

AGENDA
SPECIAL MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., NOVEMBER 15, 2016

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC16-08

1. ROLL CALL:

Chairperson Pal
Vice-Chair Osborne
Commissioner Clemente
Commissioner Holzwarth
Commissioner Ramos
Commissioner Smith
Commissioner Thomas

Pledge of Allegiance
Invocation

2. ANNOUNCEMENTS:

None

3. MINUTES:

Approval of Planning Commission minutes of September 27, 2016.

4. AUDIENCE COMMUNICATIONS:

This is a time for public comments for items that are not listed on this agenda. Comments should be brief. If you have an item that will require extended discussion, please request the item be scheduled on a future agenda.

CONFLICT OF INTEREST NOTIFICATION

(Any items on this agenda that might be a conflict of interest to any Commissioner should be identified at this time.)

5. PUBLIC HEARINGS:

For each of the following items, the public will be given an opportunity to speak. After a Staff Report, the Chair will open the Public Hearing. At that time, the applicant will be allowed to make a presentation. Members of the public will then be allowed to speak. After all have spoken, the applicant is allowed to respond to issues raised by the public, after which the Public Hearing is normally closed. Comments should be brief and to the point. The Chair reserves the right to limit repetitious or non-related comments. The public is reminded that all decisions of the Planning Commission are appealable to the City Council by filing a written Notice of Appeal with the City Clerk within ten (10) calendar days.

- A. Request for Exterior Improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue (APN 173-010-450).**
 - **Adoption of Resolution No. PC16-___ - Resolution PC16- ___; A Resolution of the City of Suisun City Planning Commission Approving Site Plan/Architectural Review Application No. AR16-7-002 for Exterior Improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue (0173-010-750)**

- B. A Request for an Establishment of a Child Daycare Center at 1241 Anderson Drive.**

- **Adoption of Resolution No. PC16-___ - A Resolution of the Planning Commission of the City of Suisun City Approving Conditional Use Permit No. UP15-6-007 and Architectural Review No. AR15-6-005 for Establishment of a Child Daycare Center at 1241 Anderson Drive (APN 0173-670-210).**

7. COMMUNICATION:

- A. Staff**
- B. Commission**
- C. Agenda Forecast**

8. ADJOURN.

a&m/161115.pca

MINUTES
SPECIAL MEETING OF THE CITY OF SUISUN CITY PLANNING
COMMISSION
7:00 P.M., SEPTEMBER 27, 2016

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC16-05

1. ROLL CALL:

Chairperson Pal
Vice-Chair Osborne
Commissioner Clemente
Commissioner Holzwarth
Commissioner Ramos
Commissioner Smith
Commissioner Thomas

Pledge of Allegiance
Invocation

2. ANNOUNCEMENTS:

None

3. MINUTES:

Commissioner Smith stated that under Commissioners communications that in part some of the comments were in response to staff's communications. Commissioner Smith also stated that a comment thanking staff for keeping the September 13th meeting to allow for public comments was left out of the minutes.

Commissioner Osborne moved to approve the minutes of September 13, 2016 as corrected. Commissioner Clemente seconded the motion. Motion passed 7-0.

4. AUDIENCE COMMUNICATIONS:

None

CONFLICT OF INTEREST NOTIFICATION

Chairperson Pal wished to identify Item C. He stated that he sits on the Solano County Healthy Communities who formally plan how these markets should be designed and would like to recuse himself and at that time turned the meeting over to Vice-Chair Osborne.

5. PUBLIC HEARINGS:

A. Request for Establishment of a Child Daycare Center (Conditional Use Permit No. UP15-6-007 and Architectural Review No. AR15-6-005) at 1241 Anderson Drive. (CONTINUED TO OCTOBER 11, 2016).

Mr. Kearns explained that this item was last before the Commission on September 13th and the applicant had not submitted the final documents to proceed. Staff is recommending that it be continued to October 11th and should it not be ready Mr. Kearns suggested that the item be re-noticed.

Commissioner Clemente moved to continue the item to October 11th. Commissioner Thomas seconded the motion. Motion passed 7-0.

B. Request for Internal Expansion of a Church at 207 Marina Center.

Mr. Kearns explained that the applicant was requesting to expand its use into an adjoin tenant space increasing the space from 6500 sq. ft. to approximately 12,300 sq. ft. The hours of operation will be Tuesdays and Thursdays from 6-8 pm and Sundays from 8:30 am to 1:00 pm. Mr. Kearns stated that the conditions of approval would include the operation of the facility shall be in conformance with all federal, state, and local laws and regulations; building permits shall be obtained before any work commences; and days and hours of operation shall conform to information provide and approved by the Commission.

Chairperson Pal opened the Public Hearing.

Pastor John Butcher stated that the church Fellowship was excited about the project and hoped it would allow them to do more in the community.

There being no further comments Chairperson Pal closed the Public Hearing.

Commissioner Clemente moved to approve Resolution No. PC16-05. Commissioner Ramos seconded the motion. Motion passed by a roll call vote of 7-0.

Chairperson Pal at this time turned meeting over to Vice-Chair Osborne as he has a conflict of interest with the following item.

C. Request for Expansion of the Food Mart Building at 113 Sunset Avenue.

Mr. Kearns stated that this was an Architectural Review request. He explained that this project was part of the original Sunset Center Planned Unit Development. The request is for an additional 400 square feet to the eastern end of the building. The application also includes re-facing of the existing canopy and replacing the existing monument sign along Highway 12. There will be a total of 13 designated parking spaces plus the fueling positions.

Mr. Kearns explained that the monument sign was not part of the consideration this evening as its location does require coordination with the Fairfield-Suisun Sewer District which the applicant has initiated. He further mentioned that the existing monument was located within the District's 38" sanitary sewer line.

Vice-chair Osborne opened the Public Hearing.

Applicant, Craig Schafer, PM Design Group, representing owner stated they have worked hand in hand with John over the past months and feel they have a very good project and going to spruce up the service station quite a bit and give a little more expansion to the convenience store and make the station look better than it does now.

Commission Smith asked about both handicap and parallel parking on-site.

Commissioner Ramos asked about employees during peak and non-peak hours and whether number of employees was a regulated number.

Commissioner Ramos asked if the Police Department could have access to the security cameras and whether the owner also monitors it.

Commission Clemente asked if the convenience market was open 24 hours.

There being no further comments Vice-chair Osborne closed the Public Hearing.

Smith also stated she also agreed with staff working out the monument sign issues.

Commissioner Clemente moved to approve Resolution No. PC16-06. Commissioner Holzwarth seconded the motion. Motion passed by a roll call vote of 6-0-1 with Chairperson Pal abstaining.

Chair Pal returned to his seat.

D. Waterfront District Specific Plan.

Mr. Kearns stated that it was his pleasure to present this item as it has been the culmination of a very long time putting it together and finally at the stage staff asking the Commission to make a recommendation to the City Council regarding the Waterfront District Specific Plan.

Mr. Kearns gave a brief time line of the process, community meetings, preferred land use adoption, public review period and workshops from June, 2014 to current Commission meeting on September, 2016.

Mr. Kearns stated that approximately 15 public comments had been received and is included as Appendix D. He spoke about the composition of the comments stating that 5-6 of the comments were regarding Crystal Middle School site.

Mr. Kearns stated there were some changes that needed to be made and taken into consideration by the Commission this evening. He further explained that they were not items that surfaced during the public review period but were found recently in reviewing future projects and how this plan would relate to those projects.

Mr. Kearns explained the changes.

- Page 3-8 Main Street Mixed-Use Zone
 - Moving Residential dwellings from Permitted Uses to Conditionally Permitted
- Page 3-11 Downtown Mixed-Use Zone
 - Moved Residential dwellings from Administrative Review to Permitted Uses
- Page 3-14 Waterfront Commercial Zone
 - Removed Administrative Review
 - Boat Storage was listing in two places and is now solely in Conditionally Permitted
- Page 6-9
 - Added Mixed use to Main Street Mixed-Use and Waterfront Commercial on the Rear Setback

Mr. Kearns explained that the document consisted of 8 Chapters and 4 Appendixes of which Appendixes D is a culmination of all comments received during the review process.

Chairperson Pal opened the Public Hearing. There being no public comments Chairperson Pal closed the Public Hearing.

Commission Ramos asked about the proposed changes.

Mr. Kearns stated residential dwellings had been removed from permitted uses and moved it over to conditionally permitted uses. Additionally, on Page 3-11 Residential Dwellings was taken from Administrative Review and moved to Conditionally Permitted to be consistent with the Housing Element. Then on page 3-14 the Administrative Review section was removed and Boat Storage was moved to Conditionally Permitted.

Commission Smith asked about comments received during the public review period and how they were addressed in

the final document.

Mr. Kearns indicated that all comments were reviewed and considered closely. Many of the changes led to necessary changes in the final document which were shown in tracked changes format. Additionally, staff followed up with several of the commenters for clarification and further discussions regarding some of the comments received. Some of the comments received were not directly related to the Specific Plan Update. All of the comments however were provided as Appendix D of the Final Specific Plan.

Commissioner Smith asked about the sign standards and concern about being able to uphold some of the standards.

Mr. Kearns shared an interest in being able to uphold these standards, but felt there would be no problem in being able to do so.

Chair Pal asked what the Crystal School site was designated.

Mr. Kearns stated the property was proposed to be designated as Residential Medium Density. Chair Pal raised an interest that convenience markets be treated differently than food/grocery stores. Commissioner Holzwarth indicated he did not see a problem with convenience markets.

Commissioner Clemente indicated a concern of businesses changing their models after a period of time.

Chair Pal shared an interest for a public process to review the business model and allow the public to participate in commenting on future requests.

Chair Pal made a motion to change convenience market from a permitted use to conditionally permitted use on page 3-11.

Commissioner Clemente seconded the motion.

Further discussion ensued before Ms. Skinner reminded the Commission that there was a motion on the floor.

Commissioner Ramos asked for the motion to be clarified.

Chair Pal stated the motion would be to change convenience markets from a permitted to conditionally permitted use on Page 3-11. Motion passed 4-3. Yes – Commissioners Thomas, Smith, Clemente, Pal. No – Ramos, Holzwarth, Osborne.

Clemente moved to adopt Resolution No. PC16-07 A Resolution of the Planning Commission of the City of Suisun City Recommending City Council Adoption of the Waterfront District Specific Plan Update and Recommendation of a Finding of Consistency with the Approved 2035 General Plan and its Certified Environmental Impact Report (EIR).

Commissioner Ramos seconded the motion. Motion passed by Roll Call vote 7-0.

6. COMMUNICATION:

A. Staff

None

B. Commissioners

Commissioner Ramos commented on the alleys proposed at the Crystal School site. He feels that the alleys create a shelter for the homeless and would like staff to mention his concern to Mr. Rice. Commissioner Ramos stated that he is not looking to make a change just some consideration.

Commissioner Ramos would also like to see some signage at the Cordelia Road entrance welcoming people to

Suisun City.

Chairperson Pal asked if there were any upcoming Commissioner training from the League of California Cities. Mr. Kearns stated that he was unaware of any but should the Commissioners learn of something to let him know. Secretary Skinner stated that there was training in December at Sonoma State University and she would send out the information.

C. Agenda Forecast

Mr. Kearns stated that an October 11 meeting would be based on the completed material on 1241 Anderson Drive. Mr. Kearns also stated the Zoning Code update should be on the second meeting of October agenda.

7. ADJOURN.

There being no further business the meeting was adjourned at 8:30 pm.

Anita Skinner

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AGENDA TRANSMITTAL

MEETING DATE: November 15, 2016

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Request for Exterior Improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue (APN 173-010-450).

Resolution PC16- ____; A Resolution of the City of Suisun City Planning Commission Approving Site Plan/Architectural Review Application No. AR16-7-002 for Exterior Improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue (APN 173-010-450).

ENVIRONMENTAL REVIEW: The subject Site Plan/Architectural Review application is exempt from the analysis required by the State of California Environmental Quality Act (CEQA) under Section 15301 (e) Existing Facilities as the request requires no expansion of the existing apartment complex which has been in place for several years.

BACKGROUND: The subject apartment complex, Village Green is located southeast of the Pintail Drive/Sunset Avenue intersection. The entire complex consists of 244 units, but on October 23, 2015 one of the buildings experienced a fire damaging a majority of the 12 units in the building. During the process of rebuilding, the owner/applicant has decided to consider some exterior improvements which have led to a need to come before the Planning Commission.

STAFF REPORT: The subject property is located at 766 Sunset Avenue and is zoned Residential High (RH). The 12-unit apartment building requiring repair, due to fire damage, consists of 9,068 square feet. The applicant, JCM Partners, submitted an application requesting the repair and rebuild of one 12-unit apartment building, excluding foundation, damaged from fire. The exterior rebuild is to include new windows and sliding glass patio doors, new fiber cement board siding, fine grain sand decorative stucco pop out accents (per plans) and new stone patio enclosures, and balcony guards to be steel balcony rails. The proposed color scheme provides for three different concepts as provided in Attachment 2 and described below:

- Concept 1: Lap Siding – Rustic Taupe; Stucco Accent – Storm Cloud; Trim – Ashen Tan.
- Concept 2: Lap Siding – Heathered Moss; Stucco Accent – Ashen Tan; Trim – Bronzestone.
- Concept 3: Lap Siding – Evening Blue; Stucco Accent – Ashen Tan; Trim – Bronzestone.

The ultimate plan would be to build out the remainder of the apartment complex with the same exterior scheme over time.

Analysis:

The proposed repair and rebuild is brought to the Planning Commission because the City of Suisun's Zoning Regulations requires staff to do so, pursuant **Section 18.68.010 (A): *In the RS,***

PREPARED BY:

John Kearns, Associate Planner

REVIEWED/APPROVED BY:

Jason Garben, Development Services Director

RM and RH districts where two or more dwelling units are proposed to be constructed on the same lot or on separate lots which are controlled by the same owner or developer.

Findings:

In order for the Planning Commission to approve the Site Plan/Architectural Review, the following findings must be made:

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on November 5, 2016 in the *Daily Republic* newspaper and mailed to surrounding property owners on November 3, 2016.
2. That the proposed project, when subject to the conditions will not conflict with the Goals, Objectives, and Policies of the General Plan, the purposes of the zoning district in which the site is located because the Residential High Density General Plan designation and Residential High Density Zoning classification permit these types of uses in this area and the proposed improvements meet the purpose of the zoning district.
3. That the proposed project, when subject to the conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, or to the general welfare of the City, because the applicant has taken necessary precautions to diminish any concerns through the project description.
4. That the proposed project has been considered through an Architectural Review Process as required by the Suisun Zoning Ordinance as the public hearing took place on November 15th and testimony and materials were considered by the Planning Commission prior to adoption of the resolution.
5. The project is exempt from the California Environmental Quality Act (CEQA) per Section 15301 – Existing Facilities. The request requires no expansion of the existing apartment complex which has been in place for several years.

Conditions of Approval:

Staff has prepared draft conditions of approval which can be found in the resolution recommending approval of the Site Plan/Architectural Review application. A list of these conditions can be found below:

1. Prior to beginning any construction or improvements, plans shall be submitted to the Building Department and any applicable permits obtained as determined by the Building Department.
2. Construction shall be in conformance with the approved plans; any modifications to the plan will be subject to review by the Development Services Department.
3. The exteriors of each building shall be constructed similarly.

STAFF RECOMMENDATION: Staff recommends that the Commission adopt Resolution PC16-____; A Resolution of the City of Suisun City Planning Commission Approving Site Plan/Architectural Review Application No. AR16-7-002 for Exterior Improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue (APN 173-010-450).

ATTACHMENTS:

1. Resolution PC16-____; A Resolution of the City of Suisun City Planning Commission Approving Site Plan/Architectural Review Application No. AR 16-7-002 for Exterior Improvements to the Village Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue (APN 173-010-450).
2. Application Materials

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RESOLUTION NO. PC16-___

**A RESOLUTION OF THE CITY OF SUISUN CITY PLANNING COMMISSION
APPROVING ARCHITECTURAL REVIEW APPLICATION NO. AR16-7-002 FOR
EXTERIOR IMPROVEMENTS TO THE VILLAGE GREEN APARTMENTS AT
THE SOUTHEAST CORNER OF PINTAIL DRIVE AND SUNSET AVENUE
(APN 0173-010-450)**

WHEREAS, the Planning Commission at a regular meeting on November 15, 2016 did review Architectural Review Application No. AR16-7-002 for exterior improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue; and

WHEREAS, the public notice was published in the Daily Republic on November 5, 2016; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, the applicant and members of the public were present to speak on the application; and

WHEREAS, the application is exempt from the analysis required by the State of California Environmental Quality Act (CEQA) under Section 15301 – Existing Facilities as the request requires no expansion of the existing apartment complex which has been in place for several years; and

WHEREAS, based on evidence presented at the Public Hearing by City Staff, the applicant, the public and Commissioners, the following Findings are hereby made:

In order for the Planning Commission to approve the application the following findings must be made:

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on November 5, 2016 in the *Daily Republic* newspaper and mailed to surrounding property owners on November 3, 2016.
2. That the proposed project, when subject to the conditions will not conflict with the Goals, Objectives, and Policies of the General Plan, the purposes of the zoning district in which the site is located because the Residential High Density General Plan designation and Residential High Density Zoning classification permit these types of uses in this area and the proposed improvements meet the purpose of the zoning district.
3. That the proposed project, when subject to the conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the

vicinity, or to the general welfare of the City, because the applicant has taken necessary precautions to diminish any concerns through the project description.

- 4. That the proposed project has been considered through an Architectural Review Process as required by the Suisun Zoning Ordinance as the public hearing took place on November 15th and testimony and materials were considered by the Planning Commission prior to adoption of the resolution.
- 5. The project is exempt from the California Environmental Quality Act (CEQA) per Section 15301 – Existing Facilities. The request requires no expansion of the existing apartment complex which has been in place for several years.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby adopt Resolution PC16- ; A Resolution of the City of Suisun City Planning Commission Approving Architectural Review Application No. AR16-7-002 for Exterior Improvements to the Village Green Apartments at the Southeast Corner of Pintail Drive and Sunset Avenue subject to the following Conditions and all other applicable Suisun City Codes and Ordinances:

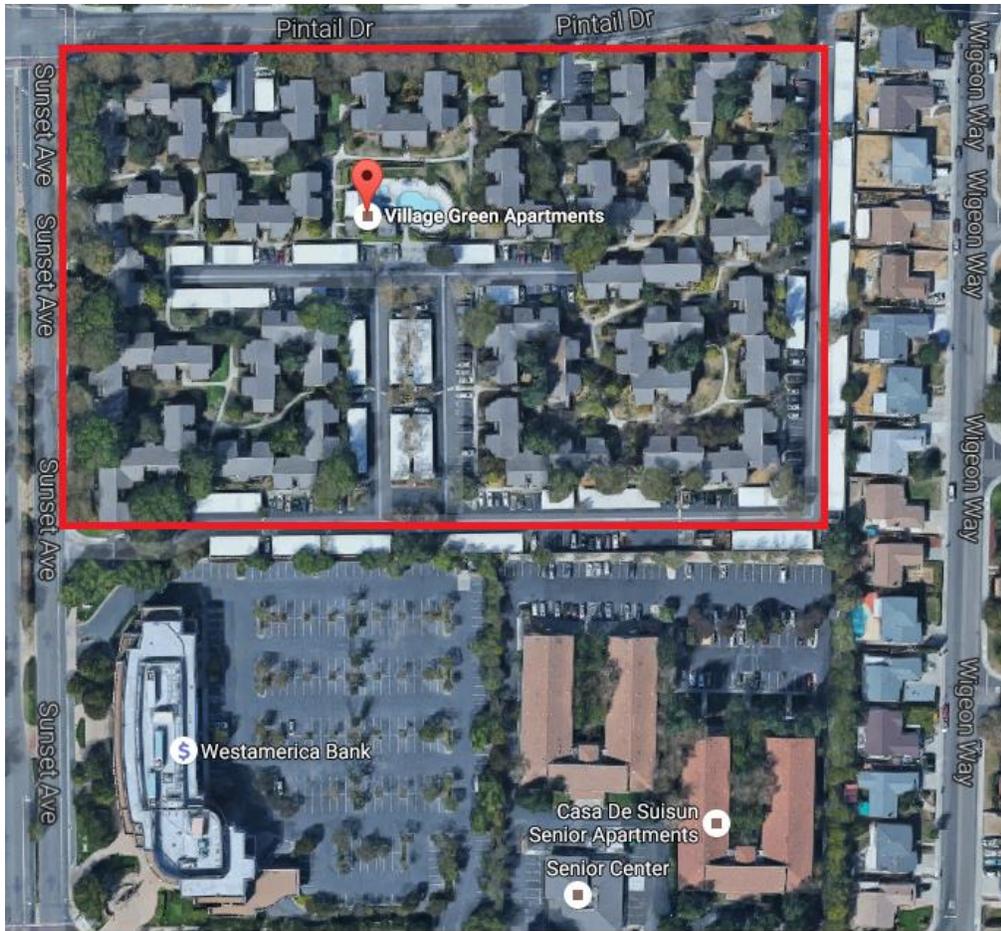
- 1. The applicant must secure a building permit prior to construction.
- 2. Construction must in substantial accordance with the plans approved by the Planning Commission.
- 3. The exteriors of each building shall be constructed similarly.

The forgoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES: Commissioners:
 NOES: Commissioners:
 ABSENT: Commissioners:
 ABSTAIN: Commissioners:

WITNESS my hand and the seal of said City this 15th day of November, 2016.

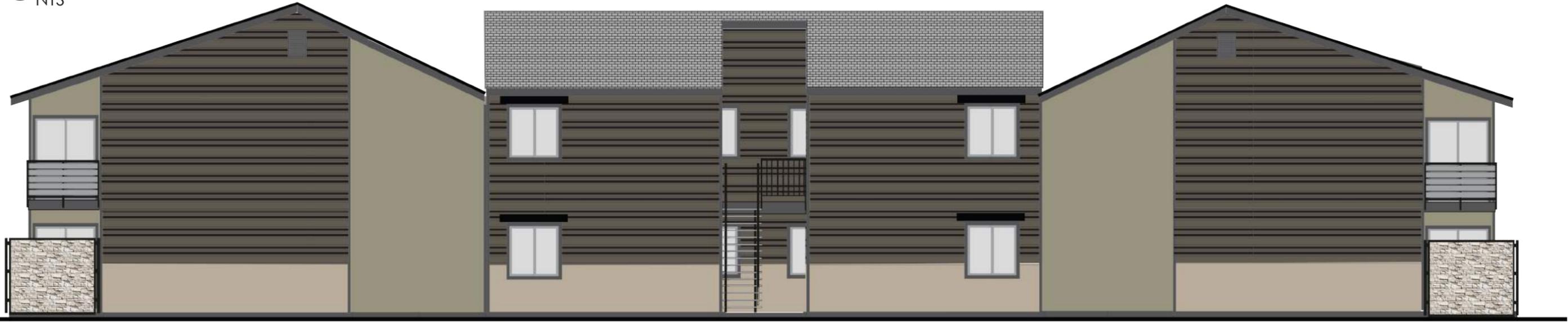
Anita Skinner
 Commission Secretary







1 BACK ELEVATION: STUCCO ACCENT
NTS



2 FRONT ELEVATION: STUCCO ACCENT
NTS



3 SIDE ELEVATION: STUCCO ACCENT
NTS

| | |
|-------------------------------------|--|
| <p>LAP SIDING: RUSTIC TAUPE</p> | <p>STUCCO ACCENT: STORM CLOUD</p> |
| <p>TRIM: ASHEN TAN</p> | <p>STONE ACCENT: EL DORADO STACKED STONE: DAYBREAK</p>  |



NEW LAP SIDING PATIO ENCLOSURE

STUCCO ACCENT

NEW STEEL & CEMENT BOARD GUARDRAIL

STONE PATIO ENCLOSURE

1 BACK ELEVATION: STUCCO ACCENT
NTS



2 FRONT ELEVATION: STUCCO ACCENT
NTS



3 SIDE ELEVATION: STUCCO ACCENT
NTS

| | |
|---------------------------------------|---|
| <p>LAP SIDING: HEATHERED MOSS</p> | <p>STUCCO ACCENT: ASHEN TAN</p> |
| <p>TRIM: BRONZETONE</p> | <p>STONE ACCENT: EL DORADO STACKED STONE: SILVER LINING</p>  |



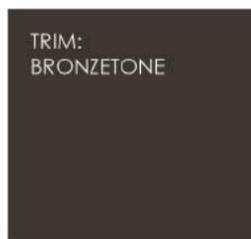
1 BACK ELEVATION: STUCCO ACCENT
NTS



2 FRONT ELEVATION: STUCCO ACCENT
NTS



3 SIDE ELEVATION: STUCCO ACCENT
NTS

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|---|--|
| <p>LAP SIDING: EVENING BLUE</p>  | <p>STUCCO ACCENT: ASHEN TAN</p>  |
| <p>TRIM: BRONZETONE</p>  | <p>STONE ACCENT: EL DORADO STACKED STONE: DAYBREAK</p>  |

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MEETING DATE: November 15, 2016

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Request for Establishment of a Child Daycare Center at 1241 Anderson Drive.

Resolution PC16-___; A Resolution of the Planning Commission of the City of Suisun City Approving Conditional Use Permit No. UP15-6-007 and Architectural Review No. AR15-6-005 for Establishment of a Child Daycare Center at 1241 Anderson Drive (APN 0173-670-210).

ENVIRONMENTAL REVIEW: The project is exempt from the analysis required by the State of California Environmental Quality Act (CEQA) under Section 15332 – Infill Development Projects. This project is in compliance with the City's General Plan and Zoning Ordinance. The site is less than 5 acres in size. The project site has no value as habitat for endangered, rare or threatened species. The project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality and the project can be adequately served by all required utilities and public services.

BACKGROUND: The public hearing was opened and continued at the September 13 Planning Commission meeting due to some conflicts between the plans and the applicants use permit description. An item was again continued on September 27 before a decision to have to re-notice the public hearing due to too much time elapsing. Complete project materials were received the week of October 24 and staff has since noticed a new public hearing for Planning Commission consideration.

STAFF REPORT: The request before the Planning Commission is two-fold: (1) A request for a 4,700 square foot building (Site Plan/Architectural Review); and (2) A request for a child daycare center (Conditional Use Permit). This two-fold request is unique in that both entitlements have separate applicants (Conditional Use Permit – Latasha Curtis, and Site Plan/Architectural Review – 3N Realty Advisors, LLC). However, both applicants have worked together in an attempt to coordinate. Thus these applications have been submitted and processed jointly.

Project Location

The proposed project is located at 1241 Anderson Drive (APN 0173-670-210) within the Lawler Ranch Commercial Subdivision. The property is currently vacant with vacant parcels to the west, south and east. The property to the north is occupied by Burger King.

Site Plan/Architectural Review

The proposal is for a 4,700 square foot building on a 22,431 square foot lot with a 2,900 square foot playground to the south of the building. The building is proposed to be setback 20 feet from Anderson Drive and 10 feet from interior lot line to the east. There is a landscape setback on three sides which allows for a buffer from adjacent properties. Staff recommends that the

PREPARED BY:

John Kearns, Associate Planner

REVIEWED/APPROVED BY:

Jason Garben, Development Services Director

approval of the final landscape plan be subject to staff review. The plans are subject to AB 1881 Water Efficient Landscaping which is a state regulation. Further, there is shown to be a 2,900 square foot playground area to the rear of the building which is to be enclosed by a 6' wrought iron fence.

Proposed Plan Sheets

A full set of the plans consists of the following plan sheets:

1. Cover Sheet.
2. Proposed Site Plan.
3. Site Details.
4. Floor Plan.
5. Exterior Elevations.
6. Conceptual Landscape Plan.
7. Grading and Drainage Plan.
8. Utility Plan.
9. Photometric Plan.

Building Exterior

The applicant is requesting the exterior of the building to be stucco with a stone veneer wainscoting and a parapet roof. The proposed color scheme uses "Natural Choice" (Sherman Williams SW7011) and "Mesa Tan" (Sherman Williams SW7695) with "Sandbar" (Sherman Williams SW7547) as an accent color. Additionally, the applicant is proposing awnings on each side of the building which are to be "Meridian Brick" in color. The height to the tallest architectural feature (top of tower) is to be 24'. The project will have both a monument sign, as well as a building sign, but a condition has been added for the project to get sign permits for both as locating the monument sign outside of the utility easement is imperative.

Parking/Circulation

Twenty (20) parking spaces are being proposed with fifteen (15) in the main parking area, three (3) to the rear of the property, and two (2) being counted in the drop-off area. Per Title 18 "Zoning" of the Municipal Code, this use required 1 space per employee and 1 space per 5 children. The consideration for the Planning Commission is whether the spaces being counted in the drop off area should count toward the required parking. Staff believes the drop off area is appropriate for two reasons (1) this use is conducive to pick-up's and drop-off's and (2) other cities have considered loading areas as appropriate to meet parking obligations for similar uses.

The project has been designed to take access from the eastern driveway and exit from the western driveway. The western driveway has been designed as a potential future shared driveway. The use of shared driveways is encouraged by the Lawler Commercial Design Guidelines and is intended to minimize the number of curb-cuts along Anderson Drive.

Use Permit Description

The Conditional Use Permit applicant, Latasha Curtis is applying for a use permit to operate a childcare center (Caterpillar Clubhouse) at 1241 Anderson Drive in Suisun City. The proposed hours of operation will be from 6 am to 6 pm Monday thru Friday. There will be at least six (6)

employees on site at all times and no more than seventy (70) children at any time, serving ages six (6) weeks to twelve (12) years of age.

Caterpillar Clubhouse will provide care and education to young children whose parents either work during the day or want to socialize their children at a young age. The goal, as stated by the applicant, is to contribute significantly to the social, emotional and intellectual growth of children. The typical day will consist of parents bringing their children for a provided breakfast, morning snack, a lunch and an afternoon snack, as well as a preschool/pre-k curriculum, arts and craft, nap time, and outside play for the infant, toddlers and preschool ages.

The school age children will be transported to their appropriate educational facility then transported back to Caterpillar Clubhouse at the appropriate time for a provided snack and help with homework. The schedule is subject to change when needed; however, the routine will remain the same for the majority of day.

The anticipated busiest traffic times will be from 7 am to 8 am then 4 pm to 6 pm, with approximately ten (10) cars in that time frame. There will be ample parking to accommodate the parents during the drop off and pickup hours. The outdoor activities will only be in the back playground.

Building Interior

The applicant has proposed to five primary rooms for activities to take place (2-preschool, 1-infant/toddlers, 1-pre-k and 1-multi-purpose room). There will also be a centralized kitchen, restrooms and office space. Careful attention has been taken to provide a design that provides proper interior access as well as ingress and egress to the outside.

Findings

In order for the Planning Commission to approve the Site Plan/Architectural Review and Conditional Use Permit applications, the following findings must be made:

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on November 5, 2016 in the *Daily Republic* newspaper and notices were mailed on November 3, 2016 to surrounding property owners located within 300 feet of the proposed project.
2. That the proposed expansion is consistent the Goals, Objectives and Policies of the General Plan and the purposes of the General Commercial Zoning district in which the site is located.
3. In consideration of the above findings, the proposed expansion will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity or the general welfare of the City.
4. That the proposed project is exempt from the provisions of the California Environmental Quality Act pursuant to Section 15332 In-Fill Development Projects. This project is in

compliance with the City's General Plan and Zoning Ordinance. The site is less than 5 acres in size. The project site has no value as habitat for endangered, rare or threatened species. The project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality and the project can be adequately served by all required utilities and public services.

5. That the proposed project and its uses have been considered through a Site Plan/Architectural Review process.

Conditions of Approval

Staff routed the plans to various departments including the Fairfield-Suisun Sewer District, Solano Irrigation District and each department of the city. The result were conditions of approval from Development Services, Fire, Building/Public Works, and Solano Irrigation District. These conditions can be found in the attached resolution for Planning Commission consideration.

STAFF RECOMMENDATION: Resolution PC16-___; A Resolution of the Planning Commission of the City of Suisun City Approving Conditional Use Permit No. UP15-6-007 and Architectural Review No. AR15-6-005 for Establishment of a Child Daycare Center at 1241 Anderson Drive (APN 0173-670-210).

ATTACHMENTS:

1. Resolution PC16-___; A Resolution of the Planning Commission of the City of Suisun City Approving Conditional Use Permit No. UP15-6-007 and Architectural Review No. AR15-6-005 for Establishment of a Child Daycare Center at 1241 Anderson Drive (APN 0173-670-210).
2. Application Materials

RESOLUTION NO. PC16-___

**A RESOLUTION OF THE CITY OF SUISUN CITY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT APPLICATION NO. UP15-6-007 AND
ARCHITECTURAL REVIEW APPLICATION NO. AR15-6-005 ESTABLISHING A
CHILD CARE CENTER AT 1241 ANDERSON DRIVE, APN 0173-670-210**

WHEREAS, the Planning Commission at a regular meeting on November 15, 2016 did review Conditional Use Permit Application No. UP15-6-007 and Architectural Review Application No. AR15-6-005 establishing a childcare center at 1241 Anderson Drive; and

WHEREAS, the public notice was published in the Daily Republic on November 5, 2016; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, the applicant and members of the public were present to speak on the application; and

WHEREAS, the Conditional Use Permit application is exempt from the analysis required by the State of California Environmental Quality Act (CEQA) under Section 15332 - Infill Development Projects. This project is in compliance with the City's General Plan and Zoning Ordinance. The site is less than 5 acres in size. The project site has no value as habitat for endangered, rare or threatened species. The project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality and the project can be adequately served by all required utilities and public services; and

WHEREAS, based on evidence presented at the Public Hearing by City Staff, the applicant, the public and Commissioners, the following Findings are hereby made:

In order for the Planning Commission to approve the conditional use permit the following findings must be made:

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on November 5, 2016 in the *Daily Republic* newspaper and mailed to surrounding property owners on November 3, 2016.
2. That the proposed project, when subject to the conditions will not conflict with the Goals, Objectives, and Policies of the General Plan, the purposes of the zoning district in which the site is located, and the regulations within the Lawler Ranch Commercial Design Guidelines because the General Commercial General Plan designation and General Commercial Zoning classification as well as the Lawler Ranch Commercial Design Guidelines either permit or conditionally permit these types of uses in this area and the proposed improvements meet the purpose of the zoning district.

3. That the proposed use, when subject to the conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, or to the general welfare of the City, because the applicant has taken necessary precautions to diminish any concerns through the project description.
4. That the proposed project has been considered through a Conditional Use Permit process as required by the Suisun Zoning Ordinance as the public hearing took place on November 15th and testimony and materials were considered by the Planning Commission prior to adoption of the resolution.
5. The project is exempt from the California Environmental Quality Act (CEQA) per Section 15332 - Infill Development Projects. This project is in compliance with the City's General Plan and Zoning Ordinance. The site is less than 5 acres in size. The project site has no value as habitat for endangered, rare or threatened species. The project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality and the project can be adequately served by all required utilities and public services.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby adopt Resolution PC16- ; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP15-6-007 and Architectural Review Application No. AR15-6-005 Establishing a child daycare center subject to the following Conditions and all other applicable Suisun City Codes and Ordinances:

Fire Department

1. A set of keys for all spaces in the building and the child play yard shall be provided, along with all alarm codes and contact information for the business emergency contacts, fire, and security alarm companies.
 - a. Suisun City Fire Department uses the Knox Rapid Entry Key System. The fire department will issue the purchase authorization with the fire department identification number for the Knox Key System.
 - b. A complete set of keys or master keys and alarm codes shall be placed in the Knox Box.
 - c. The Knox Box shall be located on an outside wall near the front entry for retrieval of the fire department key set and alarm codes. The Knox Box shall be accessible at all times, even when the building is closed. The box location shall be approved by the fire department.
2. A Fire Alarm Enunciator Panel shall be installed at the front of the building, this panel shall be accessible / visible when the building is closed, to help identify in what alarm and area of the building the emergency is occurring.
3. Plans shall identify areas in which red curbs shall be painted and fire lanes shall be identified for fire department access, subject to approval by the Fire Chief.

4. An emergency plan, completed with input from the Fire Department, shall be developed. Coordinate with the Fire Department for staff training in responses to emergencies. All employees and volunteers shall be trained in response consistent with the emergency plan for:
 - a. Fire emergencies
 - b. Fire drill and escape planning
5. Clear access shall be maintained for the fire sprinkler Fire Department Connection.
6. A digital plot plan with floor plan indicating water, electric, and gas shutoffs, FDC and fire sprinkler riser, and other building special features will be provided. Fire department will approve file format. 8 ½ X 11 print size.

General

1. The applicant or applicants successor in interest shall indemnify, defend and hold harmless the City of Suisun City it's agents, officers, and employees from any and all claims, actions or proceedings against the City of Suisun City, its agents, officers, and employees to attach, set aside, void or annul, any approval by the City of Suisun City and its advisory agency, appeal board, or legislative body concerning this application which action is brought within applicable statutes of limitations. The City of Suisun City shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the City fails to do so, the applicant or applicant's successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans, or other documents pertaining to this application.
2. The use shall be constructed in accordance with the information presented (except as otherwise identified in the Conditions of Approval) and shall conform to all requirements of the City of Suisun City Code including but not limited to the Uniform Building Code as adopted by the City of Suisun City.
3. The applicant shall participate in the Lawler Ranch Maintenance Assessment District.
4. Approval of this permit will be effective, provided no appeals are received within 10 calendar days of the Planning Commission meeting date of November 15, 2016 and that the property owner and the applicant signatures are obtained affirming that they have read and understand the Conditions of Approval for the Architectural Review Permit No. AR15-6-005 and Conditional Use Permit No. UP15-6-007 and agree to comply with the conditions.
5. The applicant shall comply with all applicable Federal, State, and local codes including, but not limited to, the Uniform Building Code, Fire Code and County Health Department guidelines as interpreted by the County Health Inspectors.
6. All the proposed improvements, including landscape installation shall be completed prior to issuance of any business license or Certificate of Occupancy.

Planning

1. A sign permit application is required to be submitted and reviewed by the Development Services Director before sign installation. This includes relocation of the proposed monument sign outside of the public utility easement.
2. The applicant is to provide a final landscape plan for the review and approval of the Development Services Director (or his/her designee).
3. Transformers, telephone switching boxes, utility poles, fire valves, trash enclosures, service areas as well as other utility or service functions shall be screened with landscape. The emphasis shall be on reducing or eliminating negative visual impacts on major public areas, high priority buildings, prominent architecture elements, and along primary roadways.
4. The final color scheme to be approved by Development Services Director (or his/her designee).
5. Final architectural plans, responding to any comments raised at the November 15 Planning Commission meeting, need to be submitted and approved by the Development Services Director (or his/her designee).
6. Applicant shall provide a final layout plan for the playground area. This includes a final fencing plan.

Public Works

1. All work performed shall conform to these conditions as well as to all City ordinances, rules, standard specifications and details, design standards, and any special requirements imposed by the Public Works Director. The Public Works Department will provide inspections to ensure conformance. Any deviation from the aforementioned documents shall require review and written approval by the Public Works Director. Deviations or exceptions to the design requirements in the listed documents for private improvements must be identified in the design guidelines, or submitted to the Public Works Director for approval.
2. Applicant shall pay all public works fees as established by the City Public Works Fee Schedule at the time of submittal of Improvement Plans.
3. Applicant shall designate a design professional as the main point of contact in submitting plans, reports and other documents to the City during the design and plan review phase. Submittals from any other person will not be accepted by the City.
4. The Improvement Plans shall include a General Note that: any revisions to the approved Improvement Plans and/or City Standards, including those due to field conditions, shall require review and written approval by the Public Works Director. The Applicant shall have the revised plans prepared by the Project Professional Designer and shall have the revised plans submitted for review and approval by the Public Works Director. Any revisions to the

Improvement Plans resulting from these or other conditions contained herein shall be subject to written approval of the Public Works Director.

5. When submitting Improvement Plans, the engineer's estimate of costs for the public improvements necessary to accommodate the project shall be included. This estimate shall show quantities as well as unit prices used to obtain the final cost of each item and is subject to City review and approval.
6. Upon the approval of the Improvement Plans, Applicant shall submit to the Public Works Department electronic AutoCAD files of the plans for the public improvements and for improvements within public right-of-way.
7. If existing easements and utilities are located within the proposed lots, the utilities shall be relocated within the public streets or into appropriate easements, as required by the Public Works Director.
8. Trees, soundwalls, masonry walls, and other permanent structures shall not be installed within utility easements. However, improvements such as wood fences, shrubs, groundcover and irrigation are allowed within utility easements provided the nearby utilities are not impacted and provided that clearances and other utility requirements are met.
9. The work hours on this project shall be from 7:00 AM to 6:00 PM, from Monday through Friday, excluding City holidays. Work on Saturdays will not be allowed without submitting a written request to and without securing a written approval from the Public Works Director. When the Public Works Director approves requested work on Saturdays, work hours on those Saturdays shall only be performed from 9:00 AM to 5:00 PM. Approved Saturday work shall be limited to activities that do not require the use of motorized equipment such as air compressors, nail guns, jack hammers, trenchers, lift trucks, excavators, graders, dump trucks, and other such equipment.
10. Applicant shall obtain all necessary permits from all applicable agencies prior to development.
11. Applicant shall obtain all applicable permits from the City including, but not limited to, building permit(s), grading permit, encroachment permit, etc. All work identified in said permit(s) shall be completed before a final Certificate of Occupant is issued.
12. Applicant shall provide written notice to all residents or businesses within 300 feet to indicate start of construction, anticipated end of construction, general description of improvements, hours of operation, and contact information of prime contractor. The notice shall also be mailed to property owners and businesses in the Lawler Commercial Site bounded by Grizzly Island Road, State Route 12 and McCoy Creek Way; as well as to the Gray Hawk Subdivision residents, Crescent Elementary School, the Fairfield-Suisun School District, and the school bus provider for Crescent Elementary School.
13. A sign shall be posted on the property in a manner consistent with the public hearing sign requirements, which shall identify the address and phone number of the Applicant and/or

Applicant's representative for the purposes of responding to questions and complaints during the construction period. Said sign shall also indicate the hours of permissible construction work.

14. Applicant shall have a superintendent present at all times at the job site. Superintendent shall provide the quality control for the Applicant; respond to the City's concerns; coordinate inspections with the City Inspector; make construction decisions on behalf of the Applicant; and coordinate work of the Applicant's subcontractors.
15. Unless otherwise approved by the Public Works Director, all existing sidewalks shall be kept clear and passable during all phases of the project.
16. Any existing wells shall be abandoned per County of Solano Health Department standards prior to development of the property. Owner shall submit documentation to the Public Works Director that this condition has been satisfied prior to any construction on this project.
17. If any archaeological resources are found during the grading of the site or during performance of any work, work shall be halted, the Public Works Director shall be notified and a certified archaeological firm shall be consulted for advice at Applicant's expense.
18. Visual obstructions over three feet in height will not be allowed within the driver's sight triangle near driveways and corners in order to allow an unobstructed view of oncoming traffic. Improvements at driveways and corners are subject to the review and approval of the Public Works Director.
19. Any relocation or modification of any existing facilities necessary to accommodate subject project shall be at the Applicant's expense. It shall be the responsibility of the Applicant to coordinate all necessary utility relocations with the appropriate utility company.
20. Any existing frontage or street improvements, which in the opinion of the Public Works Director, are currently damaged or become damaged as a part of the work shall be removed and replaced as required to the current City Standards, or as directed. Moreover, prior to mobilizing and prior to the start of construction, Applicant shall submit to the City a video of the pre-existing conditions of the public improvements, street and frontage.
21. During construction a security fence with a zero visibility screen fabric, the height of which shall be the maximum permitted by the Zoning Ordinance, shall be installed and maintained around the perimeter of the lot. The lot shall be kept clear of all trash, weeds, etc. throughout the construction activity.
22. Applicants whose projects disturb ten thousand (10,000) square feet of soil or whose projects disturb less than ten thousand square feet but are part of a larger common plan of development that in total disturbs ten thousand square feet, shall obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (State

Water Resources Control Board Construction General Permit, 2009-0009 DWQ). Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation, but does not include regular maintenance activities performed to restore the original line, grade, or capacity of the facility.

23. The project shall comply with the requirements of the most current National Pollutant Discharge Elimination System (NPDES) permit issued to the Fairfield-Suisun Urban Runoff Management Program; the Fairfield-Suisun Urban Runoff Management Program's *Stormwater C.3 Guidebook* (and its attachments), dated October 2012; and the Bay Area Stormwater Management Agencies Association's *Design Guidance for Stormwater Treatment and Control for Projects in Marin, Sonoma, Napa and Solano Counties*, dated July 14, 2014.
24. All stormwater treatment measures shall be adequately operated and maintained. To ensure operation and maintenance of stormwater treatment measures, Applicant shall enter into a Stormwater Treatment Measures Maintenance Agreement with the City. Said Agreement can be found in Appendix G of the *Stormwater C.3 Guidebook*, dated October 2012.
25. Improvement Plans shall include an Erosion Control Plan or Storm Water Pollution Prevention Plan (SWPPP). No work shall be allowed without an approved and implemented Erosion Control Plan or SWPPP. Any SWPPP prepared shall be prepared by a Qualified SWPPP Developer (QSD).
26. Improvement Plans shall include a Grading Plan prepared by a registered Civil Engineer and shall comply with the requirements of the soils report for the project and the City's Grading Ordinance prior to approval by the Public Works Director.
27. Where feasible, parking lots and other impervious areas shall be designed to drain stormwater runoff to vegetated bioretention area, filter strips, and/or other treatment devices that can be integrated into required landscaping areas and traffic islands prior to discharge into storm drain systems.
28. The amount of impervious area associated with parking lots shall be minimized by providing compact car spaces, reducing stall dimensions, incorporating efficient parking lanes, and using permeable pavement in overflow parking areas where feasible. Permeable pavements shall meet Suisun City Fire Department requirements and be structurally appropriate for the location.
29. Dust control shall be in conformance with City Standards and Ordinances. Vehicles hauling dirt or other construction debris from the site shall cover any open load with a tarpaulin or other secure covering to minimize dust emissions.
30. The maximum allowable slope in landscape areas shall be 3:1, or as approved by Public Works Director. Drainage runoff to adjacent property shall not be allowed. Storm water runoff shall drain toward the streets and not onto the neighboring lot(s).

31. The cover sheet of the Improvement Plans is to include a location map which shows the parcels in the Lawler Commercial Site and specifies the project parcel.
32. The Improvement Plans shall provide plan and profile views for new utilities, as well as invert and rim elevations, for public sanitary sewers and storm drains.
33. Direct tapping of City or Suisun-Solano Water Authority (SSWA) water mains is not permitted. Applicant shall install the required fittings in the existing or new main lines to accommodate the proposed water system. No existing water mains shall be shut down without specific permission of the Solano Irrigation District.
34. Any necessary relocation of existing street lights along Anderson Drive shall comply with the City's standards, especially in regards to spacing and illumination of the collector roadway, Anderson Drive. If the City's standards cannot be met, the Applicant shall install an additional City standard street light which is to be located appropriately to meet the City's standards.
35. Improvement Plans shall show the installation of and the Applicant shall install a six-foot (6') tall metal fence around the proposed play area. The proposed metal fence shall be submitted to the Public Works Director for review and approval prior to installing the metal fence.
36. The project shall install on-site parking lighting and the Applicant shall submit a photometric analysis to the City for review and approval.
37. On-site parking lights shall not share electrical circuits with City of Suisun City street lights.
38. On-site parking pavement shall be minimum 3" asphalt concrete over a minimum 8" Class 2 aggregate base with road stabilization fabric, or per the recommendations of the Applicant's geotechnical report for the project site, whichever is greater.
39. All improvements shall comply with City design standards including ADA accessibility requirements.
40. The Applicant's proposed westerly driveway shall account for a future shared driveway with the abutting parcel. The width of the proposed driveway shall only be for ingress and egress into/out of the Applicant's project parcel.
41. Improvement plans shall show the installation of and the Applicant shall install a trash enclosure. The trash enclosure shall comply with the attached Fairfield-Suisun Urban Runoff Management Program Standard Detail SW-3.
42. Dumpsters to be used on this project shall be dumpsters supplied by the Solano Garbage Company. This is pursuant to the agreement between the City and the Solano Garbage Company for all areas within Suisun City.

43. The minimum longitudinal slopes of gutter flow lines shall be 0.005.
44. The Improvement Plans shall show the installation of and the Applicant shall install street signage and pavement markings and striping. All pavement markings and striping shall be thermoplastic or as required by Public Works Director.
45. Prior to the issuance of Certificate of Occupancy, the Applicant shall submit to the Public Works Department electronic AutoCAD files of the “as-built” Improvement Plans for the public improvements.
46. The cover sheet of the improvements plans shall include a location map which clearly delineates in the Lawler Commercial Site the parcel proposed to be developed.
47. The improvements plans shall provide profile views for the proposed utilities.
48. The proposed driveways shall be ADA-compliant and shall comply with the City’s Standard Detail for a Commercial Driveway in terms of structural section.
49. Applicant shall submit to the City for review and approval brochures, drawings, and specifications for the proposed 6’ high metal fence.
50. Trees shall not be planted within easements.
51. Landscape/irrigation plans shall comply with the criteria of the AB 1881 Water Efficient Landscaping. Water use calculations shall be submitted to the City for review and approval.
52. Water runoff shall not drain into the neighboring parcels.

Attachment: Fairfield-Suisun Urban Runoff Management Program Standard Detail SW-3.

Solano Irrigation District

1. All connections to be completed per SSWA standard details, latest revision. Backflow preventer and double check detector must be tested prior to placing into service.
2. Fire hydrant to be located within public utility easement. If a hydrant is located on private property, then it needs to be located downstream of double check detector.
3. The SSWA signature block is to be added to the final plans for execution.

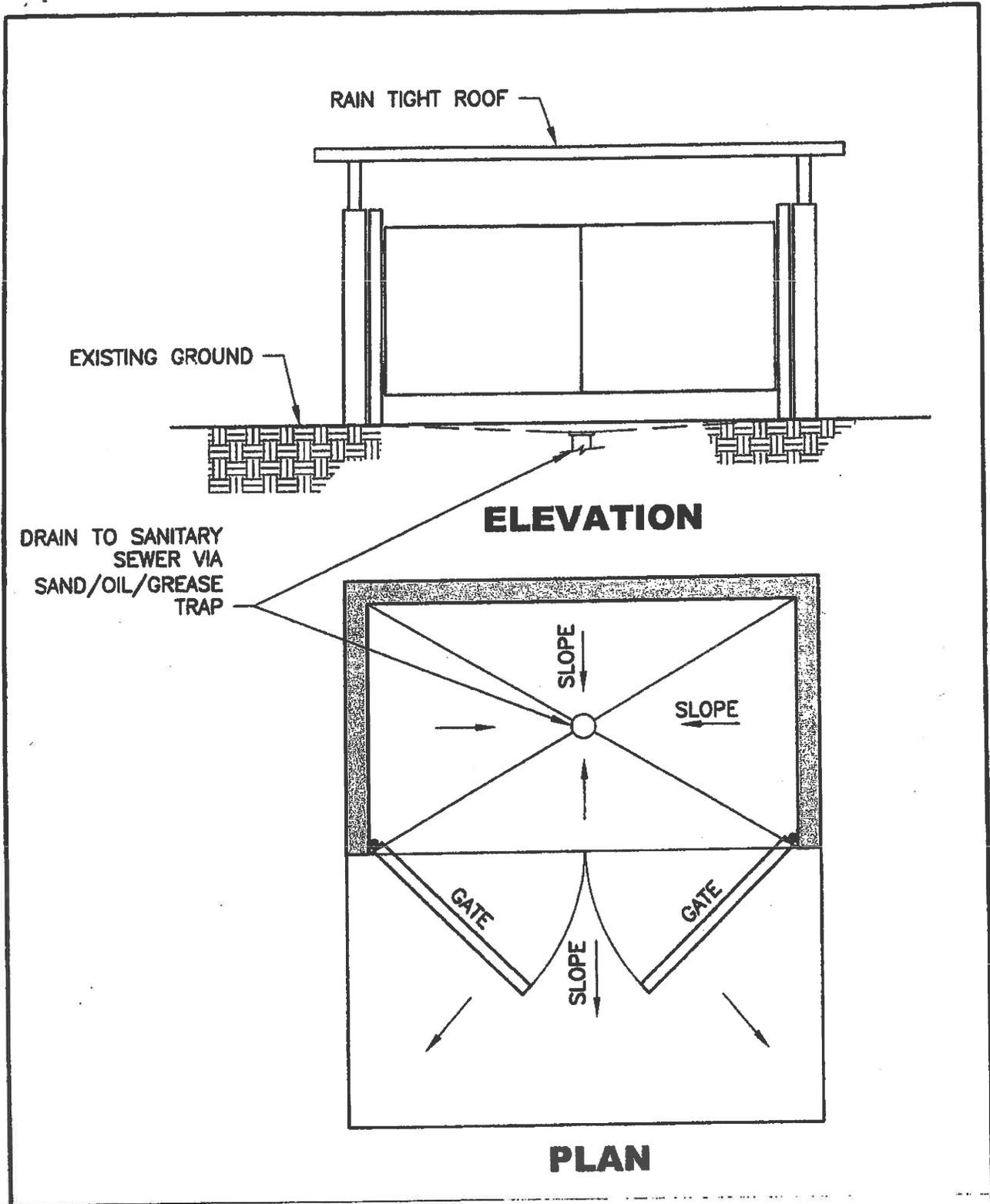
The forgoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

| | |
|---------|----------------|
| AYES: | Commissioners: |
| NOES: | Commissioners: |
| ABSENT: | Commissioners: |

ABSTAIN: Commissioners:

WITNESS my hand and the seal of said City this 15th day of November, 2016.

Anita Skinner
Commission Secretary



**FAIRFIELD-SUISUN
URBAN RUNOFF
MANAGEMENT PROGRAM**
1010 CHADBOURNE RD.
FAIRFIELD, CA 94534-9700
(707) 429-8930 PH
(707) 429-1280 FX

STORM WATER BMP - POST-CONSTRUCTION

**TRASH ENCLOSURE FOR
BUSINESS/COMMERCIAL FACILITIES**

DWG. NO.

SW-3

| | | | |
|--------------|-----------------|--------------------|---------------|
| SCALE NTS | DRAWN BY: ND | APPROVED BY: RH | REV. NO. 1 |
|--------------|-----------------|--------------------|---------------|

DATE
12-7-04

To Whom It May Concern:

I am applying for a use permit to operate a childcare center (Caterpillar Clubhouse) at 1241 Anderson Drive in Suisun City. My hours of operation will be from 6 am to 6 pm Monday thru Friday. I will have six (6) employees on site at all times and no more than seventy (70) children at one time, serving ages six (6) weeks to twelve (12) years of age .

Caterpillar Clubhouse will provide care and education to young children whose parents either work during the day or want to socialize their children at a young age. Our goal is to contribute significantly to the social, emotional and intellectual growth of children. Our daily routine will consist of parents bringing their children to me for a provided breakfast, morning snack, a lunch and an afternoon snack. As well as a preschool/pre-k curriculum, arts and craft, nap time, and outside play for the infant, toddlers and preschool ages. Our program will combine learning experiences and structured play in a fun, safe and nurturing environment. We will help all the children discover, explore, and learn to their fullest potential.

The school age children will be transported to their appropriate educational facility then transported back to Caterpillar Clubhouse at the appropriate time for a provided snack and help with homework. Our schedule is subject to change when needed; however our routine will remain the same for the majority of day.

My Busy traffic times will be from 7 am to 8 am then 4 pm to 6 pm, with approximately ten (10) cars in that time frame. I will have ample parking to accommodate the parents during the drop off and pickup hours. The outdoor activities will only be in the back playground. There will never be any hazardous, volatile, or chemicals involved or stored on the premises. We will be caring for children while their parents are working and attending school.

If you have further questions please feel free to contact me at (707) 280-1826.

Sincerely

Latasha Curtis



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CATERPILLAR CLUBHOUSE

1241 ANDERSON DRIVE
SUISUN CITY, CA 94585



TOM WILSON ARCHITECT, INC.
920 First Street, Suite 202
Benicia, CA 94510
Tel: (707) 747-1231
www.tw-architects.com



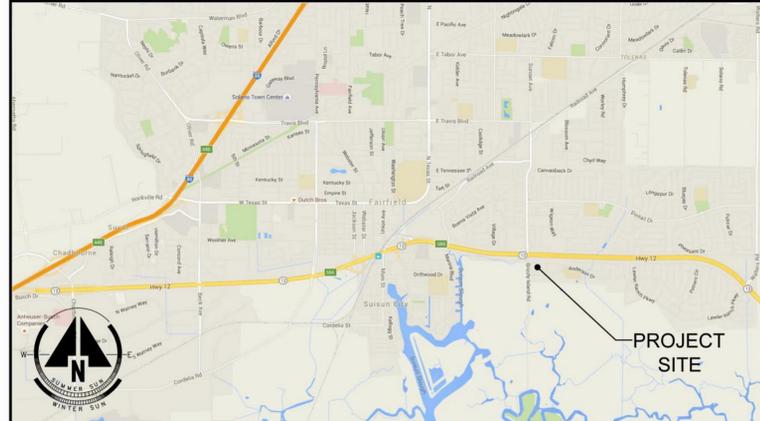
CATERPILLAR CLUBHOUSE
1241 ANDERSON DRIVE
SUISUN CITY, CA 94585

VICINITY MAP

OWNER

ARCHITECT

DRAWING INDEX



3N REALTY ADVISORS, LLC
2401A WATERMAN BLVD., PMB 143
FAIRFIELD, CA 94534
TEL: (707) 421-2304

TWA ARCHITECTS
920 FIRST STREET, SUITE 202
BENICIA, CA 94510
TEL: (707) 747-1231

- DR - 1 COVER SHEET
- DR - 2 PROPOSED SITE PLAN
- DR - 2.1 SITE DETAILS
- DR - 3 FLOOR PLAN
- DR - 4 EXTERIOR ELEVATIONS
- DR - 5 CONCEPTUAL LANDSCAPE PLAN
- DR - 6 GRADING AND DRAINAGE PLAN
- DR - 7 UTILITY PLAN
- DR - 8 PHOTOMETRIC PLAN

SUBMITTED TO

SUBMITTED FOR

CITY OF SUISUN CITY
COMMUNITY DEVELOPMENT DEPARTMENT
701 CIVIC CENTER BLVD.
SUISUN CITY, CA 94585
TEL: (707) 421-7335

SITE PLAN / ARCHITECTURAL REVIEW
JUNE 2016

DATE: 05-26-2016

REV. NO. REV. DATE

1 06-27-16

COVER SHEET

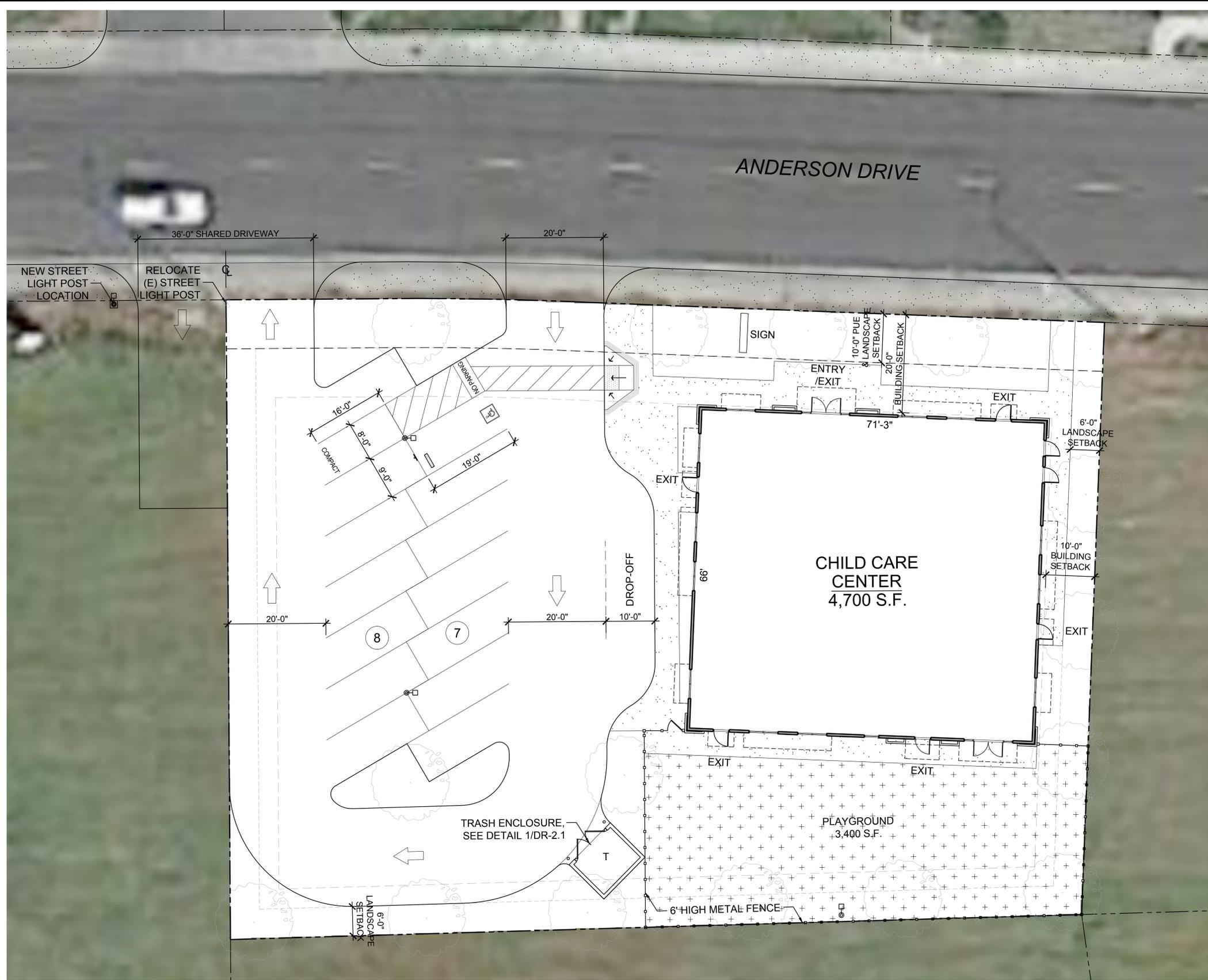
DR - 1

JOB NO.: CCH02

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PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

SITE DATA

| | |
|--------------------------------|-------------------------|
| APN: | 0173-670-210 |
| SITE AREA: | 22,431 S.F. (0.51 AC.) |
| ZONE: | CG (GENERAL COMMERCIAL) |
| BUILDING AREA: | |
| CHILD CARE CENTER COVERAGE | 4,700 S.F. 20.9 % |
| PARKING REQUIRED: | |
| CHILD CARE @ 1 STALL/STAFF (5) | 5 SPACES |
| PLUS 1 STALL/5 CHILDREN (50) | 10 SPACES |
| TOTAL PARKING REQUIRED | 15 SPACES |
| PARKING PROVIDED: | |
| ACCESSIBLE | 1 SPACE |
| STANDARD (9'x19') | 13 SPACES |
| COMPACT (8'x16') | 1 SPACES |
| TOTAL PARKING PROVIDED | 15 SPACES |



TOM WILSON ARCHITECT, INC.
920 First Street, Suite 202
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www.tw-architects.com

CATERPILLAR CLUBHOUSE
1241 ANDERSON DRIVE
SUISUN CITY, CA 94585

DATE: 05-26-2016

REV. NO. REV. DATE

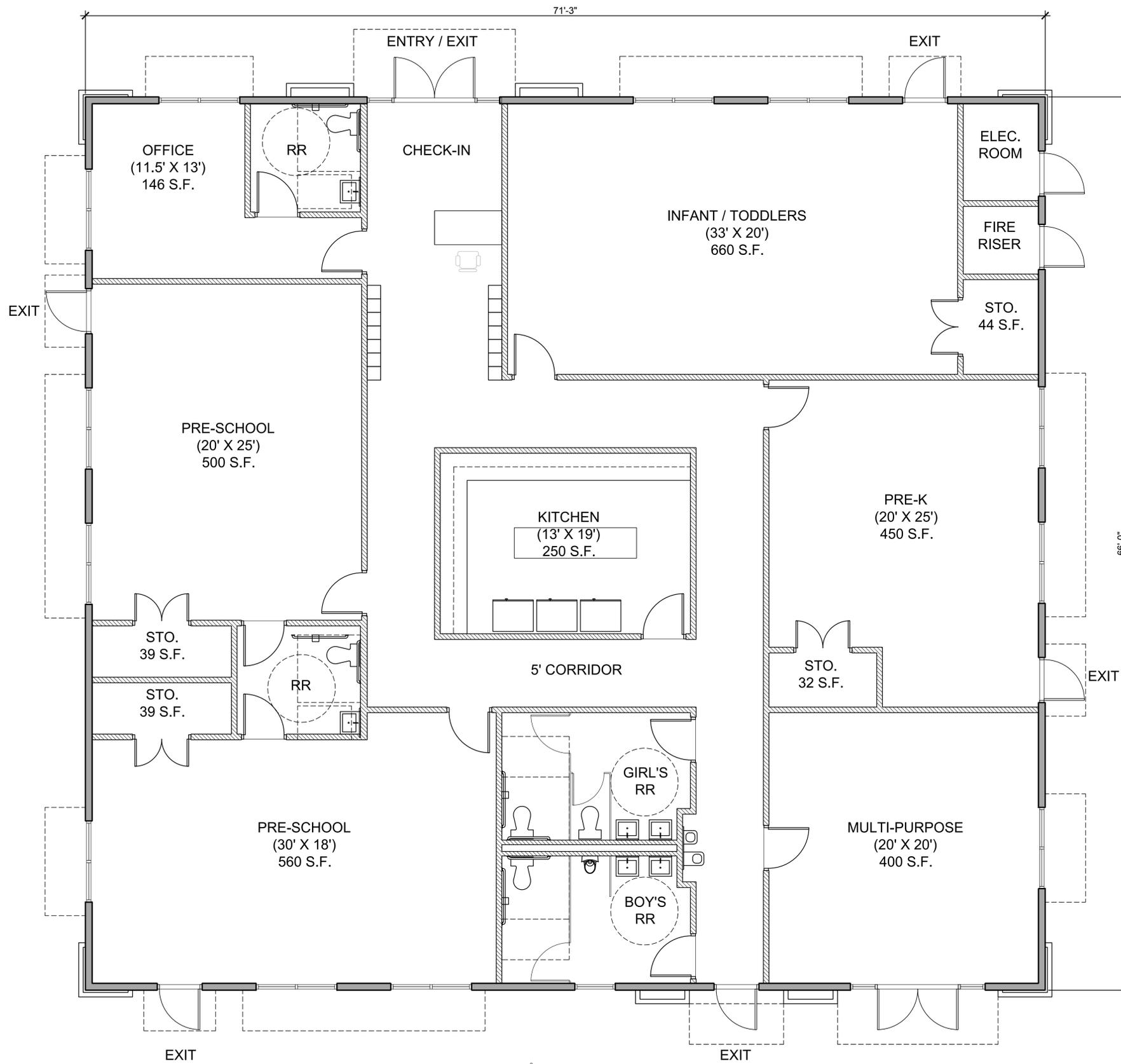
1 06-27-16

PROPOSED
SITE PLAN

DR - 2

JOB NO.: CCH02

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FLOOR PLAN
 SCALE: 1/4" = 1'-0"



TOM WILSON ARCHITECT, INC.
 920 First Street, Suite 202
 Benicia, CA 94510
 Tel: (707) 747-1231
 www.tw-architects.com

CATERPILLAR CLUBHOUSE
1241 ANDERSON DRIVE
SUISUN CITY, CA 94585

DATE: 05-26-2016

| REV. NO. | REV. DATE |
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FLOOR PLAN

DR - 3

JOB NO.: CCH02

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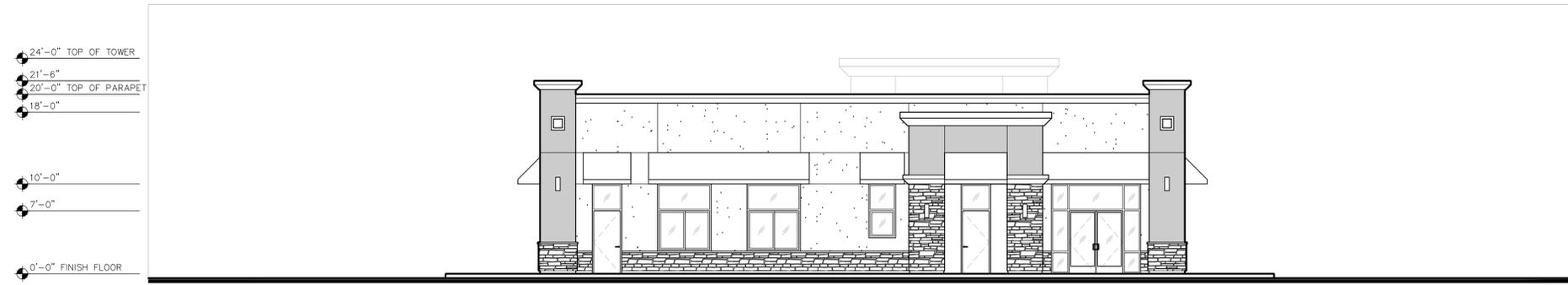
PLOTTED: 7/18/2016 1:42 PM S:\Projects\TVA Projects\CCH - Caterpillar Clubhouse\CCH - Caterpillar Clubhouse\CCH02 - Elevations.dwg by Jill



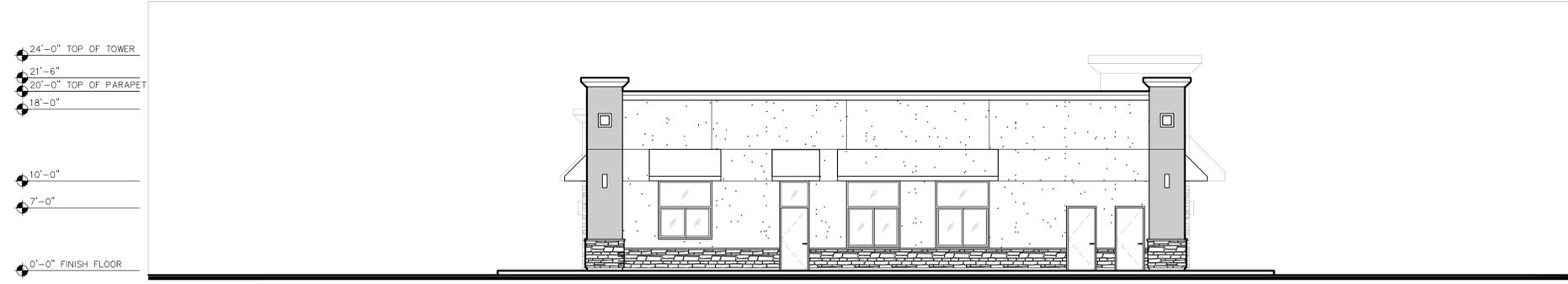
NORTH ELEVATION (ANDERSON DRIVE)
SCALE: 1/8" = 1'-0"



WEST ELEVATION (PARKING)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (PLAYGROUND)
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES & COLORS

| SYMBOL | MATERIAL | MANUFACTURER/COLOR |
|--------|--|--|
| P-1 | PAINT (BODY) | SHERWIN WILLIAMS SW7011 "NATURAL CHOICE" |
| P-2 | PAINT (ACCENT) | SHERWIN WILLIAMS SW7695 "MESA TAN" |
| P-3 | PAINT (CORNICHE) | SHERWIN WILLIAMS SW7547 "SANDBAR" |
| AW-1 | FABRIC AWNING | PRE-FAB AWNING SYSTEM SUNBRELLA "MERIDIAN BRICK" |
| ST-1 | STONE VENEER | EL DORADO MOUNTAIN LEDGE "YUKON" |
| ALU-1 | ALUMINUM STOREFRONT SYSTEM | KAWNEER PERMANODIC "DARK BRONZE ANODIZED" |
| M-1 | STANDING SEAM METAL ROOF (TRASH ENCL.) | AEP SPAN DURATECH "COOL RED" |

TWA ARCHITECT

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Tel: (707) 747-1231
www.tw-architects.com

CATERPILLAR CLUBHOUSE
1241 ANDERSON DRIVE
SUISUN CITY, CA 94585

DATE: 05-26-2016

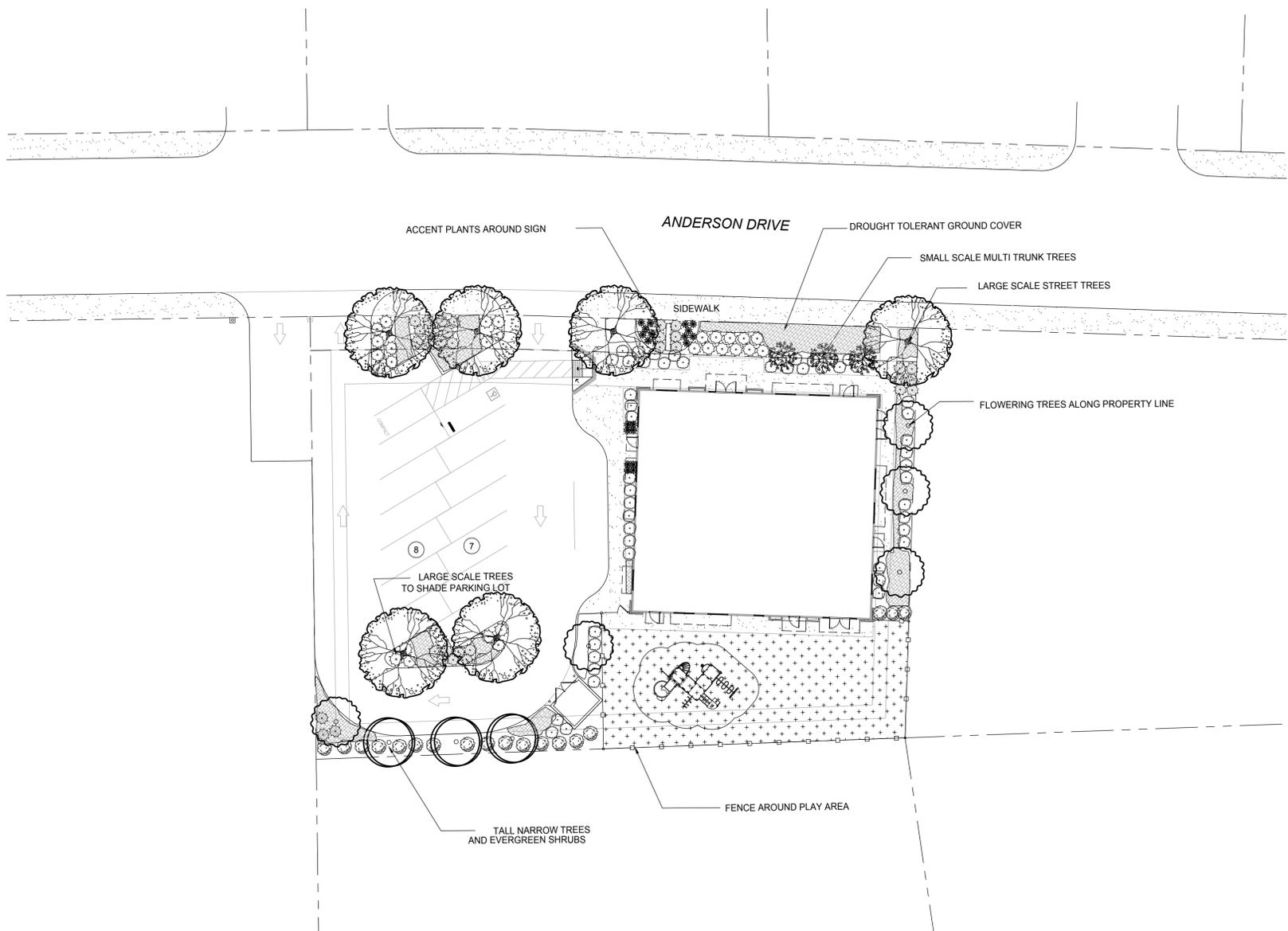
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EXTERIOR ELEVATIONS

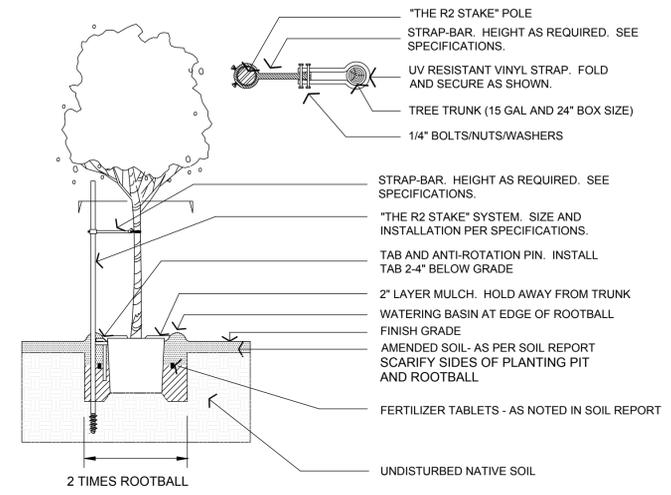
DR - 4

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LANDSCAPE PLANS COMPLY WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AND HAVE APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN. WATER USE CALCULATIONS SHALL BE SUPPLIED WITH CONSTRUCTION DOCUMENTS



NOTES:
 TREE STAKE TO BE LOCATED ON PREVAILING WIND SIDE WHEN TREE IS IN LEAF.
 INSTALL TREE'S ROOTBALL 2" ABOVE FINISH GRADE (ROOT FLARE SHALL BE EXPOSED AT GRADE)

TREE PLANTING AND STAKING DETAIL

CONTACT J. R. PARTNERS @ (888) 333-3090 FOR TREE STAKES

| CONCEPTUAL PLANT LIST | | | | WUCOLS |
|-----------------------|----------------------------------|------------------------------|-----------|---------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | WATER USE | |
| | CARPINUS B. 'FRANS FONTAINE' | NARROW HORNBEAM | | MED / 5 |
| | CERCIS 'OKLAHOMA' | REDBUD | | LOW / 3 |
| | COTINUS COGGYGRIA 'ROYAL PURPLE' | SMOKE TREE | | LOW / 3 |
| | PISTACIA CHINENSIS | CHINESE PISTACHE | | LOW / 3 |
| | BULBINE FRUTESCENS | N.C.N. | | LOW / 3 |
| | CALLISTEMON V. 'LITTLE JOHN' | DWARF BOTTLE BRUSH | | LOW / 3 |
| | COLEONEMA P. 'SUNSET GOLD' | YELLOW LEAF BREATH OF HEAVEN | | MED / 5 |
| | FRANGULA CALIFORNICA | LEATHERLEAF COFFEBERRY | | LOW / 3 |
| | LAVANDULA A. 'BUENA VISTA' | LAVANDULA A. 'BUENA VISTA' | | LOW / 3 |
| | PHORMIUM TENAX 'JACK SPRATT' | DWARF NEW ZEALAND FLAX | | LOW / 3 |
| | PLUMBAGO CAPENSIS | CAPE PLUMBAGO | | LOW / 3 |
| | SALVIA 'HEATWAVE SERIES' | FLOWERING SAGE | | LOW / 3 |
| | TEUCRIUM F. 'COMPACTUM' | BUSH GERMANDER | | LOW / 3 |
| | HELICTOTRICHON SEMPERVIRENS | BLUE OAT GRASS | | LOW / 3 |
| | LOMANDRA LONGIFOLIA | MAT RUSH | | LOW / 3 |

GENERAL LANDSCAPE NOTES

ALL LANDSCAPE AREA SHALL BE WATERED WITH A BURIED, AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM. LOW VOLUME, MPR NOZZLES AND DRIP WILL BE USED WHERE APPROPRIATE FOR WATER CONSERVATION.

ALL LANDSCAPE AREAS SHALL BE COVERED WITH A 3" LAYER OF BARK MULCH TOP DRESSING.

ALL TREES SHALL BE INSTALLED AT A MINIMUM OF 15 GAL. SIZE. ALL SHRUBS SHALL BE INSTALLED AT A 5 GAL. SIZE, EXCEPT ACCENT AND GROUND COVER SHRUBS.



CONCEPTUAL LANDSCAPE PLAN

SCALE: 1" = 20'-0"



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 LANDSCAPE ARCHITECTS
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 Martinez, California 94553
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 FAX: 925/572-5308

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 1241 ANDERSON DRIVE
 SUISUN CITY, CA 94585

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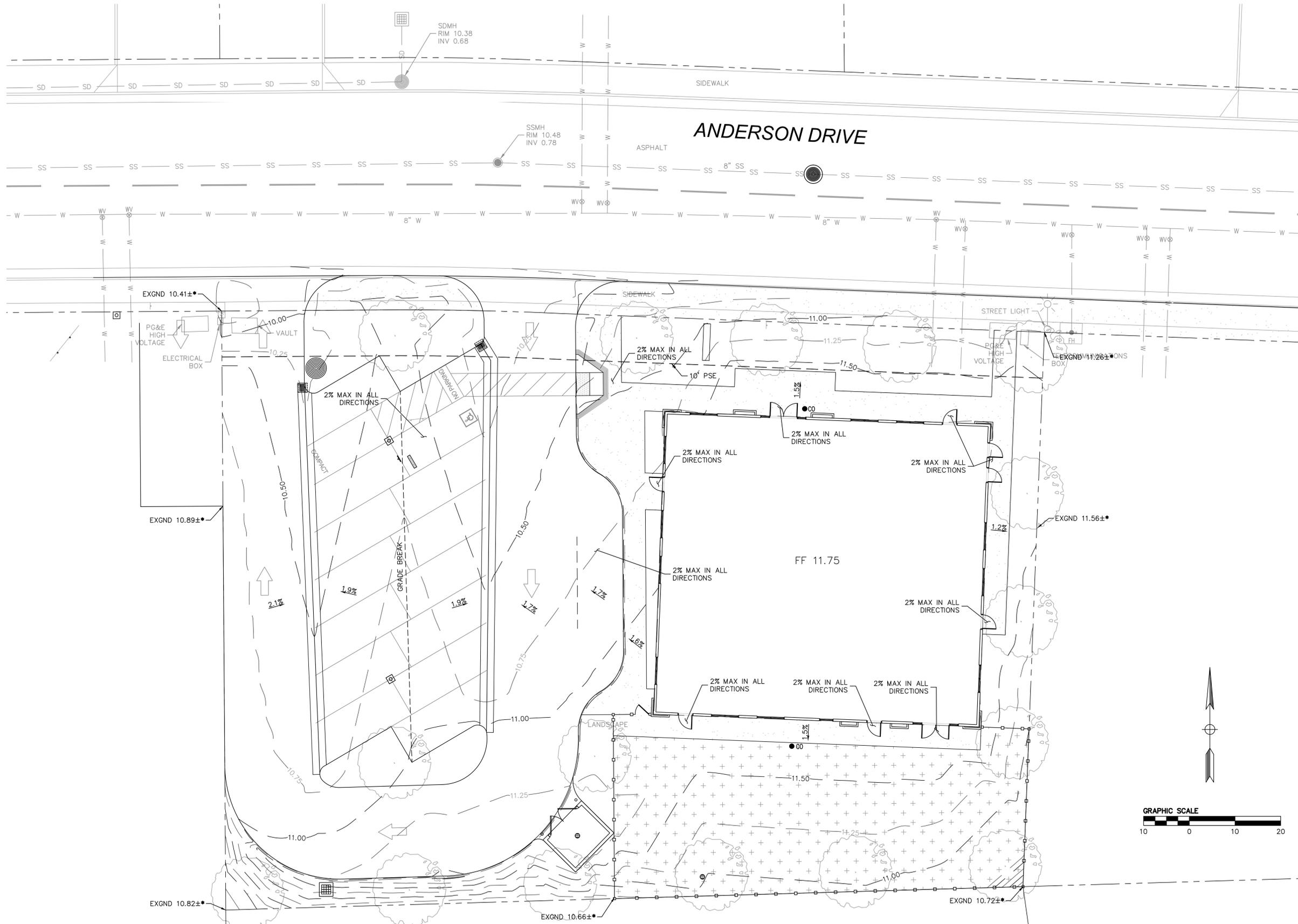
CONCEPTUAL LANDSCAPE PLAN

DR - 5

JOB NO.: CCH02

PLOTED: 7/26/2016 2:03 PM S:\Projects\TV4 Projects\CCH - Caterpillar Clubhouse\CCH02 (Suisun City)\Drawings\DR-dwg\CCH02_DR-05 (Landscape Plan).dwg by Chris

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DATE: 05-27-2016

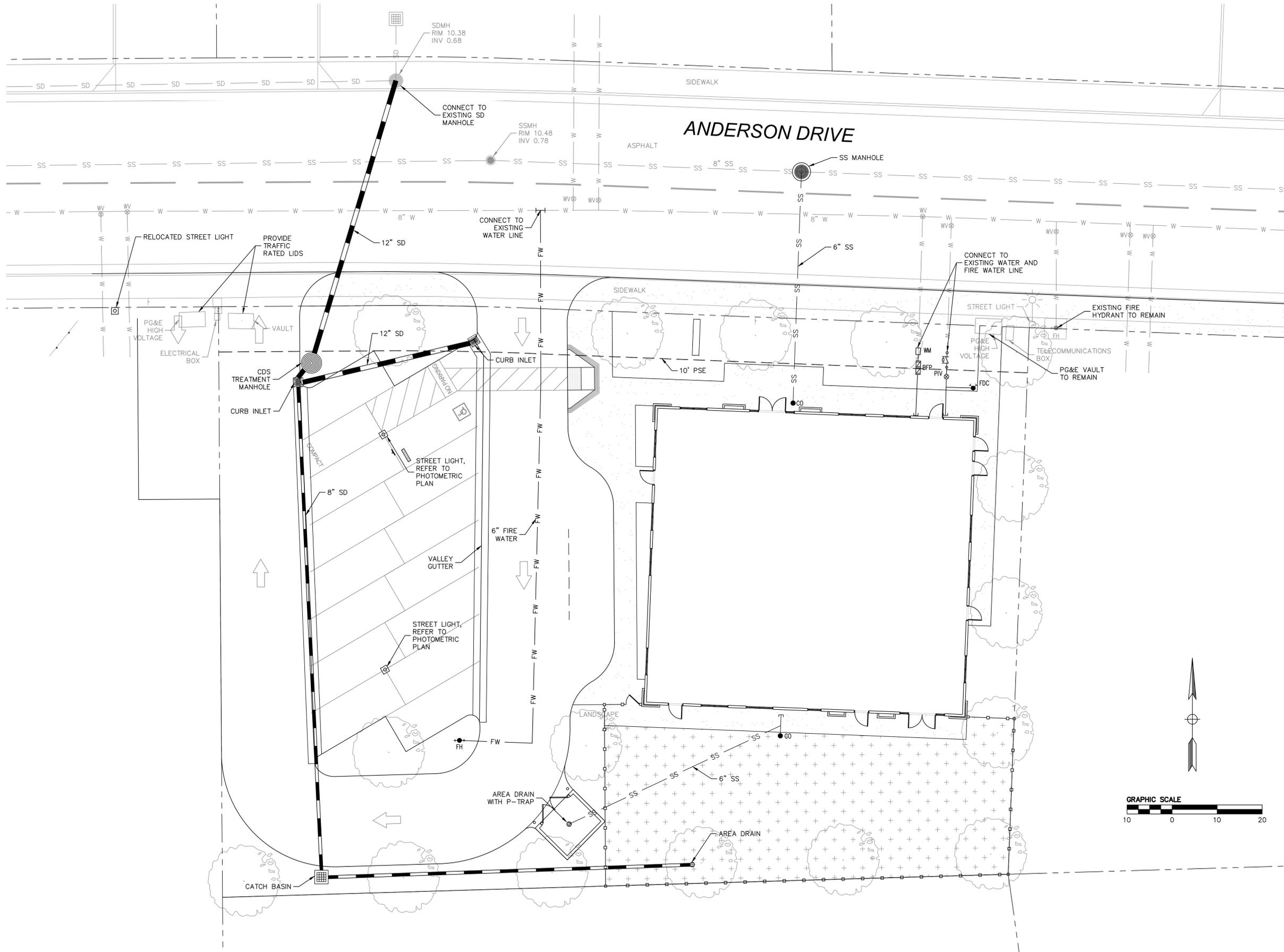
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PRELIMINARY
GRADING AND
DRAINAGE PLAN

DR-6

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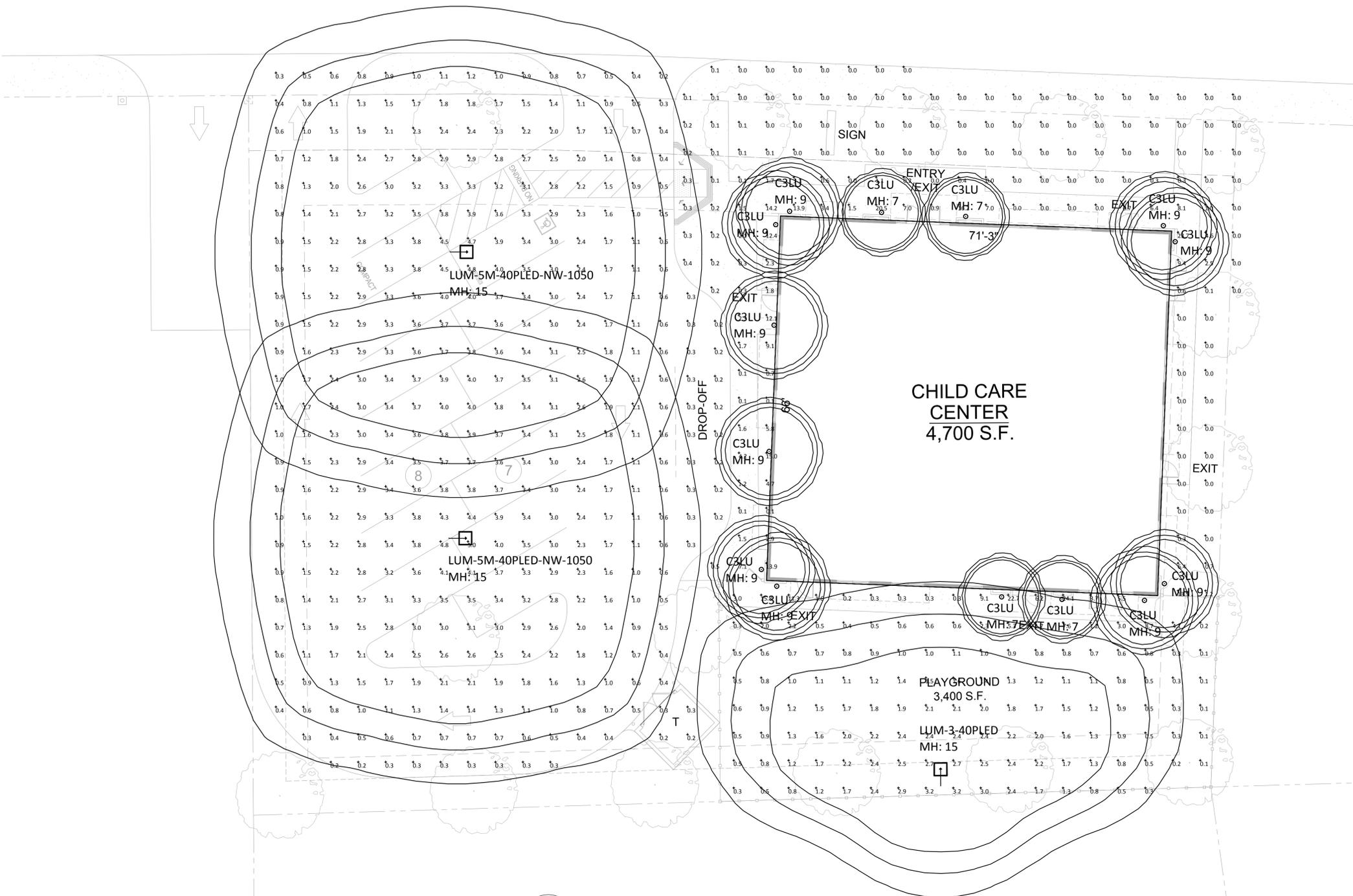
PRELIMINARY
UTILITY PLAN

DR-7

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ANDERSON DRIVE



PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"



CORE 300 LX
up + down sconce
WALL SCONCE:
7 FEET HIGH AT ENTRY/EXITS,
AND 9 FEET HIGH AT CORNERS



SOLID STATE AREA LIGHTING
LUM SERIES-PLED
POLE MOUNTED FIXTURES AT 15 FEET HIGH

FILE NAME:
Day Care Facility_DT_7-20-16.AGI
CALCS BY:
CAIN BOULDEN
VOICE: (510) 499-9313
cain@lgtsys.com
SALES CONTACT:
DAN THOMPSON
(510) 982-3923
dant@lgtsys.com

| Luminaire Schedule | | | | | | |
|--------------------|-----|-----------------------|--|-------|-------------|------------|
| Symbol | Qty | Label | Description | LLF | Lum. Lumens | Lum. Watts |
| + | 1 | LUM-3-40PLED | US Architectural LUM-III-40PLED-350mA-NW | 0.903 | 5089 | 43.4 |
| + | 2 | LUM-5M-40PLED-NW-1050 | US Architectural LUM-V-SQ-M-40PLED-1050mA-NW | 0.903 | 11791 | 143.1 |
| ○ | 14 | C3LU | V2 Lighting C3LU-xxxW-13833560-07833520-xx | 0.903 | 1199 | 18 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|------|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| Building Perimeter | Illuminance | Fc | 1.59 | 23.7 | 0.0 | N.A. | N.A. |
| Parking | Illuminance | Fc | 1.99 | 5.0 | 0.2 | 9.95 | 25.00 |
| Playground | Illuminance | Fc | 2.04 | 24.1 | 0.1 | 20.40 | 241.00 |

This report attempts to approximate the maintained light levels and is based on the information provided to Lighting Systems. Please verify data to ensure accuracy of the report. Many factors that can affect field-measured lighting levels cannot be anticipated in the calculation and as such Lighting Systems cannot warranty lighting levels.



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CATERPILLAR CLUBHOUSE
1241 ANDERSON DRIVE
SUISUN CITY, CA 94585

DATE: 05-26-2016

REV. NO. REV. DATE

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| ▲ | 06-27-16 |
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PHOTOMETRIC PLAN

DR - 8

JOB NO.: CCH02

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