is attractive and integrates into the surrounding environment. The PUD package is the collection of plans and exhibits that demonstrate how the proposed Project meets the expectations of the WDSP. This plan set is comprised of a series of exhibits that define the character of the proposed project, including architecture, site improvements and landscaping. The PUD and Site Plan/Architectural Review exhibits are included as Attachment 1 Exhibit B of Resolution PC23-\_\_\_. Specific exhibits include:

Site Plan. This exhibit depicts the proposed overall project layout as well as project data.

Floor Plans. This exhibit shows the proposed layout of the new building including the dental office and future tenant space.

Architectural Renderings (including Perspective). These plans provide for color representations of the exterior treatments from each side. Further there is a perspective rendering provide from the northwest view.

Planting Plan. These plans provide proposed choices of plant materials for the project.

Based upon the analysis of the materials provided for the proposed project, a review of the goals and intent of the WDSP and the analysis provided herein, the project is consistent with the purpose and intent of the WDSP and the City's PUD and Development standards and requirements.

### **ENVIRONMENTAL REVIEW**

The proposed project is found to be categorically exempt from the California Environmental Quality Act (CEQA), per Section 15332, Infill Development Projects, of the California Code of Regulations. The project is substantially surrounded by urban uses; is less than five acres in size; has no value for endangered, rare or threatened species; and is served by adequate utilities and services.

### **ALTERNATIVES**

The Planning Commission has the following options available:

- Recommend approval of the project as submitted;
- Recommend denial of the project as submitted; or
- Continue the item for further discussion.

Regardless of the option which the commission takes, it must be supported by appropriate findings.

### **ATTACHMENTS**

1. PC23-\_\_\_: A Resolution of the Planning Commission of the City of Suisun City Recommending City Council Approval of Site Plan/Architectural Review Permit (SP/AR 22-23-001) and Planned Unit Development Permit (PUD 22-23-001) for a 6,800 Square Foot Building on a Vacant 7,150 Square Foot Parcel Located South of Lotz Way Between Main Street and Harbor Center (APN 0173-390-390).
  - Attachment 1. Project Description
  - Attachment 2. Project Plans
  - Attachment 3. Conditions of Approval



**RESOLUTION NO. PC 23-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUISUN CITY RECOMMENDING CITY COUNCIL APPROVAL OF SITE PLAN/ARCHITECTURAL REVIEW PERMIT (SP/AR 22-23-001) AND PLANNED UNIT DEVELOPMENT PERMIT (PUD 22-23-001) FOR A 6,800 SQUARE FOOT BUILDING ON A VACANT 7,150 SQUARE FOOT PARCEL LOCATED SOUTH OF LOTZ WAY BETWEEN MAIN STREET AND HARBOR CENTER (APN 0173-390-390).**

**WHEREAS**, Dr. Preet Nare (hereinafter referred to as Applicant) filed an application with the City of Suisun City for a Planned Unit Development Permit and Site Plan/Architectural Review for a 6,800 square foot building (hereinafter referred to as Project) located along the south side of Lotz Way between Main Street and Harbor Center (Assessor's Parcel Numbers: 0032-061-390) and

**WHEREAS**, the applicant has met all applicable requirements under State law and City ordinances related to this development plan; and

**WHEREAS**, the Planning Commission is required to review and make a recommendation to the City Council for final action on this Project; and

**WHEREAS**, the Planning Commission of the City of Suisun City did conduct on June 29, 2023 a properly noticed public hearing pursuant to Government Code Section 65090 and has considered all written and verbal testimony presented during the hearing.

**NOW, THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CITY OF SUISUN CITY** does hereby make the following findings and recommendations.

- A. The Planning Commission recommends that, based on the following findings, the City Council determine that the Project has been adequately analyzed under the provisions of the California Environmental Quality Act (CEQA) and that no further review of the Project under CEQA is required or appropriate.

Finding. The proposed project is found to be categorically exempt from the California Environmental Quality Act (CEQA), per Section 15332, Infill Development Projects, of the California Code of Regulations. The project is substantially surrounded by urban uses; is less than five acres in size; has no value for endangered, rare or threatened species; and is served by adequate utilities and services.

- B. The Planning Commission recommends that, based on the following findings, the City Council approve the proposed office building with future tenant space including Planned Unit Development Permit and Site Plan/Architectural Review as depicted on plans and exhibits provided as Exhibits A and B of this Resolution and subject to Conditions of Approval provided as Exhibit C of this Resolution.

Findings:

- 1) Pursuant to Government Code section 65454, the proposed Project is consistent with the goals, objectives, general land uses, programs and policies of the General Plan and Waterfront District Specific Plan. The Project will provide infill development, at an allowable intensity, that will support the Waterfront District.

- 2) The proposed Project would not be detrimental to the public interest, health, safety, convenience, or welfare of the City, as it has been reviewed by all applicable departments and agencies and has been conditioned to comply with all Federal, State, and local standards.
- 3) The proposed Project is consistent with City standards and has been designed to integrate into the surrounding community's historic architecture. The project will provide sufficient parking, infrastructure, landscaping to serve future users of the property.

The forgoing motion was made by Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_ and carried by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

**WITNESS** my hand and the seal of said City this 29<sup>th</sup> day of June 2023.

\_\_\_\_\_  
Bianca Vasquez, Commission Secretary

Exhibit A: Project Description, Submitted by ETJ Architect

Exhibit B: Planned Unit Development and Site Plan/Architectural Review Exhibits

Site Plan  
Floor Plans  
Exterior Elevations  
Northwest Rendering  
Stormdrain Plan  
Planting Plan

Exhibit C: Proposed Conditions of Approval

### Project Description:

The project site area is approximately 7,150 square foot and is located on south-east corner of Main Street and Lotz way. Site is improved with asphalt pavement, parking, utilities and landscape. The project site is surrounded by retail spaces to the west, professional offices to the south, hotels to the east and paved parking lot to the north.

Project will have vehicular access from existing driveways at Harbor Center and Main Street. Project will use existing developed parking spaces through shared access agreement with main office building.

This project is a request to construct a 6,800 square foot single story building. 4,563 square foot will be used as dental office and will be constructed in phase 1 and the remaining 2,237 square foot will be developed in the future.

The exterior of building will be designed at a main building height of 20 feet and corner tower of 30 feet and it includes a combination of earthtone stucco finish, stacked stone veneer as a column accent, storefront glass and aluminum horizontal canopies.

Facility will anticipate operating six (6) days a week and hours of operation will be 8 A.M. to 8 P.M. from Monday to Saturday

There will be approximately 8 full time employees

Anticipated daily customers will be approximately 20-30 people

Lighting- Parking lights are existing, there will be new lights at building mounted at +7'-0" to illuminate new walkways and new (2) pole mounted decorative lights along Lotz Way.

## Parcel 11, Suisun City, California

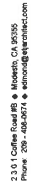


OWNER / CONTACT PERSON

## SCOPE OF WORK

PARKING SPACES ARE EXISTING, SHARED WITH EXISTING OFFICE BUILDING

SHEET INDEX

[illegible]

2301 Coffee Road #B • Modesto, CA 95355  
Phone: 209-531-5410 • Lic.#: 987761

DR. PREETI NARE'S  
DENTAL OFFICE

DR. PREETI NARE  
807 MAIN STREET  
SUISUN CITY, CA. 94585

DATE	SEPTEMBER 12, 2022
DRAWN	
FILE	
PROJECT NO.	
PERMIT NO.	
REVISIONS	BY

## BUILDING DATA

SHEET NO.

T-1



2351 Colma Road #8 • Modesto, CA 95355  
Phone: 209-538-0274 • [edmond@edjacobs.com](mailto:edmond@edjacobs.com)

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SUJUN, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS, BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

CONTRACTOR: CIVEIRA BUILDERS

2351 Colma Road #8 • Modesto, CA 95355  
Phone: 209-538-0274 • [edmond@edjacobs.com](mailto:edmond@edjacobs.com)

PROJECT ADDRESS: NEW BUILDING

DR. PREETI NARE'S  
DENTAL OFFICE

PARCEL 11  
SUJUN CITY, CA 94585

CLIENT:

DR. PREETI NARE  
DENTAL OFFICE  
SUJUN CITY, CA 94585

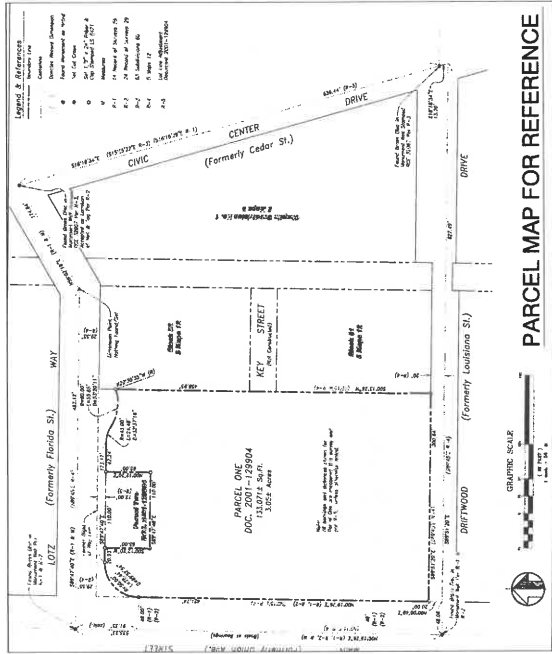
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DESCRIPTION:

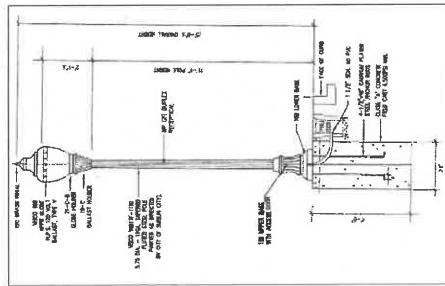
SITE PLAN

SHEET NO.

SP-1

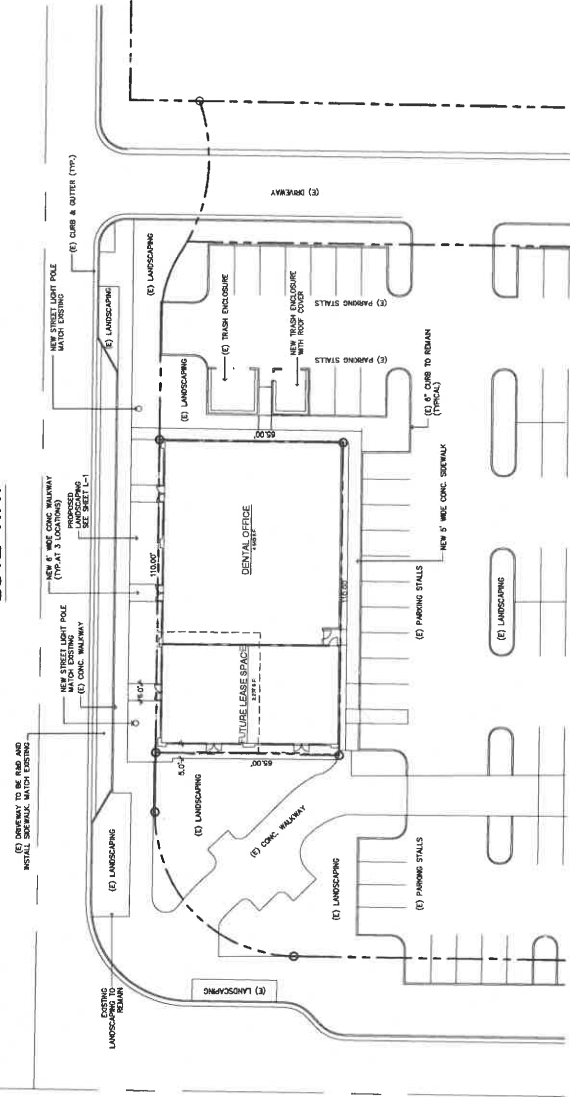


PARCEL MAP FOR REFERENCE



STREET LIGHT TYPE  
N.T.S. (FOR REFERENCE ONLY)

LOTZ WAY



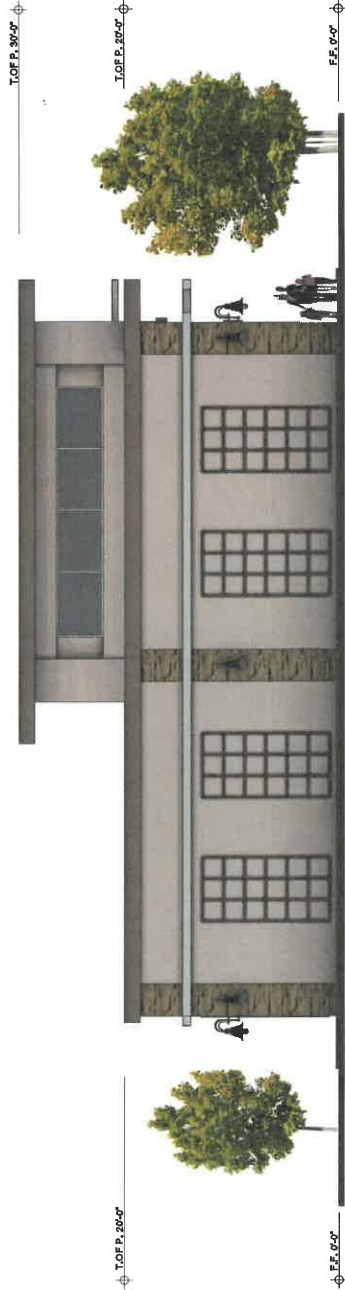
MAIN STREET



SITE PLAN  
SCALE: 1" = 20'



DATE	SEPTEMBER 12, 2022
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PROJECT NO.	
PERMIT NO.	
REVISIONS	
BY	



**EAST ELEVATION**  
SCALE: 1/8" = 1'



**WEST ELEVATION**  
SCALE: 1/8" = 1'



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EDWARD T. ACORN ARCHITECT  
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CONTRACTOR:

**CVIEIRA BUILDERS**

2301 Coffee Road NE • Modesto, CA 95355  
Phone: 209-631-5410 • Lic. N. 987761

PROJECT ADDRESS:

NEW BUILDING

**DR. PREETI NARE'S  
DENTAL OFFICE**

PARCEL 11  
SUISUN CITY, CA 94585

---

CLIENT

DR. PREETI NARE  
807 MAIN STREET  
SUISUN CITY, CA, 94585

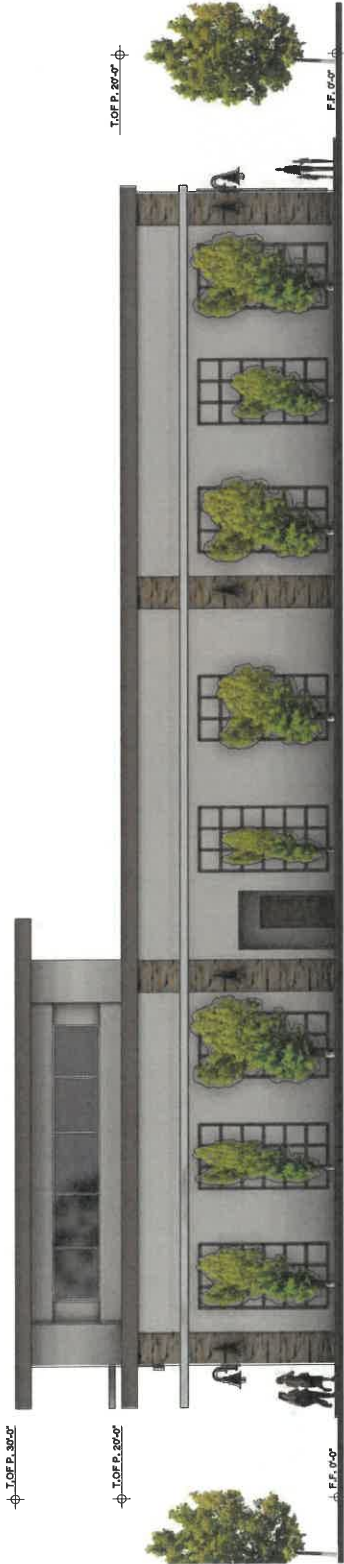
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DESCRIPTION
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## ELEVATIONS

SHEET NO.

## A-2.1

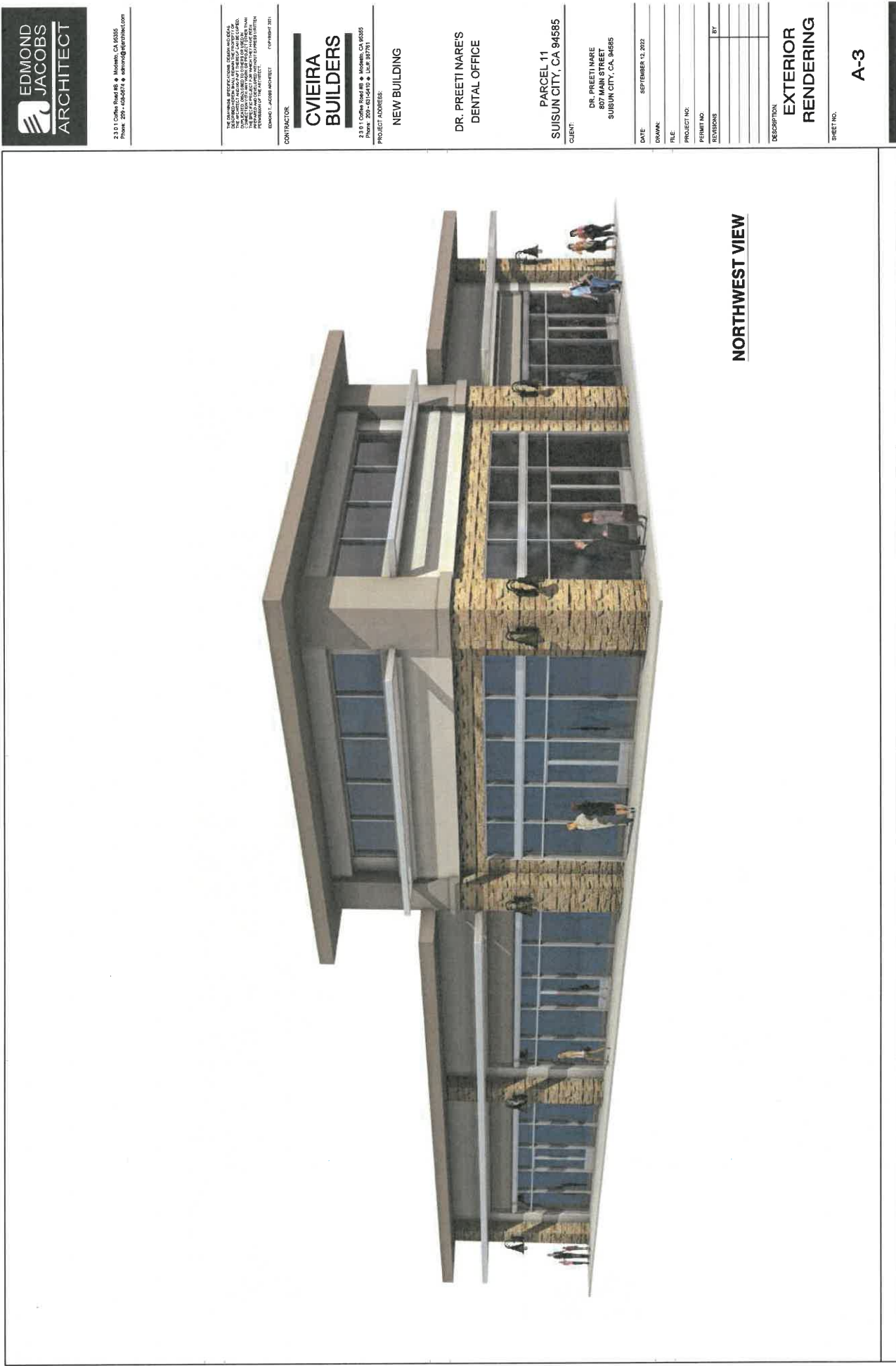


**SOUTH ELEVATION**



**NORTH ELEVATION**





**NORTHWEST VIEW**



EDMOND  
JACOBS  
ARCHITECT

2311 Coffee Road #B • Modesto, CA 95335  
Phone: 209 • 454-8974 • edmond@edjacobs.com

FOR COUNTRIES, REPRESENTATION, DESIGN, AND OTHER  
SERVICES, THE ARCHITECT SHALL BE RESPONSIBLE FOR  
OBTAINING ALL NECESSARY PERMITS AND APPROVALS  
FROM THE APPROPRIATE AGENCIES AND FOR THE  
COMPLETION OF ALL REQUIRED DOCUMENTATION.  
THE ARCHITECT SHALL BE RESPONSIBLE FOR THE  
PROVISION OF ALL NECESSARY SERVICES AND  
FOR THE PROTECTION OF THE CLIENT'S INTERESTS.  
EDMOND J. JACOBS ARCHITECT      COPYRIGHT 2012

CONTRACTOR  
**CVIEIRA  
BUILDERS**  
2311 Coffee Road #B • Modesto, CA 95335  
Phone: 209 • 451-5410 • luc@cvieira.com  
PROJECT ADDRESS:  
NEW BUILDING

DR. PREETI NARE'S  
DENTAL OFFICE

PARCEL 11  
SUISUN CITY, CA 94585

CLIENT:  
DR. PREETI NARE  
807 MAIN STREET  
SUISUN CITY, CA 94585

DATE	SEPTEMBER 12, 2012
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PROJECT NO.	
FORM NO.	
REVISIONS	
BY	
DESCRIPTION	
SHEET NO.	

**A-3**

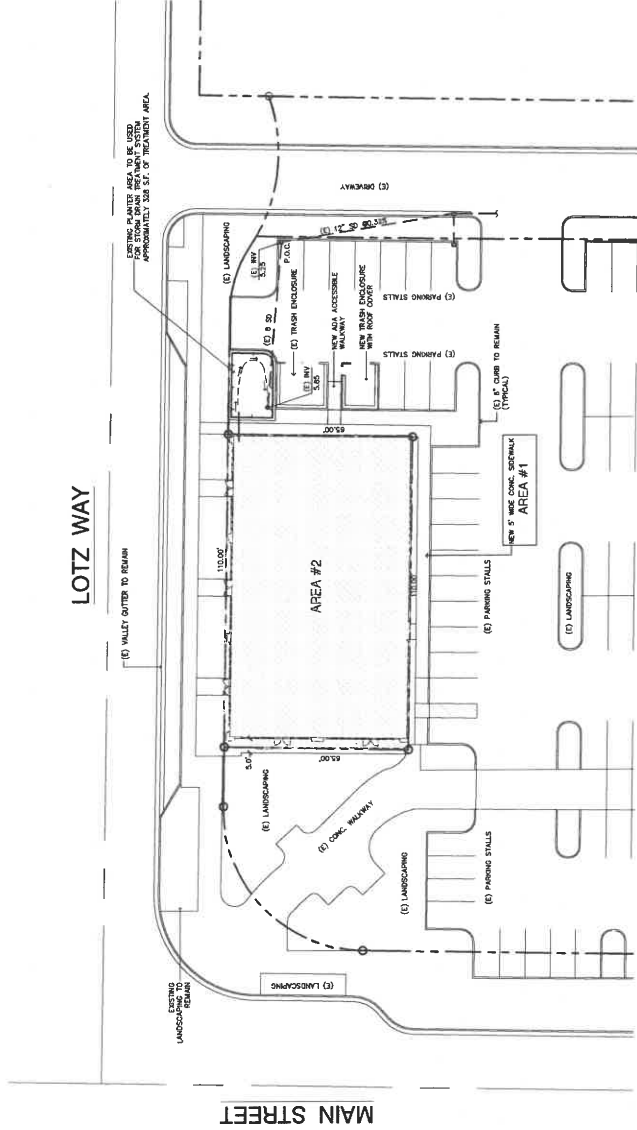
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REVISIONS	
BY	

# STORM DRAIN TREATMENT BASIN

## SIZE CALC:

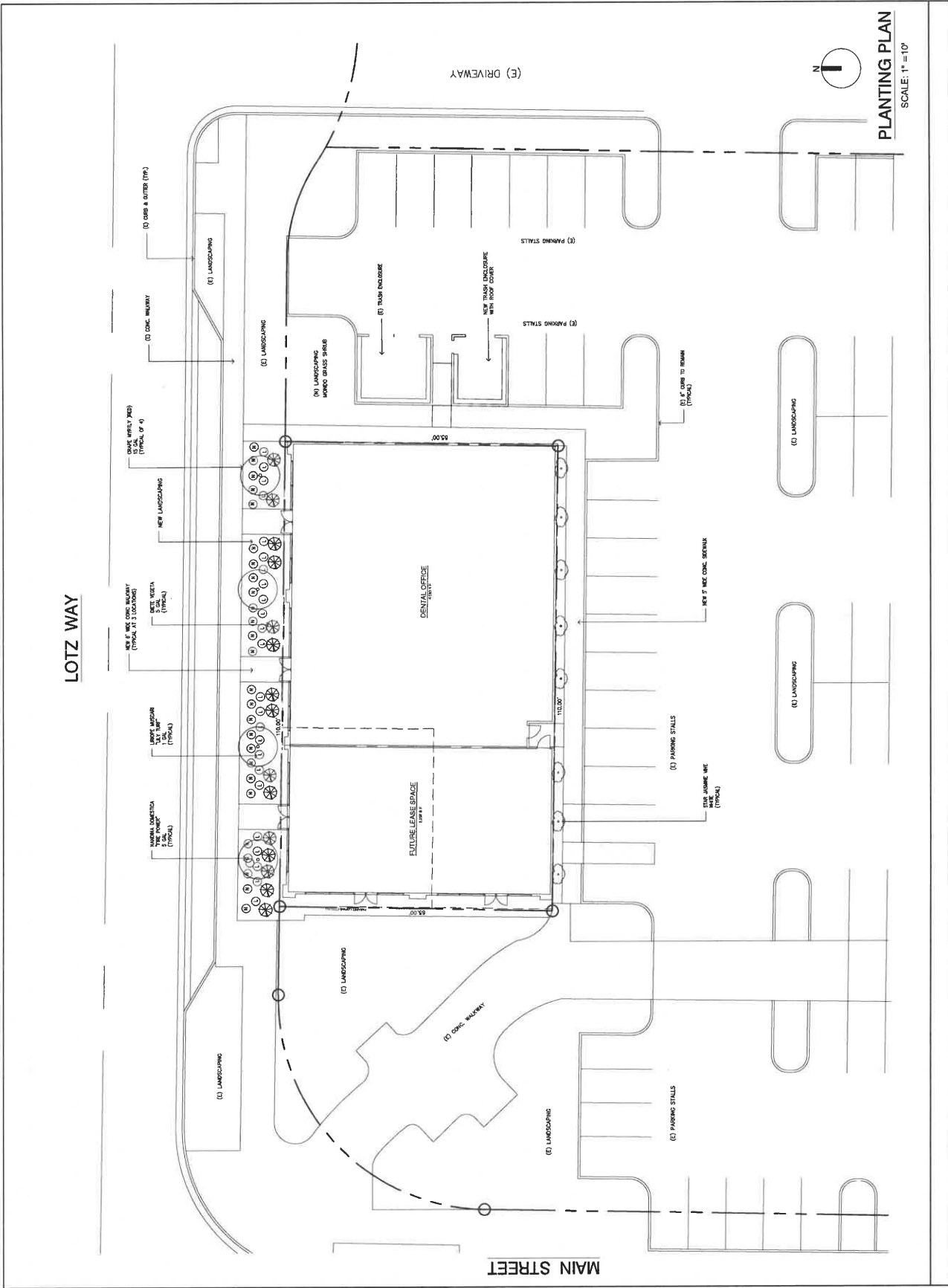
AREA #1 NEW SIDEWALK  
= 1,000 S.F.  
AREA #2 BUILDING SITE  
= 7,150 S.F.  
8,150 S.F.

REQUIRED BASIN AREA IS 4% OF CONTRIBUTED AREA  
4% x 8,150 S.F. = 326 S.F.  
PROVIDED 526 S.F. STORM DRAIN TREATMENT BASIN



# STORM DRAIN

SCALE: 1" = 20'



**Nare Office**  
**Conditions of Approval**

**GENERAL**

- G-1 The applicant or applicants successor in interest shall indemnify, defend and hold harmless the City of Suisun City it's agents, officers, and employees from any and all claims, actions or proceedings against the City of Suisun City, its agents, officers, and employees to attach, set aside, void or annul, any approval by the City of Suisun City and its advisory agency, appeal board, or legislative body concerning this application which action is brought within applicable statutes of limitations. The City of Suisun City shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the City fails to do so, the applicant or applicant's successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans, or other documents pertaining to this application.
- G-2 The use shall be constructed in accordance with the information presented (except as otherwise identified in the Conditions of Approval) and shall conform to all requirements of the City of Suisun City Code including but not limited to the Uniform Building Code as adopted by the City of Suisun City.
- G-3 Approval of this permit will be effective, provided no appeals are received within 10 calendar days of the Planning Commission meeting date of \_\_\_\_\_ and that the property owner and the applicant signatures are obtained affirming that they have read and understand the Conditions of Approval for the Site Plan/Architectural Review Permit No. SP/AR 22-23-001, and Planned Unit Development Permit No. PUD 22-23-001; and agree to comply with the conditions.
- G-4 The applicant shall comply with all applicable Federal, State, and local codes including, but not limited to, the Uniform Building Code, Fire Code and County Health Department guidelines as interpreted by the County Health Inspectors.
- G-5 All the proposed improvements, including landscape installation shall be completed prior to issuance of any business license or Certificate of Occupancy.
- G-6 New development shall pay development impact fees set forth in Resolution 2017-02.

**PLANNING**

- P-1 A sign permit is to be submitted to and approved by the Development Services Department prior to installation of any signage on the property.
- P-2 The applicant is to provide a final landscape plan for the review and approval of the Development Services Director (or his/her designee).
- P-3 Transformers, telephone switching boxes, utility poles, fire valves, trash enclosures, service areas as well as other utility or service functions shall be screened with landscape. The emphasis shall be on reducing or eliminating negative visual impacts on major public areas, high priority buildings, prominent architecture elements, and along primary roadways.
- P-4 The final color scheme and materials are to be approved by Development Services Director (or his/her designee).

- P-5 Final architectural plans, responding to any comments raised at the \_\_\_\_\_ Planning Commission meeting, need to be submitted and approved by the Development Services Director (or his/her designee).
- P-6 A final photometric/lighting plan shall be submitted and approved by the Development Services Director (or his/her designee) prior to building permit issuance.
- P-7 All exterior lighting shall be downcast.
- P-8 A minimum of ten percent of the total off-street parking area shall be landscaped. Landscaping shall consist of a minimum of irrigation systems, groundcover (mulch or decomposed granite), and a tree program with the approval of the development services director. Trees shall be a minimum of 15-gallon size tree. The development services director and the chief of police, in considering the landscape plans, shall review for safety and security of pedestrian movement within the parking lot. The area shall be computed by adding the areas used for access drives, aisles, stalls, maneuvering, and landscaping within that portion of the premises that is devoted to vehicular parking and circulation. feet, may be provided with an average separation of five continuous parking stalls.
- P-9 Construction of the project and use of the property shall be in substantial conformance with the approved plans including the project description. Any deviation will need to be submitted to the Development Services Director to determine whether further Planning Commission consideration is necessary.

## **PUBLIC WORKS**

- PW-1 All work performed shall conform to these conditions as well as to all City ordinances, rules, standard specifications and details, design standards, and any special requirements imposed by the City Engineer. The Public Works Department will provide inspection to ensure conformance. Any deviation from the aforementioned documents shall require review and written approval by the City Engineer. Deviations or exceptions to the design requirements in the listed documents for private improvements must be identified in the design guidelines, or submitted to the City Engineer for approval.
- PW-2 The Applicant shall agree, with respect to the new public improvements on this project, to either establish a community facilities district (CFD) or annex such property to an existing community facilities district, as deemed appropriate by the Applicant and the City, for the purpose of financing the cost of providing the following public services to the project property(ies): maintenance of public street lighting, sanitary sewer, storm drains and public infrastructure. The rate and method of apportionment of special tax applicable to the property shall establish a special tax designed to offset public services per City Council Resolution 2005-70. The City shall not be obligated to issue certificates of occupancy with respect to the property until formation of the new community facilities district or annexation to an existing community facilities district is completed.
- PW-3 The City Engineer may approve and/or negotiate minor changes or exceptions to Public Works Department conditions of approval.
- PW-4 The Applicant shall designate a design professional as the main point of contact in submitting plans, reports and other documents to the City during the design and plan review phase. Submittals from any other person will not be accepted by the City.
- PW-5 The Improvement Plans shall include a General Note that: any revisions to the approved Improvement Plans and/or City Standards, including those due to field conditions, shall

require review and written approval by the City Engineer. The Applicant shall have the revised plans prepared by the Project Professional Designer and shall have the revised plans submitted for review and approval by the City Engineer. Any revisions to the Improvement Plans resulting from these or other conditions contained herein shall be subject to written approval of the City Engineer.

- PW-6 The Improvement Plans shall include a Site Improvement Plan prepared by a registered Civil Engineer and shall comply with the requirements of the soils report for the project.
- PW-7 Building foundations shall comply with Suisun City's Ordinance No. 729 and the most current Building Code.
- PW-8 The Applicant shall pay all Public Works fees, including plan review and inspection fees, as established by the City Public Works Fee Schedule at the time of submittal of Improvement Plans.
- PW-9 The Applicant shall pay Suisun-Solano Water Authority (SSWA) plan check and inspection fees within 30 calendar days upon receipt of invoice from the Solano Irrigation District (SID). The invoice will be for actual expenses incurred by SSWA for providing plan checking and inspection services for the project.
- PW-10 Developer shall submit his Faithful Performance Bond and Labor & Materials Bond prior to the approval of Improvement Plans. Developer shall submit his One-Year Warranty Bond prior to the City's acceptance of the improvements. The amounts of the Faithful Performance Bond and Labor & Materials Bond shall each be 100% the cost estimate of the civil and landscape improvements, while the amount of the One-Year Warranty Bond shall be 20% of the cost estimate of the civil and landscape improvements.
- PW-11 The Applicant shall obtain all necessary permits from all applicable agencies prior to start of construction.
- PW-12 Dumpsters for use during construction shall be dumpsters supplied by Republic Services. This is pursuant to the agreement between the City and Republic Services for all areas within Suisun City. Dumpsters shall be screened from public view by a City-approved method and shall be covered at all times after work hours.
- PW-13 All work within the public right-of-way, which is to be performed by the Applicant, the general contractor, and all subcontractors shall be included within a single City Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- PW-14 The Applicant shall have a superintendent present at all times at the job site. Superintendent shall provide the quality control for the Applicant; respond to the City's concerns; coordinate inspections with the City Inspector; make construction decisions on behalf of the Applicant; and coordinate work of the Applicant's subcontractors.
- PW-15 A sign shall be posted on the property in a manner consistent with the public hearing sign requirements, which shall identify the address and phone number of the Applicant and/or Applicant's representative for the purposes of responding to questions and complaints during the construction period. Said sign shall also indicate the hours of permissible construction work.
- PW-16 Prior to start of construction, a security fence, the height of which shall be the maximum permitted by the Zoning Ordinance, shall be installed and maintained around the

- perimeter of the lot. The lot shall be kept clear of all trash, weeds, and unusable construction material throughout the construction activity.
- PW-17 Unless otherwise approved by the City Engineer, all existing sidewalks shall be kept clear and passable during all phases of the project.
- PW-18 Any existing wells shall be abandoned per County of Solano Health Department standards prior to development of the property. Owner shall submit documentation to the Public Works Director that this condition has been satisfied prior to any construction on this project.
- PW-19 If any archaeological resources are found during the grading of the site or during performance of any work, work shall be halted, the City Engineer shall be notified and a certified archaeological firm shall be consulted for advice at Applicant's expense.
- PW-20 Any relocation or modification of any existing facilities necessary to accommodate subject project shall be at the Applicant's expense. It shall be the responsibility of the Applicant to coordinate all necessary utility relocations with the appropriate utility company.
- PW-21 Any existing frontage, or street, improvements, which in the opinion of the City Engineer, are currently damaged or become damaged as a part of the work shall be removed and replaced as required to the current City Standards, or as directed. Prior to start of construction, Developer shall perform a walk-through with the Public Works Department staff and take date-stamped photos of existing conditions.
- PW-22 Visual obstructions over three feet in height will not be allowed within the driver's sight triangle near driveways and corners in order to allow an unobstructed view of oncoming traffic. Improvements at driveways and corners are subject to the review and approval of the City Engineer.
- PW-23 The project shall comply with the requirements of the most current Municipal Regional Permit (MRP) issued to the Fairfield-Suisun Urban Runoff Management Program and to the City's Stormwater C.3 Guidebook. This includes, but is not limited to, construction and post-construction Best Management Practices (BMPS); obtaining all necessary permits for storm water discharges; entering into a Stormwater Treatment Measures Maintenance Agreement (attached); preparing a long-term maintenance plan for the Applicant's maintenance of the post-construction stormwater facilities; and contracting with a Qualified SWPPP Practitioner (QSP) to inspect and to ensure the implementation of all elements of the Storm Water Pollution Prevention Plan (SWPPP), including non-stormwater and stormwater visual observations, sampling, and analysis and preparation of Rain Event Action Plans (REAP).
- As part of the improvement plans, the ponding depths, pipe sizing, time of release, and storage for the bioretention facilities shall be calculated. The project shall not introduce any ponding nuisance and shall eliminate the possibility of flooding in the bioretention facilities.
- The bioretention facility shall be delineated with a concrete band around the perimeter of the facility. The concrete band shall be per City of Suisun City standard detail LS-13. Also, "keep out" signage shall be installed in the bioretention facility.
- PW-24 The project shall construct a trash enclosure in compliance with Detail SW-3 of the City's Stormwater C.3 Guidebook. Additionally, for trash enclosures that will be utilized by a food service facility, the drain shall be connected to a properly sized grease removal device and/or treatment devices prior to discharging to the sanitary sewer. An

- alternative would be to upgrade the existing trash enclosure located by the project site, in compliance with the above-mentioned requirements.
- PW-25 The project shall install full capture trash devices within proposed on-site drain inlets. These full trash capture trash devices shall be monitored and maintained by the Applicant or Property Owner.
  - PW-26 All on-site drain inlets and catch basins along the project frontage shall be marked with “No Dumping – Flows to Bay” or equivalent information.
  - PW-27 The landscaping and irrigation shall comply with the City’s water efficient landscaping ordinance. The irrigation plans shall include Model Water Efficient Landscape Ordinance (MWELO) calculations
  - PW-28 Trees shall not be planted within bioretention areas.
  - PW-29 The maximum allowable slope in landscape areas shall be 3:1, or as approved by City Engineer. Slopes steeper than the allowable slope would require the installation of retaining wall.
  - PW-30 Dust control shall be in conformance with City Standards and Ordinances. Vehicles hauling dirt or other construction debris from the site shall cover any open load with a tarpaulin or other secure covering to minimize dust emissions.
  - PW-31 Street sweeping shall be regularly performed such that no evidence of tracking dirt shall be present on the public street.
  - PW-32 All relocated facilities shall meet state and local separation standards. Separation between proposed water and sanitary sewer pipes shall meet the latest Suisun-Solano Water Authority (SSWA) Design Standards, Standard Specifications, and Standard Drawings.
  - PW-33 Direct tapping of City or SSWA water mains is not permitted. Applicant shall install the required fittings in the existing or new main lines to accommodate the proposed water system. No existing water mains shall be shut down without specific permission of the City Engineer and the Solano Irrigation District.
  - PW-34 No structures such as trees, buildings, and concrete foundations shall be installed within utility easements. Civil and landscape plan sheets shall show the utility easements and all other easements.
  - PW-35 Project improvements shall be in compliance with ADA requirements.
  - PW-36 The project shall provide sidewalk around the south, east and west perimeters of the proposed building. Also, on the north perimeter, there shall be a concrete path from the public sidewalk along Lotz Way to the proposed building doors. Moreover, the sidewalks and paths shall be properly illuminated.
  - PW-37 The project shall replace the existing driveway approach along the Lotz Way frontage with a sidewalk segment matching the surrounding existing sidewalk in dimension, structural section, and color.
  - PW-38 The project shall remove the existing bollards along the Lotz Way frontage.
  - PW-39 The project shall install at least two LED decorative acorn-type streetlights at back of sidewalk along the Lotz Way frontage.
  - PW-40 A reciprocal parking and access agreement with the Wiseman Company for site access and parking shall be required prior to occupancy.
  - PW-41 All on-site storm drain pipelines and facilities shall be private and maintained by the Property Owner. The civil plans shall properly mark these onsite facilities as private.



- PW-42 All on-site sanitary sewer pipelines and facilities shall be private and maintained by the Property Owner. The civil plans shall properly mark these onsite facilities as private.
- PW-43 Maintenance of on-site lighting, landscaping, paving, utilities and other on-site improvements shall be the responsibility of the Property Owner.
- PW-44 Prior to the issuance of Certificate of Occupancy, the Applicant shall submit to the Public Works Department “as-built” Improvement Plans in PDF format.

### **FIRE**

- FIRE-1 Installation of onsite fire hydrant may be required based on fire sprinkler system installation and fire department connection (FDC) location. Locations subject to Fire Department approval.

### **FAIRFIELD-SUISUN SEWER DISTRICT**

- FSSD-1 All FSSD fees applicable to the proposed project are required to be paid upon issuance of a building permit, including but not limited to capacity fees, plan check fees, encroachment, and inspection.
- FSSD-2 Proposed dental office shall complete and submit a “One-Time Compliance Report for Dental Dischargers” to comply with 40 CFR 441.50, submit completed form to FSSD, and retain a copy on file for its records.

### **SOLANO IRRIGATION DISTRICT**

- SID-1 The proposed development will require connections onto the existing domestic water stubs per the latest SSWA Design Standards and Specification and Details.
- SID-2 Improvement plans must show all existing facilities located within the project site, along with all proposed modifications that will be required to serve the property.
- SID-3 Any waterlines or public water facilities not installed within a public right-of-way will require an easement granted to SSWA for the operations and maintenance of the public facilities.
- SID-4 Per the SSWA Cross-Connection Control Resolution No. 99-01, all types of commercial buildings and landscape irrigation services are required to include an approved backflow prevention assembly, at the developer’s expense. The desired location, service size and flow-rate for the backflow prevention assembly must be submitted for approval.
- SID-5 The developer is required to provide and install freeze protection for all RPBFP’s and DCDC’s at the developer’s expense
- SID-6 At the time the Building Permit is issued, the developer will be required to pay the appropriate SSWA Connection Fee and Meter Installation Fee at the City of Suisun City. These fees are determined by the size of meter requested. All domestic water services will be metered.
- SID-7 We require that the District (on behalf of SSWA) review, approve and sign all Final and/or Parcel Maps, and that SSWA review, approve and sign the Improvement Plans of this development.
- SID-8 The SSWA Plan Review Fee applies and is due upon submittal of the maps and plans for review.

SID-9 SSWA's General Notes must be included in the Improvement Plans and all proposed water system appurtenances and waterlines shall be constructed per the latest SSWA Design Standards and Specification and Details.

SID-10 Electronic AutoCAD files and .pdf files are required upon the completion of the project showing "as-builts" for electronic archiving.