

AGENDA
REGULAR MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., MARCH 27, 2012

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC12-01

1. ROLL CALL:

Chairperson Clemente
Vice-Chair Wade
Commissioner Adeva
Commissioner Harris
Commissioner Holzwarth
Commissioner Mirador
Commissioner Ramos

2. ANNOUNCEMENTS:

None

3. MINUTES:

Approval of December 13, 2011, Planning Commission Minutes.

4. AUDIENCE COMMUNICATIONS:

This is a time for public comments for items that are not listed on this agenda. Comments should be brief. If you have an item that will require extended discussion, please request the item be scheduled on a future agenda.

5. PUBLIC HEARINGS:

For each of the following items, the public will be given an opportunity to speak. After a Staff Report, the Chair will open the Public Hearing. At that time, the applicant will be allowed to make a presentation. Members of the public will then be allowed to speak. After all have spoken, the applicant is allowed to respond to issues raised by the public, after which the Public Hearing is normally closed. Comments should be brief and to the point. The Chair reserves the right to limit repetitious or non-related comments. The public is reminded that all decisions of the Planning Commission are appealable to the City Council by filing a written Notice of Appeal with the City Clerk within ten (10) calendar days.

- A. **A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-007 to Allow a Church and Associated Activities at 40 Buena Vista, APN 0032-412-050.**
 - **Adoption of Resolution No. PC12-___-.**

- B. **A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. 11/12-006 to Allow a Warehouse Use and Site Plan/Architectural Review Application No. 11/12-004 for Exterior Improvements to the Buildings at 1101 Anderson Drive, APN APN 0173-670-320.**
 - **Adoption of Resolution No. PC12-___-.**

6. GENERAL BUSINESS: Action to be taken where appropriate.

General Plan Update

7. COMMUNICATIONS:

- A. **Staff**
- B. **Commissioners**
- C. **Agenda Forecast**

8. ADJOURN.

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MINUTES
REGULAR MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., December 13, 2011

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC11-20

1. ROLL CALL:

Chairperson Clemente
Vice-Chair Wade
Commissioner Adeva
Commissioner Harris
Commissioner Holzwarth
Commissioner Mirador

Commissioner Ramos arrived at 7:05 PM

2. ANNOUNCEMENTS:

None

3. MINUTES:

Commissioner Wade asked about the comments for Main Street Bar and Grill being included in the minutes. Ms. Wooden explained that they were not to part of the Public Hearing as the hearing was closed but were part of the official record.

Commissioner Wade moved to approve the November 29, 2011 Planning Commission Minutes. Motion seconded by Commissioner Harris. Motion passed 7-0.

4. AUDIENCE COMMUNICATIONS:

None

5. PUBLIC HEARINGS:

A. A Resolution of the City of Suisun City Planning Commission Regarding Review of Conditional Use Permit No. UP09/10-003, Including Conditions of Approval, for the Continued Operation of a Nightclub at 325 Main Street, APN 0032-052-220

John Kearns presented the staff report. Mr. Kearns explained that this item was originally before the Commission on August 11, 2009. Two subsequent reviews occurred on February 23, 2010 and December 14, 2011. Staff met with the Police Department and collected information that two complaints were received regarding noise-related concerns. Staff proposes changes to the following conditions of approval for the purposes of clarity and consistency with similar Conditional Use Permits in the downtown area:

- (1) Condition #3 to include language that includes regulation of additional special or "after hours" events; and
- (2) Condition #7 to include language that a standard regarding low-bass frequency should be included in the current process of update and amendment of Title 18 of the Municipal Code requiring the CUP to conform with the standard upon adoption.
- (3) Condition #14 to increase the review period to two (2) years.

Chairperson Clemente opened the Public Hearing.

Ramses Solis, owner of La Cabana, spoke in favor of his restaurant and nightclub.

The Commission asked Mr. Solis to clarify his operating hours, the hours the kitchen would be in operation, and security provided.

Commissioner Harris pointed out that the Resolution actually had 17 conditions rather than the 16 listed in the beginning of the resolution and that the Resolution should be amended to correct this.

There being no further comments Chairperson Clemente closed the Public Hearing.

Commissioner Holzwarth inquired whether Mr. Solis would have to continue to come back for reviews. He would like to waive the review with the understanding that if there were complaints then it would have to come back before the Commission.

Commissioner Holzwarth moved to adopt Resolution No. PC 11-20 with the removal of Condition No. 14 as it relates to length of review. Commissioner Ramos seconded the motion. Motion passed 7-0.

B. A Resolution of the City of Suisun City Planning Commission Considering Approval of Conditional Use Permit No. UP11/2-004, to Allow an Emergency Shelter for up to Twenty-one (21) days for a Maximum of Six (6) Youths Ages 13-17 at 300 Railroad Avenue, APN 0037-160-100

Mr. Kearns presented the staff report. He explained that Vintage Landscape Service closed their business at this location at the end of 2008 and, because of the commercial service designation, it has been difficult for the owners to find a tenant. Mr. Kearns stated the applicant, Children in the Need of Hugs (CINOH) is a non-profit organization, funded by the United States Department of Health and Human Services, Family and Youth Services Bureau, to provide a safe, stable, and nurturing living environment for youth at risk of running away from home or who are homeless in Solano County.

Mr. Kearns stated that the organization received grant funding to open a Basic Center Program. CINOH will provide food, showers, and clothing; individual group and family counseling; referral services for health care and drug abuse; and tutoring, workshops, life, vocational, and educational skills with the goal to reunite the youth with his/her family or guardian or to locate appropriate alternative placement.

Chairperson Clemente opened the Public Hearing.

Lorraine Hartgrave, applicant, spoke about the grant funding that was received to open a Basic Center Program to provide support services for at risk youth ages 13-17. She explained that the facility would be staffed 24/7 with case managers. She stated that CINOH would provide emergency shelter for up to 21 days for no more than 6 youth at a time.

Ms. Hartgrave answered Commission questions regarding number of youth at facility at one time; the length of the grant; number of dedicated bedrooms; volunteer program; requirement to notify Police if a youth arrives drunk or on drugs; number of meals provided each day; and shower facilities.

Hearing no further comments, Chairperson Clemente closed the Public Hearing.

Commissioner Mirador moved to approve Resolution No. PC11-21. Commissioner Adeva seconded the motion. Motion passed 7-0.

6. GENERAL BUSINESS: Action to be taken where appropriate.

General Plan Update

Mr. Kearns stated that following the Council adoption of a Preferred Land Use Alternative, staff and the consultant began working on the environmental process for the Notice of Preparation (NOP) for the EIR. He explained that the purpose of the NOP is to solicit comments from outside agencies and the public on the scope of the EIR. He further stated staff and the consultant were finishing review of the comments received and following up with commenters as necessary for purposes of clarification. Once that process is completed, work on the EIR will begin. It is anticipated that a Draft EIR will be available for public review in Spring 2012.

7. COMMUNICATIONS:

- A. **Staff:** Ms. Wooden stated that the Commission had been given a copy of her email indicating that she had obtained copies of leases for Mr. Kingeter and has not heard from him on the matter. The copies are available should he come in to pick them up. Ms. Wooden stated that all requests for public documents must be in writing and that Mr. Kingeter has been informed of such on several occasions. Commissioner Harris asked about the process for request for public documents. Ms. Wooden stated that requests should definitely be written and submitted to the City Clerk. Commissioner Harris asked if there was protocol to stop him or anyone if their comments get off track. Ms. Wooden explained that the Chair had the authority to stop them if their comments no longer pertained to the item being discussed.

John Kearns stated that the Grizzly Island Project was still moving forward. He also stated that he made a presentation to the Fairfield Kiwanis and members were very interested in The Salvation Army project. Mr. Kearns also stated that city staff had met with Wal-Mart engineers. They were interested in updating their permit fees so that once they received final approval from the Regional Water Quality Control Board they wanted to be ready to move forward to the building permit stage.

- B. **Commissioners:** Commissioner Mirador voiced concerns about the amount of parking being utilized by In Shape and felt that the City would start to hear from surrounding businesses.
- C. **Agenda Forecast:** Ms. Wooden wished everyone a Merry Christmas, Happy New Year, and stated on behalf of the staff that it has been an enjoyable working relationship. She stated that the next meeting would probably be sometime in January 2012.

8. ADJOURN.

There being no further business the meeting was adjourned at 8:26 pm.

Anita Skinner, Commission Secretary

AGENDA TRANSMITTAL

MEETING DATE: March 27, 2012

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Resolution PC12-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-007 to Allow a Church and Associated Activities at 40 Buena Vista, APN 0032-412-050

APPLICANT: Fairfield Spanish SDA Church
1101 E. Tabor Avenue
Fairfield, CA 94533

OWNER: JMJ Management
1007 Loma Linda Drive
Klamath Falls, OR 97601

SITE DATA:

- (1) General Plan/Zoning: High Density Residential (RH)/High Density Residential (RH)
- (2) Site Configuration: 28,101 square feet (irregular)
- (3) Surrounding Land Use:
 - North- Existing church
 - South- Vacant
 - West- Vacant
 - East- Residential

ENVIRONMENTAL REVIEW: This project is categorically exempt from the California Environmental Quality Act (CEQA), under Section 15301, Existing Facilities.

BACKGROUND: In the mid-1980's, a childcare facility, Kindercare, was established on this site and operated until 2009 at which time the operation closed. Since the childcare facility left this location, the building has been vacant and available for occupancy. Additionally, since its vacancy, both the Planning Department and the Building Department have provided site walk-throughs for potential users in order to facilitate occupancy. A shared-parking agreement that provides that each building has use of the parking area was recorded with the Solano County Recorder's office in 1987.

STAFF REPORT: Representatives of Fairfield Spanish Seventh-Day Adventist (SDA) Church approached staff regarding use of the former Kindercare facility, located at 40 Buena Vista Avenue, as a location for their congregation. Staff explained that a conditional use permit application would need to be considered by the Planning Commission.

PREPARED BY:
REVIEWED BY:

John Kearns, Associate Planner
April Wooden, Community Development Director

The applicant is a church that includes a congregation of approximately 100 members and they currently congregate in a location within City of Fairfield. The applicant intends to use the currently vacant building as a place of worship and to serve the communities of Suisun City and Fairfield and make significant contributions in a variety of ways.

The building is approximately 6,000 square feet and includes some larger rooms as well as a kitchen and smaller office space. The applicant has provided a proposed floor plan, found in Attachment 2, which illustrates how the building is to be used. Additionally, the “shared” parking lot adjacent to this site and First Christian Church totals 65 parking spaces.

The hours and days of the proposed operation (as provided by the applicant) are:

- Tuesdays from 7 p.m. - 8:30 p.m; and
- Saturdays “all day”

By comparison, First Christian Church holds worship service on Sundays and has ancillary services during the evening hours on weekdays.

Suisun City Zoning Ordinance

Section 18.12.025 “Conditional Uses” lists “Church” as a conditional use within the High-Density Residential Zoning District.

Section 18.66.200 “Church, Museum, or Welfare Institution” reads “A church, museum or welfare institution in any R district shall be located on a principal street on a minimum one-half acre parcel, and in all districts shall maintain a minimum ten-foot-wide landscaped strip on all property lines abutting residential districts, and shall provide parking as required in Chapter 18.52.”

The proposed use meets the above criteria.

Regarding required parking, Section 18.52.040.6 “Places of Assembly” subsection (f) of the Suisun City Municipal Code (SCMC) states: “Churches and other places of assembly not specified in this subsection, one space for each four fixed seats within the main auditorium or one for each thirty-five square feet of seating area within the main auditorium where there are not fixed seats; twenty-four linear inches of bench shall be considered a fixed seat”.

The submitted floor plan shows approximately 1/3 of the building being used as “worship space”. At this time, the applicant is not proposing fixed seating, but instead a more flexible seating arrangement. Consequently, the standard that applies is one parking space for each thirty-five square feet of seating area within the main auditorium. Fifty-seven (57) parking spaces would be required. There are 65 parking spaces available and a shared parking agreement is in place. Since a conditional of approval requires the hours of operation for the proposed use to be off-set from those of the existing adjacent church, staff believes that available parking is adequate. in addressing the needs of the proposed use.

Required Findings

In order for the Planning Commission to approve the Conditional Use Permit the following findings must be made:

- A. That the establishment, maintenance, or operation of the use applied for is in conformity with the general plan for the city with regard to traffic circulation, population densities and distribution, and/or other aspects of the General Plan considered by the zoning administrator to be pertinent because the use of the building as a church is consistent with the residential General Plan and zoning designations.
- B. That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided because it is an existing facility.
- C. That the applicant exhibits proof that such use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city, provided that if any proposed building or use is necessary for the public health, safety or general welfare, the finding shall be to that effect, because use as a church, with the conditions of approval, will not create impacts that would be detrimental or injurious. The proposed use is conditionally permitted, pursuant to the General Plan and Title 18 of the Municipal Code. The proposed use as conditioned is consistent with the General Plan. With the imposition of the recommended conditions designed to preclude adverse impacts from the proposed use, the conditional use will not be detrimental to the public health, safety, or welfare of persons residing or working in the area, nor will it be detrimental to the general welfare of the City.
- D. The proposed use is categorically exempt from the requirements of CEQA per Section 15301: Existing Facilities.

Should the City receive numerous complaints regarding the operation, the Planning Commission may review the CUP to determine whether additional conditions should be imposed or whether the use permit should be revoked. The Conditions of approval can be found as part of the accompanying resolution.

STAFF RECOMMENDATION: Adopt Resolution PC12-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-007 to Allow a Church and Associated Activities at 40 Buena Vista, APN 0032-412-050;

ATTACHMENTS:

1. Resolution PC12-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-007 to Allow a Church and Associated Activities at 40 Buena Vista, APN 0032-412-050;
2. Application Materials

RESOLUTION NO. PC12-

**A RESOLUTION OF THE CITY OF SUISUN CITY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT APPLICATION NO. UP11/12-007
TO ALLOW A CHURCH AND ASSOCIATED ACTIVITIES AT 40 BUENA VISTA AVENUE**

WHEREAS, the Planning Commission at a regular meeting on March 27, 2012 did review its Conditional Use Permit Application No. 11/12-007 to allow a church and associated activities at 40 Buena Vista Avenue; and

WHEREAS, the public notice was published in the Daily Republic on March 17, 2012; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, the applicant and members of the public were present to speak on the application; and

WHEREAS, The Conditional Use Permit application is exempt from the analysis required by the State of California Environmental Quality Act (CEQA) under Section 15301 Existing Facilities; and

WHEREAS, based on evidence presented at the Public Hearing by City Staff, the applicant, the public and Commissioners, the following Findings are hereby made:

In order for the Planning Commission to approve the conditional use permit the following findings must be made:

1. The proposed location of the use is consistent with the Goals, Objectives and Policies of the City's Zoning Ordinance and the purposes of the zoning district in which the site is located.
2. The proposed location of the Conditional Use and the proposed conditions under which it would be operated and maintained are consistent with the General Plan.
3. The proposed use will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, or to the general welfare of the City.
4. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15301: Existing Facilities.
5. The conditions of approval will be effective and efficient when placed on this use at this location.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby adopt Resolution PC12- ; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-007 to allow a church and associated activities at 40 Buena Vista Avenue, subject to the following Conditions and all other Suisun City Codes and Ordinances, state and federal law:

- 1.) Operation of the facility shall be in conformance with all federal, state, and local laws and regulations.
- 2.) Applicant shall obtain a building permit prior to commencing any work requiring such a permit.

- 3.) Days and hours of operation shall conform to information provided to and approved by the Planning Commission as a part of Conditional Use Permit No. 11/12-007.
- 4.) The applicant shall notify Planning Department staff at least fourteen (14) days in advance of any "special event" at which more than 100 visitors are anticipated to be present in order to provide for additional coordination between the City and the on-site uses.
- 5.) A sign permit shall be applied for, reviewed and approved by the Community Development Director, and issued prior to erection of any signage on-site.

The forgoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

WITNESS my hand and the seal of said City this 27th day of March 2012

Anita Skinner
Commission Secretary

Photos-40 Buena Vista Avenue





Fairfield Spanish Seventh-Day Adventist Church
1101 East Tabor Ave. Fairfield, CA 94533. PO Box 2018

January 19, 2012

CITY OF SUISUN CITY
COMMUNITY DEVELOPMENT DEPARTMENT

To Whom It May Concern:

Dear officers of the city,

We are a small Christian congregation of about 100 people and are part of the Seventh Day Adventist Denomination. Our official name is Fairfield Spanish Seventh-Day Adventist Church. Currently we are purchasing a building located on 40 Buena vista Dr. in Suisun City. Our objective is to dedicate this building as a place of worship since in the present time we do not count with a facility of our own.

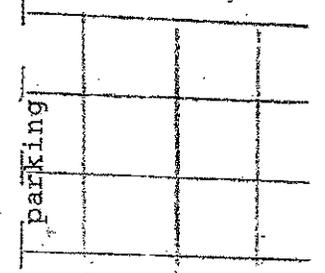
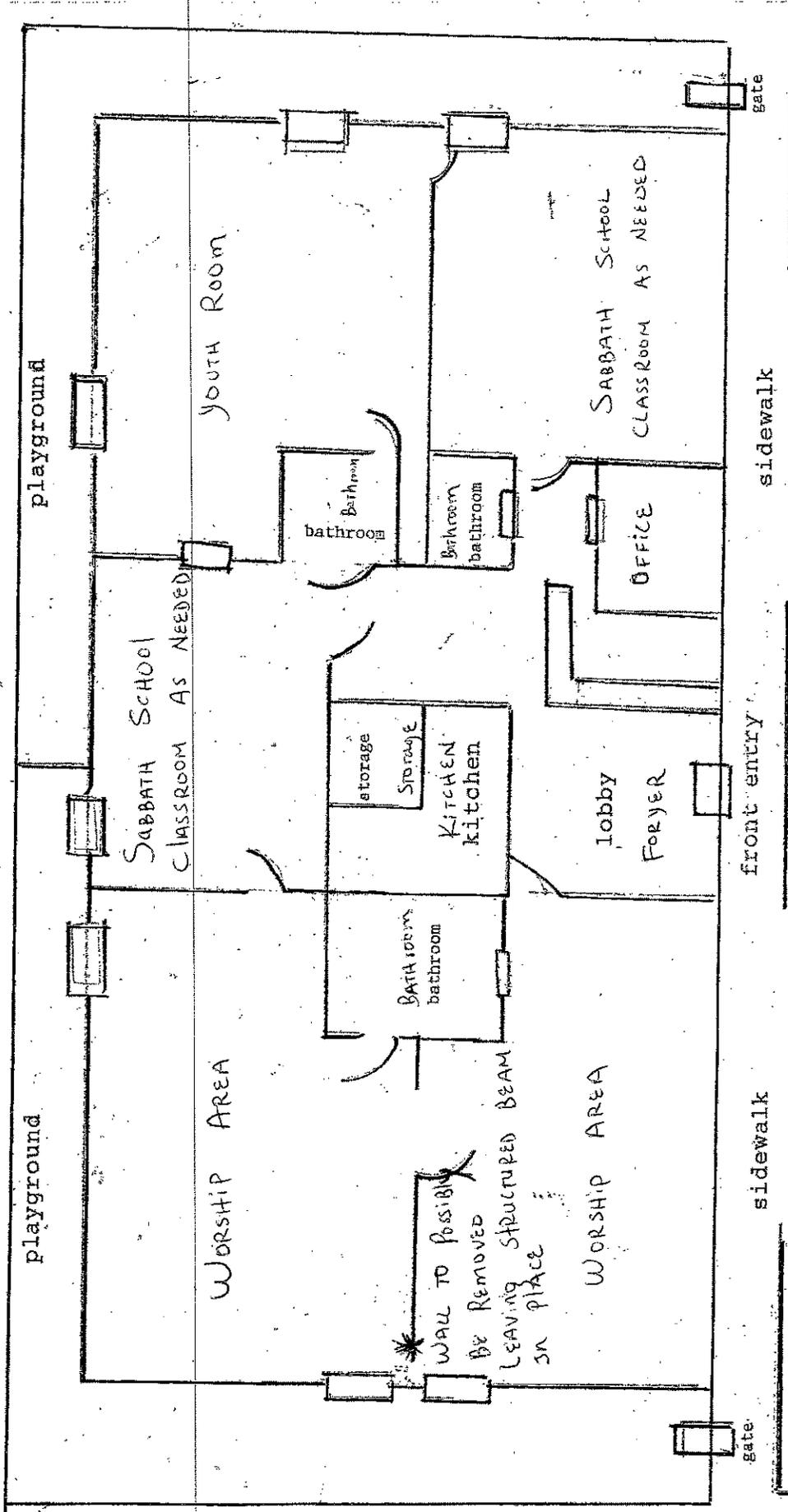
Our objective is to serve the community of Suisun and Fairfield and we would like to make a significant contribution through different ministry and programs that includes: the young people, the homeless, the poor and people with other special needs.

Our request and desire is that, the city grant us the necessary permit in order to start using this building for worship services. This building has been used as a daycare, and it counts with a significant amount of parking space, and in our estimation, it counts with all the necessary elements to be used as a place of religious gathering. We thank you in advance for your attention to this request. If you have any question, please do not hesitate to call me at 925-787-5632. Thank you,

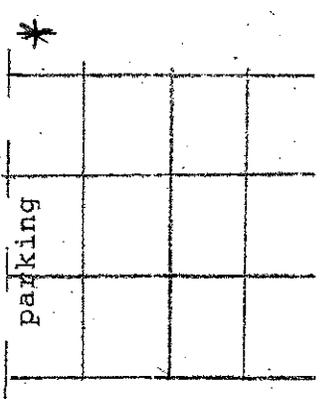
The hours of use will be on the following day and hours:
- Tuesdays - 7 - 8:30 PM.
- Saturdays - All day. P.M.

In your service,

Paul Guevara,
Pastor.



* NOTE THAT THE ONLY STRUCTURAL CHANGE AT THIS POINT WILL POSSIBLY BE THE REMOVAL OF A WALL IN ORDER TO INCREASE THE SIZE OF THE WORSHIP AREA.



AGENDA TRANSMITTAL

MEETING DATE: March 27, 2012

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Resolution PC12-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. 11/12-006 to Allow a Warehouse Use and Site Plan/Architectural Review Application No. 11/12-004 for Exterior Improvements to the Buildings at 1101 Anderson Drive, APN APN 0173-670-320

APPLICANT/OWNER: Greg Lyon
P.O. Box 8
Alamo, CA 94507

ARCHITECT: Thomas Bouffard
419 Mason Street Suite 215
Vacaville, CA 95688

SITE DATA:

1. General Plan Designation: Planned Unit Development (PUD)
 2. Zoning Designation Designation: General Commercial (GC)
 3. Site Area Configuration: 35,726 square foot lot
 4. Surrounding Zoning/Land Use:
 - North: General Commercial/Vacant
 - South: Residential-Medium/Crescent Elementary School
 - West: General Commercial/Vacant
 - East: Residential-Medium/Residential homes
-

ENVIRONMENTAL REVIEW: This project is categorically exempt from the California Environmental Quality Act (CEQA), under Section 15301, Existing Facilities.

BACKGROUND: In March 2007, the Planning Commission approved (with conditions) a 2,100-square-foot car wash facility and 1,975-square-foot retail shell building at 1101 Anderson Drive. Construction commenced soon after and both buildings were nearly completed. Additionally, much of the site work was completed, but the parking lot was left unfinished and the landscaping still to be installed, before construction ceased in late 2008. The property was subsequently foreclosed on. In 2011, the property was purchased by the current owner who has plans of finishing development of the site and beginning use (although differently from the prior planned use). One commonality between the original Planning Commission approved project and the modifications being proposed is that the same architect, Thomas Bouffard, is being used.

STAFF REPORT: The owner and his architect approached staff regarding the possibility of changing the prior car wash use to a “warehouse” with ancillary office and reception spaces and

PREPARED BY:
REVIEWED BY:

John Kearns, Associate Planner
April Wooden, Community Development Director

the retail building to a coffee shop. A warehouse is listed as a use requiring submittal of a conditional use permit to be considered by the Planning Commission, while a coffee shop use is listed as permitted.

Exterior and Site Modifications

With the change in use from a car wash to warehouse an additional twelve (12) parking spaces are being proposed including four each directly north, south and northwest of the proposed warehouse use. In addition to the new parking spaces, new storefront systems will replace each of the existing roll-up doors on the north side of the former car wash building and two of the three on the south side (one new roll-up door is proposed on the south side). Architecturally, staff believes that the proposed modifications are generally consistent with the Lawler Ranch Commercial Design Guidelines and the Planning Commission approval of 2007. Limiting the number of roll-up doors on-site is found by staff to be more appropriate for the location. Lastly, new access will be provided around this building with a new concrete sidewalk.

Suisun City Zoning Ordinance and Lawler Ranch Commercial Design Guidelines

Section 18.28.030 (J.)“Conditional Uses” reads “Other Uses listed as permitted within the CS zone but not listed as permitted in this section.” Because Section 18.26.020 (E.) lists **Warehouses** as a permitted use, staff determined that a warehouse use would be conditionally permitted in the General Commercial Zoning District.

Use	Sq. Footage
Reception	152
Office	62
Warehouse	1,176
Storage	158

According to the Lawler Ranch Commercial Design Guidelines, parking is to be provided at one space per every 250 square feet of gross building square footage. Currently, the applicant is proposing 21 parking spaces and 16 are required per the Lawler Ranch Commercial Design Guidelines. Below is a breakdown of the proposed parking and how it compares to the requirements of the LRCDG:

Use	Square feet	Spaced Provided	Spaces Required Per LRCDG
*Warehouse (total)	2,100	12	8
Coffee Shop	1,975	9	8
Total	4,075 sq. feet	21	16

*This includes primary warehouse space, offices, reception area, and storage space.

Proposed Findings for Planning Commission Consideration

1. Notice has been given in the time and in the manner required by State Law and

City Code because a public notice was published on March 17, 2012 in the *Daily Republic* newspaper and mailed to surrounding property owners on March 17, 2012.

2. That the proposed project, when subject to the conditions will not conflict with the Goals, Objectives, and Policies of the General Plan, the purposes of the zoning district in which the site is located, and the regulations within the Lawler Ranch Commercial Design Guidelines because the General Commercial General Plan designation and General Commercial Zoning classification as well as the Lawler Ranch Commercial Design Guidelines either permit or conditionally permit these types of uses in this area and the proposed improvements meet the purpose of the zoning district.
3. That the proposed project and its uses, when subject to the conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, or to the general welfare of the City, because the project's design in regard to exterior treatments of the building are designed to soften the impact of the proposed construction.
4. That the proposed project has been considered through both Conditional Use Permit and Site Plan /Architectural Review process as required by Suisun Zoning Ordinance as the public hearing took place on March 27th and testimony and materials were considered by the Planning Commission prior to adoption of the resolution.
5. The project is exempt from the California Environmental Quality Act (CEQA) per Section 15301: Existing Facilities because the building was approved in 2007 by the Planning Commission and no additional square footage is being proposed.

Conditions of Approval

Most of the required improvements for the prior project were completed, but because there are some conditions that have yet to be satisfied, staff has included those prior conditions of approval in the conditions for this project.

STAFF RECOMMENDATION: Adopt Resolution PC12-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-006 to Allow a Warehouse Use and Associated Activities and Site Plan/Architectural Review Application No. 11/12-004 for Exterior Improvements to the Buildings Located at 1101 Anderson Drive APN 0173-670-320.

ATTACHMENTS:

1. Resolution PC12-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP11/12-006 to Allow a Warehouse Use and Associated Activities and Site Plan/Architectural Review

Application No. 11/12-004 for Exterior Improvements to the Buildings Located at 1101 Anderson Drive APN 0173-670-320.

2. Application Materials

RESOLUTION NO. PC12-

**A RESOLUTION OF THE CITY OF SUISUN CITY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT APPLICATION NO. 11/12-006
TO ALLOW A WAREHOUSE USE AND SITE PLAN/ARCHITECTURAL REVIEW
APPLICATION NO. 11/12-004 FOR EXTERIOR BUILDING AND SITE IMPROVEMENTS AT
1101 ANDERSON DRIVE**

WHEREAS, the Planning Commission at a regular meeting on March 27, 2012 did review Conditional Use Permit Application No. 11/12-006 to allow a warehouse use and Site Plan/Architectural Review application No. 11/12-004 for exterior building and site improvements at 1101 Anderson Drive; and

WHEREAS, the public notice was published in the Daily Republic on March 17, 2012; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, the applicant and members of the public were present to speak on the application; and

WHEREAS, The Conditional Use Permit application is exempt from the analysis required by the State of California Environmental Quality Act (CEQA) under Section 15301 Existing Facilities; and

WHEREAS, based on evidence presented at the Public Hearing by City Staff, the applicant, the public and Commissioners, the following Findings are hereby made:

In order for the Planning Commission to approve the conditional use permit the following findings must be made:

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on March 17, 2012 in the *Daily Republic* newspaper and mailed to surrounding property owners on March 17, 2012.
2. That the proposed project, when subject to the conditions will not conflict with the Goals, Objectives, and Policies of the General Plan, the purposes of the zoning district in which the site is located, and the regulations within the Lawler Ranch Commercial Design Guidelines because the General Commercial General Plan designation and General Commercial Zoning classification as well as the Lawler Ranch Commercial Design Guidelines either permit or conditionally permit these types of uses in this area and the proposed improvements meet the purpose of the zoning district.
3. That the proposed project and its uses, when subject to the conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, or to the general welfare of the City, because the project's design in regard to exterior treatments of the building are designed to soften the impact of the proposed construction.

4. That the proposed project has been considered through both Conditional Use Permit and Site Plan /Architectural Review process as required by Suisun Zoning Ordinance as the public hearing took place on March 27th and testimony and materials were considered by the Planning Commission prior to adoption of the resolution.
5. The project is exempt from the California Environmental Quality Act (CEQA) per Section 15301: Existing Facilities because the building was approved in 2007 by the Planning Commission and no additional square footage is being proposed.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby adopt Resolution PC12- ; A Resolution of the City of Suisun City Planning Commission Conditional Use Permit Application No. 11/12-006 to allow a warehouse and Site Plan/Architectural Review application No. 11/2-004 for exterior building and site improvements at 1101 Anderson Drive subject to the following Conditions and all other applicable Suisun City Codes and Ordinances:

GENERAL

1. The applicant or applicants successor in interest shall indemnify, defend and hold harmless the City of Suisun City it's agents, officers, and employees from any and all claims, actions or proceedings against the City of Suisun City, its agents, officers, and employees to attach, set aside, void or annul, any approval by the City of Suisun City and its advisory agency, appeal board, or legislative body concerning this application which action is brought within applicable statutes of limitations. The City of Suisun City shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the City fails to do so, the applicant or applicant's successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans, or other documents pertaining to this application.
2. The uses shall be constructed in accordance with the information presented (except as otherwise identified in the Conditions of Approval) and shall conform to all requirements of the City of Suisun City Code including but not limited to the Uniform Building Code as adopted by the City of Suisun City.
3. The applicant shall participate in the Lawler Ranch Maintenance Assessment District.
4. Approval of this permit will be effective, provided no appeals are received within 10 calendar days of the Planning Commission meeting date of March 27, 2012 and that the property owner and the applicant signatures are obtained affirming that they have read and understand the Conditions of Approval for the Conditional Use Permit No. 11/12-006 and Site Plan/Architectural Review Permit No. 11/12-004 and agree to comply with the conditions.
5. All the proposed improvements, including landscape installation shall be completed prior to issuance of any business license or Certificate of Occupancy.

PLANNING

1. The applicant did not provide a sign program for the proposed development. A sign permit application is to be submitted and reviewed by the Community Development Director.

3. The applicant is to provide a landscape plan for the review and approval of the Community Development Director.
4. Transformers, telephone switching boxes, utility poles, fire valves, trash enclosures, service areas as well as other utility or service functions shall be screened with landscape. The emphasis shall be on reducing or eliminating negative visual impacts on major public areas, high priority buildings, prominent architecture elements, and along primary roadways.
5. The proposed development is entitled to one monument/directional sign (6' height maximum, 10' length maximum).
6. Final architectural plans, responding to comments raised at the March 27 Planning Commission meeting, need to be submitted and approved by the Community Development Director. This requires addressing the concerns related to the exterior walls of both the car wash structure as well as the retail building.

BUILDING:

1. All equipment for the use of this building such as Back Flow Prevention Assemblies (BFPA) and grease interceptors must be located within the private property or as approved by the city.

PUBLIC WORKS:

1. All work performed shall conform to these conditions as well as all City ordinances, rules, standard specifications and details, design standards, and any special requirements imposed by the City Engineer. The Public Works Department will provide inspection to ensure conformance. Any deviation from the aforementioned documents shall require review and written approval by the City Engineer.
2. The Public Works Director may approve and/or negotiate minor changes or exceptions to Public Works Department conditions of approval.
3. The Improvement Plans shall include a General Note that: any revisions to the approved Improvement Plans and/or City Standards, including those due to field conditions, shall require review and written approval by the City Engineer. The Applicant shall have the revised plans prepared by the Project Professional Designer and shall have the revised plans submitted for review and approval by the City Engineer. Any revisions to the Improvement Plans resulting from these or other conditions contained herein shall be subject to written approval of the City Engineer.
4. The Applicant shall pay all public works fees as established by the City Public Works Fee Schedule at the time of submittal of Improvement Plans. The Applicant shall also pay Suisun-Solano Water Authority (SSWA) plan check and inspection fees within 30 calendar days upon receipt of invoice from the Solano Irrigation District (SID). The invoice will be for actual expenses incurred by SID for providing plan checking and inspection services for the project. At the time of submittal of Improvement Plans, Applicant shall pay a deposit of \$350 to be applied towards SSWA fees.
5. All work within the public right-of-way, which is to be performed by the Applicant, the general contractor, and all subcontractors shall be included within a single City Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.

6. Any relocation or modification of any existing facilities necessary to accommodate subject project shall be at the Applicant's expense. It shall be the responsibility of the Applicant to coordinate all necessary utility relocations with the appropriate utility company.
7. If existing easements and utilities are located within the proposed lots, the utilities shall be relocated within the public streets or into appropriate easements, as required by the City Engineer.
8. The Applicant shall dedicate ten (10') minimum utility service easement, as required by the Public Works Director, for the entire public frontage of the proposed project.
9. The Applicant shall provide easements for all public onsite underground utilities. The width of the easements shall comply with the City standards.
10. Any existing frontage, or street, improvements, which in the opinion of the City Engineer, are currently damaged or become damaged as a part of the work shall be removed and replaced as required to the current City Standards, or as directed.
11. Improvement Plans shall show the installation of and the Applicant shall install concrete curb, gutter, sidewalks, curb ramps and driveway improvements on all street frontages. The Typical Street Sections must include aggregate base material under all concrete and all asphalt improvements per City of Suisun City Standards. The driveways and curb ramps shall comply with the State American Disability Act (ADA) regulations. New curb ramps shall utilize truncated domes (3'X4' Navi-plate, "adobe" color). The returns along the public streets shall be designed with a 30' radius.
12. The City shall designate which stormwater pollution control measures will be required as conditions of approval for the project. Each identified source of pollutants may have one or more appropriate control measures.
13. All stormwater treatment measures shall be adequately operated and maintained. To ensure operation and maintenance of stormwater treatment measures, the Applicant shall enter into a Stormwater Treatment Measures Maintenance Agreement with the City. This agreement is included in the document entitled "Storm Water Requirements for Development Projects-Packet for Project Applicants".
14. The maximum allowable slope in landscape areas shall be 3:1. The toe and top of slope shall not be closer than one foot from a wall, property line, or sidewalk. One-foot concrete mow strips shall be as required by the City Engineer.
15. Upon the approval of the Improvement Plans, the Applicant shall submit electronic AutoCAD files of the plans to the Public Works Department. Also, prior to the issuance of Certificate of Occupancy, the Applicant shall submit to the Public Works Department electronic AutoCAD files of the "as-built" Improvement Plans.
16. Driveways shall be ADA-compliant.
17. The existing curb ramp on the southwest corner of Anderson Drive and McCoy Creek Way shall be updated to comply with ADA requirements. Truncated domes shall be 3'X4' Naviplate, adobe in color.
18. The project shall provide a five-foot wide sidewalk along McCoy Creek Way. This sidewalk shall be five feet from back of existing curb, and 4" PVC Schedule 40 sleeves extending a foot beyond the edge of sidewalk shall be installed every 100 feet. Two slash marks in the new sidewalk shall be placed at each sleeve location. Landscape strip between new sidewalk and existing curb will be provided by others.
19. Add no parking signs every 150 feet (maximum) along Anderson Drive and McCoy Creek Way fronting project site.
20. Along the westerly boundary of the project site, project shall provide curb.

21. Proposed parking spaces along westerly side of proposed retail building shall be installed with wheel blocks. If wheel blocks are not preferred, widen sidewalk by 2.5 feet to account for vehicle overhang.
22. Paving of parking lot shall be per City Standard Detail ST-13 , “On-Site Parking”.
23. Where trench or pavement cuts are made on McCoy Creek Way or Anderson Drive, roadway shall be slurry sealed. Slurry seal shall be full-width of roadway and full length of roadway segment, from roadway intersection to roadway intersection.
24. Project shall provide grassy swales within new landscape areas.
25. The project shall install on-site street lights and the Applicant shall submit photometric analysis to the City for review and approval.

SOLANO IRRIGATION DISTRICT

1. All changes and additions to SSWA facilities shall be at the developer’s expense.
2. Submit all planning documents, maps, and improvement plans to SSWA for our opportunity to review and comment.
3. Electronic AutoCAD files and scanned .tif images at 300 dpi, minimum, of all improvement plan sheets showing "as-built" conditions are required upon the completion of the project.
4. Construction shall be inspected by SSWA.

The forgoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

WITNESS my hand and the seal of said City this 27th day of March 2012

Anita Skinner
Commission Secretary

Photos-1101 Anderson Drive





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COFFEE SHOP
AND
WAREHOUSE
CONVERSION
101 ANDERSON DRIVE
SUNSHIN CITY, CA

SITE PLAN

A10

PARKING SPACE ANALYSIS

1 STALL PER 200 GROSS SQUARE FT.
COFFEE SHOP BUILDING AREA:
1078 / 200 = 5.39
TOTAL SPACES PROVIDED
9 SPACES

1 ACCESSIBLE SPACE PER 25 SPACES
425 - REQUIRED 1 SPACE
VIN ACCESSIBLE SPACES REQUIRED

1 STALL PER 200 GROSS SQUARE FT.
WAREHOUSE BUILDING AREA:
2800 / 200 = 14.0
TOTAL SPACES PROVIDED
14 SPACES

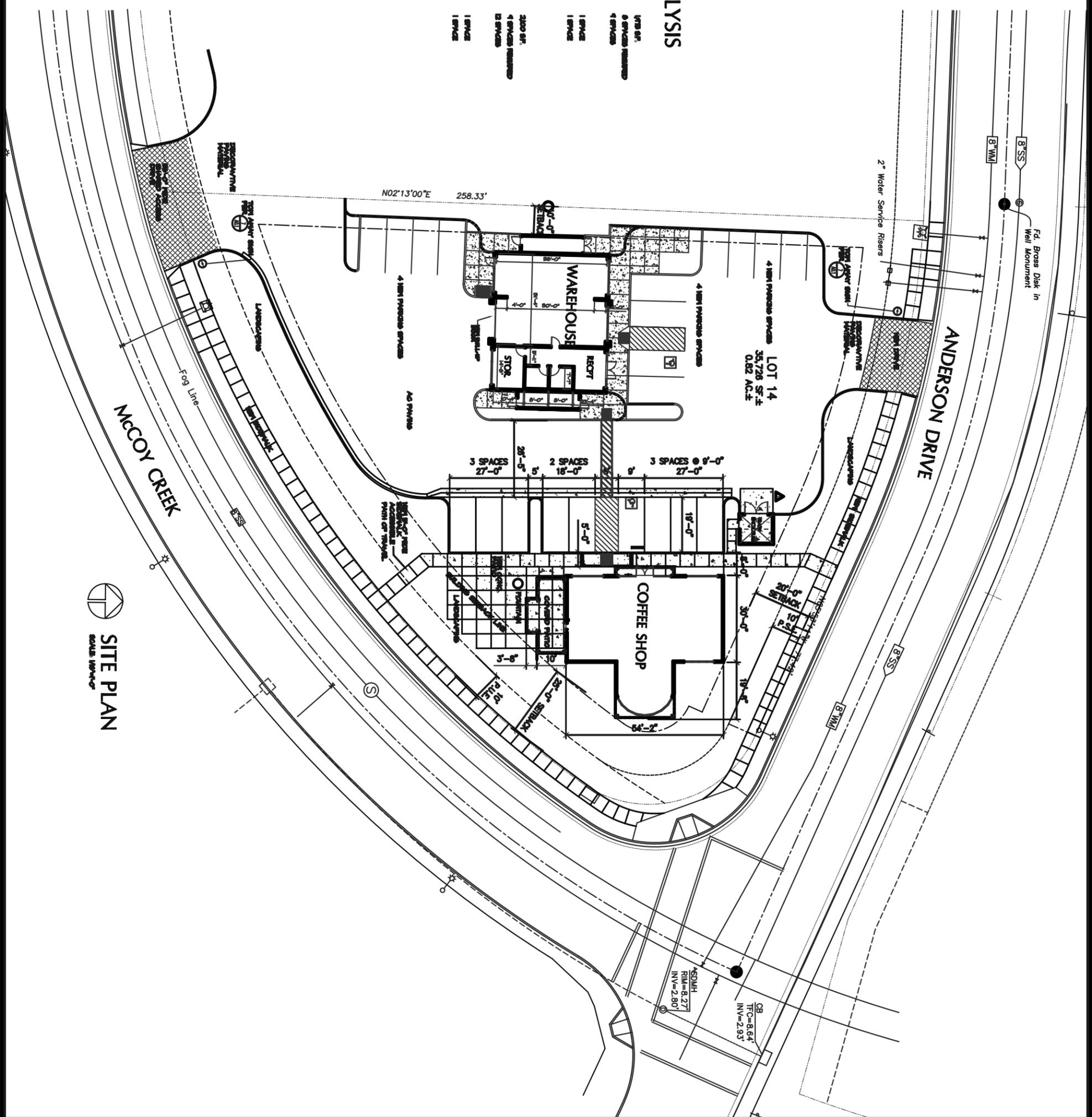
1 ACCESSIBLE SPACE PER 25 SPACES
425 - REQUIRED 1 SPACE
VIN ACCESSIBLE SPACES REQUIRED

1078 SF.
9 SPACES PROVIDED
4 SPACES REQUIRED

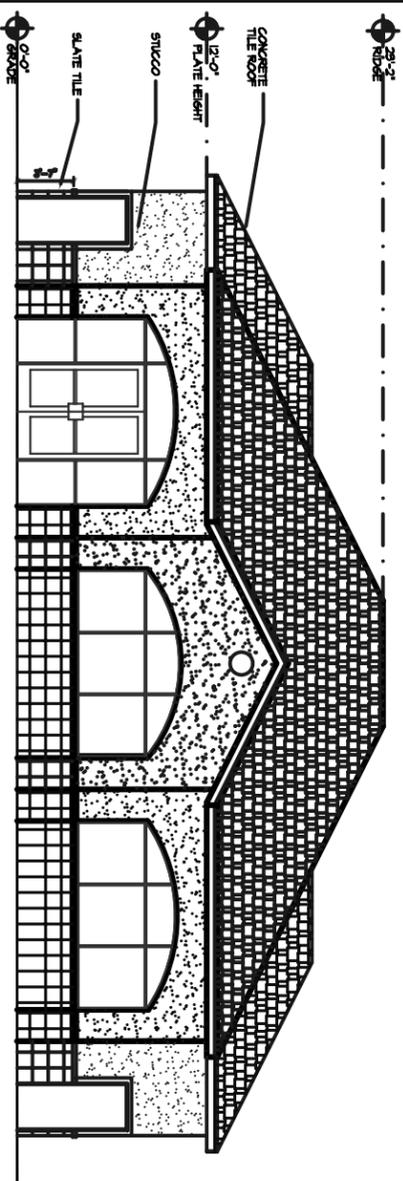
1 SPACE
1 SPACE

2800 SF.
14 SPACES PROVIDED
4 SPACES REQUIRED

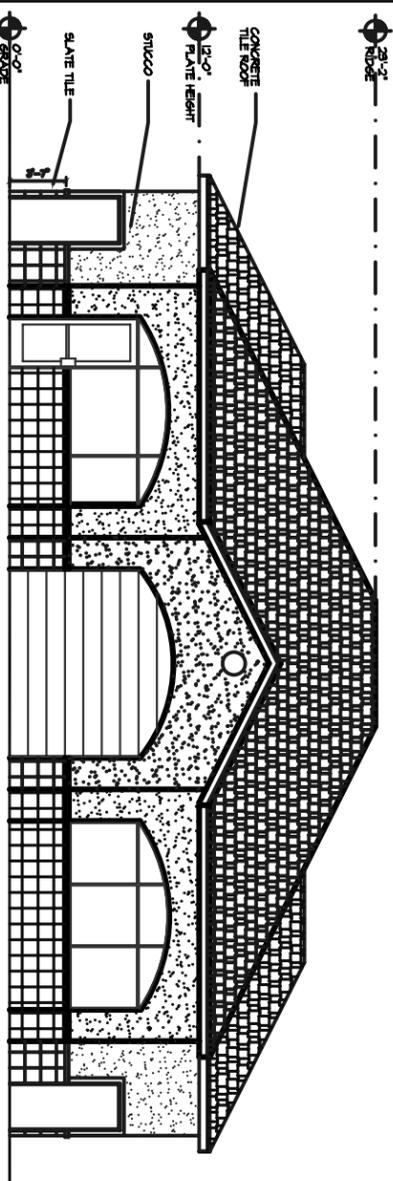
1 SPACE
1 SPACE



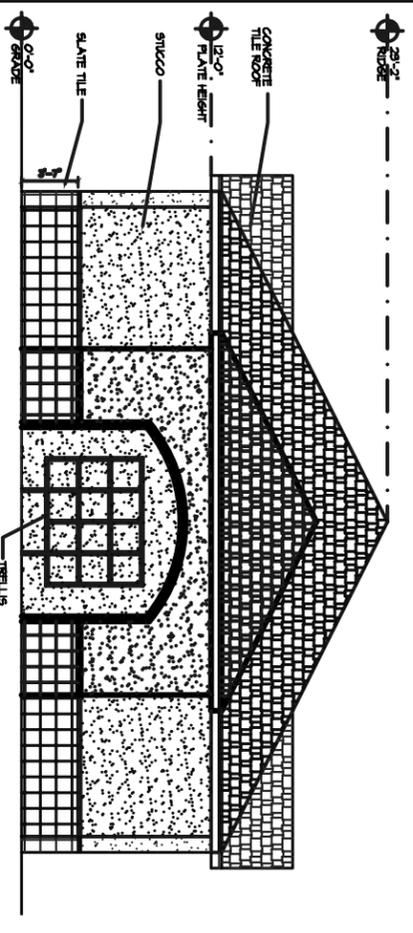
SITE PLAN
SCALE: 1/8"=1'-0"



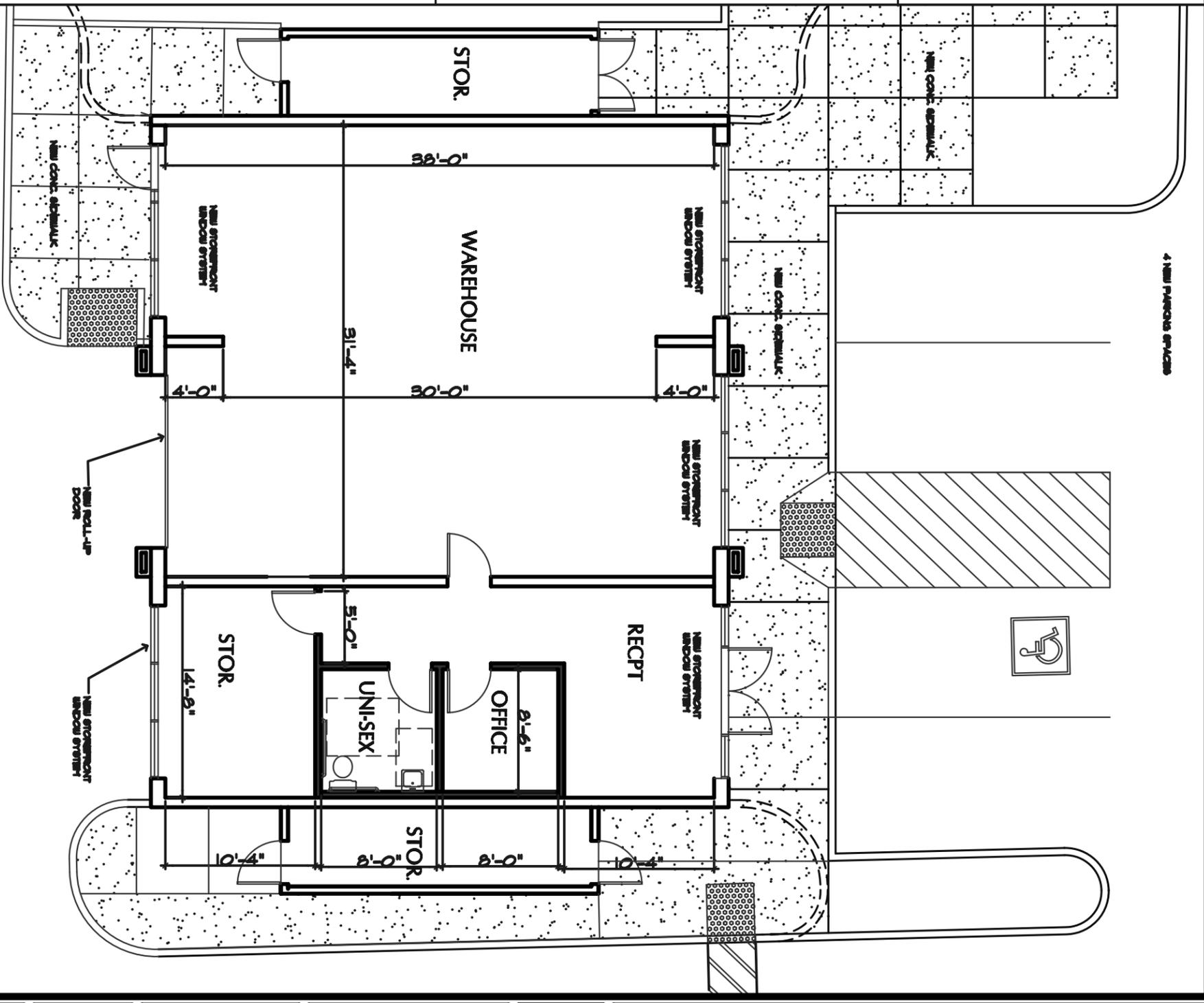
ANDERSON DRIVE ELEVATION - FRONT



MCCOY DRIVE ELEVATION - REAR



SIDE ELEVATION - BOTH SIDES SAME



FLOOR PLAN - WAREHOUSE CONVERSION

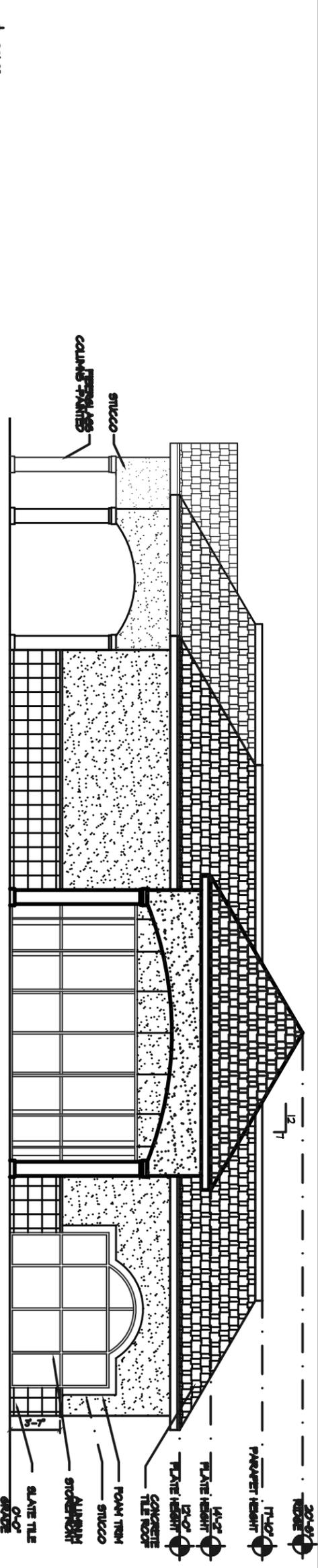


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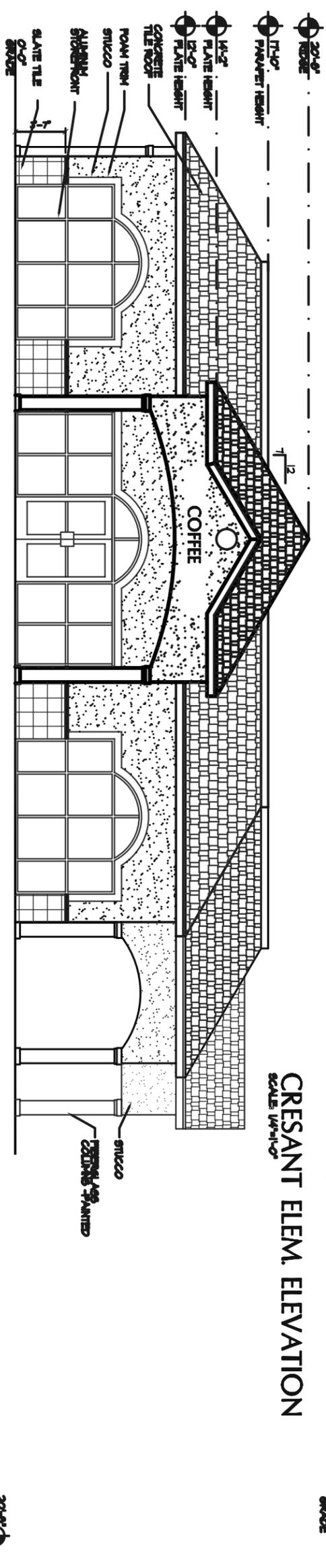


COFFEE SHOP
 AND
 WAREHOUSE
 CONVERSION
 101 ANDERSON DRIVE
 SUSHUN CITY, CA

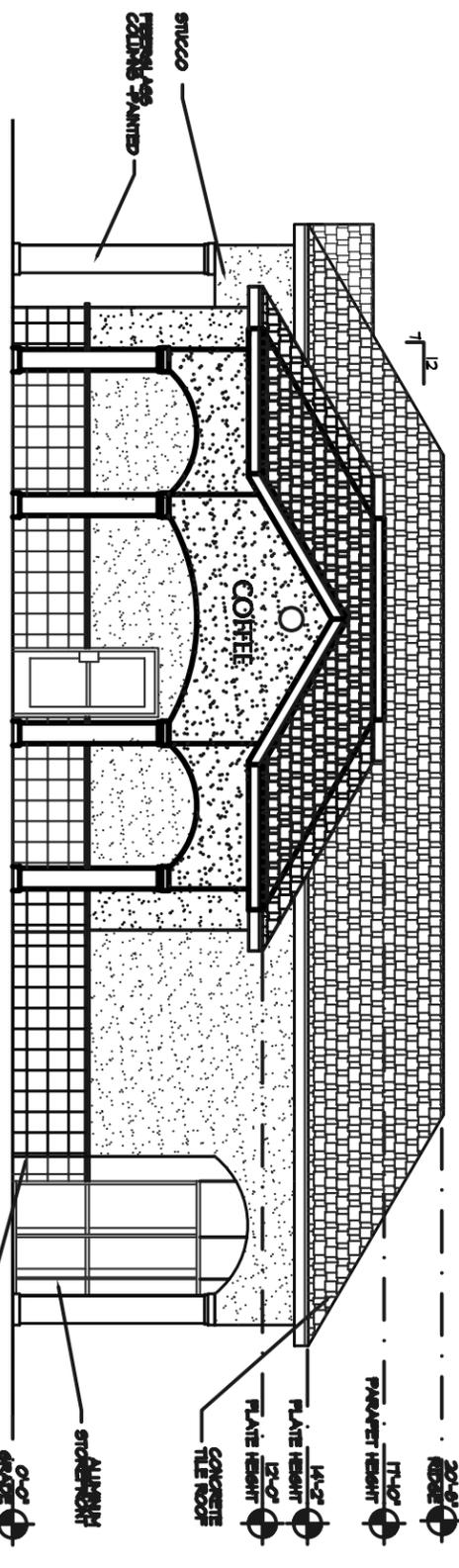
EXTERIOR
 ELEVATIONS
 AND
 FLOOR PLAN
 WAREHOUSE
 CONVERSION



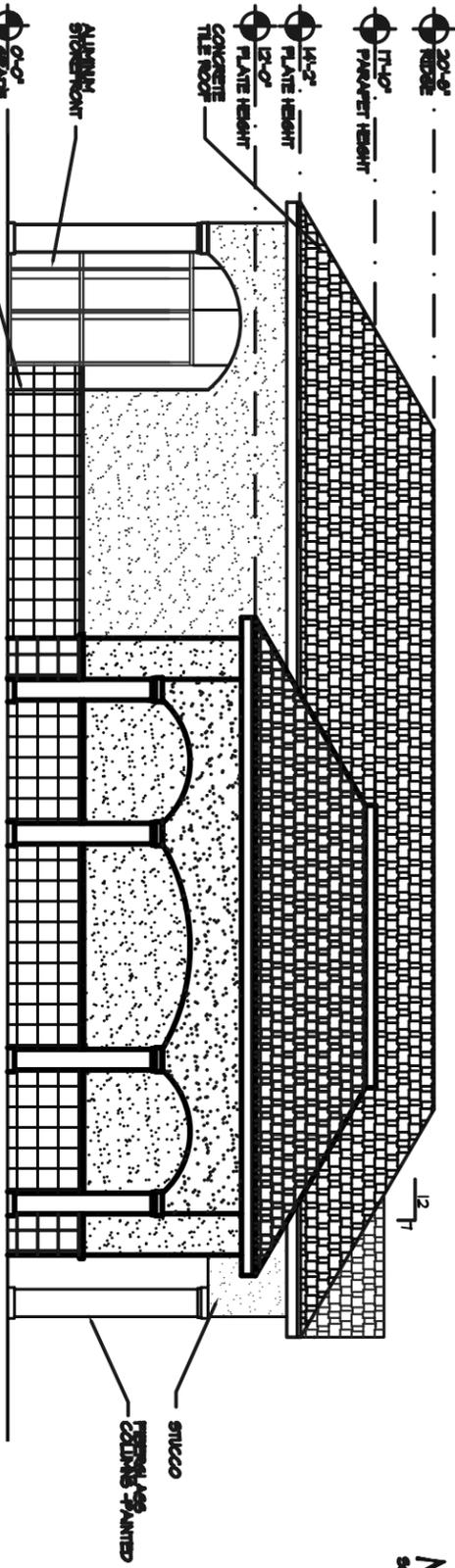
CRESANT ELEM. ELEVATION
SCALE 1/4"=1'-0"



FRONT ELEVATION
SCALE 1/4"=1'-0"



MC COY CREEK ELEVATION
SCALE 1/4"=1'-0"



ANDERSON DRIVE ELEVATION
SCALE 1/4"=1'-0"



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COFFEE SHOP
AND
WAREHOUSE
CONVERSION
101 ANDERSON DRIVE
SUNSHIN CITY, CA

EXTERIOR
ELEVATIONS
WAREHOUSE
CONVERSION

A3.0