

AGENDA
REGULAR MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., JUNE 28, 2011

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC11-08

1. ROLL CALL:

Chairperson Clemente
Vice-Chair Wade
Commissioner Adeva
Commissioner Harris
Commissioner Holzwarth
Commissioner Mirador
Commissioner Ramos

2. ANNOUNCEMENTS:

None

3. MINUTES:

Approval of May 10, 2011 and June 6, 2011 Planning Commission Minutes.

4. AUDIENCE COMMUNICATIONS:

This is a time for public comments for items that are not listed on this agenda. Comments should be brief. If you have an item that will require extended discussion, please request the item be scheduled on a future agenda.

5. PUBLIC HEARINGS:

For each of the following items, the public will be given an opportunity to speak. After a Staff Report, the Chair will open the Public Hearing. At that time, the applicant will be allowed to make a presentation. Members of the public will then be allowed to speak. After all have spoken, the applicant is allowed to respond to issues raised by the public, after which the Public Hearing is normally closed. Comments should be brief and to the point. The Chair reserves the right to limit repetitious or non-related comments. The public is reminded that all decisions of the Planning Commission are appealable to the City Council by filing a written Notice of Appeal with the City Clerk within ten (10) calendar days.

- A. **A Resolution of the City of Suisun City Planning Commission Considering Approval of Conditional Use Permit Application No. UP 10/1-006 for the Renewal of a Use Permit for a Wireless Communication Facility at 1510 Humphrey Drive (0038-241-040). Crown Castle-Global Signal, Applicant. Rudy Ramirez, Property Owner.**
 - Adoption of Resolution No. PC11-__-.

- B. **A Resolution of the City of Suisun City Planning Commission Considering Approval of Conditional Use Permit Application No. UP 10/1-007 for the Establishment of an Auto Repair Business at 605 Railroad Avenue, Unit G (0037-090-060). Raymond Tapley, Applicant. Oku Properties, Property Owner.**
 - Adoption of Resolution No. PC11-__-.

- C. **A Resolution of the Planning Commission of the City of Suisun City Considering Approval of Site Plan/Architectural Review Application No. AR 10/1-010 for the Construction of a Chapel and Classroom Space at 586 East Wigeon Way (0173-131-150). GRA Architecture, Applicant. The Salvation Army, Property Owner.**
- **Adoption of Resolution No. PC11-___.**

6. GENERAL BUSINESS: Action to be taken where appropriate.

General Plan Update

7. COMMUNICATIONS:

- A. **Staff**
- B. **Commissioners**
- C. **Agenda Forecast**

8. ADJOURN.

MINUTES
REGULAR MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
7:00 P.M., MAY 10, 2010

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC11-07

1. ROLL CALL:

Chairperson Clemente
Vice-Chair Wade
Commissioner Adeva Absent
Commissioner Harris
Commissioner Holzwarth
Commissioner Mirador
Commissioner Ramos Excused

2. ANNOUNCEMENTS:

None

3. MINUTES:

Approval of January 25, 2011 and April 12, 2011 Planning Commission Minutes.

Commissioner Harris made corrections to the January 25, 2010 minutes. Commissioner Wade moved to approve the minutes of January 25 with corrections. Commissioner Holzwarth seconded the motion. Motion passed 5-0.

Commissioner Holzwarth moved to approve the minutes of April 12, 2011. Commissioner Wade seconded the motion. Motion passed 5-0.

4. AUDIENCE COMMUNICATIONS:

Cynthia Williams, 704 Bridgewater Circle, informed the Commission that she was being impacted by noise and vibration from establishments on Main Street that have amplified music. She asked the Commission to review the approved Conditional Use Permits for A&J's, Main Street Bar & Grill, Dimitri's and La Cabana based on the bass frequency standards. Ms. Wooden, Community Development Director, stated that the Commissioner could direct staff to review and bring back a report at the next meeting. The Commission so directed.

Chuck Kingeter, 510 Erin Drive, asked what the best way to communicate to the Commission and the citizens as well at a public meeting.

Jim Padera, 705 Catalina Circle, also spoke about impacts from amplified music and supported Cynthia Williams' request for review of the Conditional Use Permits.

5. PUBLIC HEARINGS:

None

6. WORKSHOP

General Plan Update: Land Use and Circulation Alternatives Workshop

Ms. Wooden stated that staff would be presenting an update on the development of the General Plan Land Use and Circulation Alternatives. She stated that the intent of the presentation was to go through a PowerPoint that was presented to the City Council, to provide additional information, and to ask if the Commission and general public have any questions, and to solicit comments regarding future land use.

John Kearns presented the PowerPoint presentation. Mr. Kearns explained the steps that have been taken to date.

- April 2010: Council authorized contract with AECOM
- June 2010: Council and Planning Commission joint workshop to kick-off General Plan Update
- August 2010: Guiding principle discussion with Council
- August 2010 – January 2011: Technical Advisory Committee (TAC) meetings
- December 2010: Public Meeting with Tolenas residents

Mr. Kearns stated that the participation of the TAC members, which is comprised of local, state and federal agencies and other stakeholders, was very helpful in drafting the background reports. These background reports are then intended to form the foundation for developing the policy documents. He stated that Phase I was complete and that staff was transitioning into Phase II with the Land Use and Circulation Alternatives. He explained that tonight was basically a kick off meeting for the general public with another meeting at the Suisun Library on May 12 at 6 pm. The importance of these meetings is to talk about a concept of land use and circulation alternatives. The main focus is to look at vacant properties, areas within the Sphere of Influence, and how all of this ties into the regional transportation strategies. After the workshops are complete and the alternatives are developed, Planning Commission will review and provide a recommendation to the City Council. Once that happens staff will be able to move forward with the Environmental Impact Report process.

Chairperson Clemente opened the Public Hearing:

Pat Madditon, 832 Driftwood Drive, asked about the location of the existing sports complex.

Laura Caulderon, 1742 Ventura Way, expressed concern regarding the Sphere of Influence in the area near Travis AFB being encroached upon.

George Guinn 1109 Pheasant Drive, asked for clarification of an entrance to Lawler Ranch

Chuck Kingeter, 510 Erin Drive, asked for clarification about the parcel at southeast corner of Marina and Highway 12 and asked what entitlements were. Ms. Wooden explained that the parcels identified on the map as vacant parcels with entitlements were locations on which proposed projects had gone through the process of becoming “entitled” with an approval to do certain things on the property, such as develop a project.

Nate Pyron, Planner from Travis AFB was present to address any concerns regarding the base and any potential development and its compatibility with Travis. He also explained the “no fly” and “clear” zones surrounding the base.

Robert Shwartz, Hofmann Development Company, spoke about the five acres adjacent to the Arco station at the corner of Marina Boulevard and Highway 12. He stated that he has worked with staff to keep a portion commercial with the remaining as high density residential.

Chris Johnson, property owner of a parcel north of Petersen Road, east of Walters Road, stated that the current zoning was commercial and he would like consideration to change the parcel to residential.

Ted Asknes, 3424 Astoria Ct, Fairfield, referenced a parcel he owned on Petersen Road. He stated that they are planning to develop it as a mitigation bank. The land would be set aside as a mitigation bank for such things as endangered species. He stated that he has been working with Travis AFB and other government agencies and progress is being made. He stated that if the City of Suisun City would like to include the parcel in their Sphere of Influence it would open up the area east of town with consideration of placing at least a waterline easement through the property giving access to other vacant parcels east of town. He stated that he would be happy to work with the City to make this happen.

Ms. Wooden asked Mr. Pyron if the proposed mitigation bank proposed any immediate concerns. Mr. Pyron stated that they would have to look at the proposed plans, type of mitigation bank, potential bird strike hazards, and work with all agencies involved to create a safe environment.

Ms. Wooden stated staff would compile all comments after the May 10th workshop and bring back to the Commission before any final recommendations are made.

7. COMMUNICATIONS:

A. Staff:

a. Discussion of Section 18.54 “Signs” of the Suisun City Municipal Code

John Kearns presented a slide show of various signage throughout the city of both legal and illegal signs, many of which were not located on the property of the business they were advertising. Chairperson Clemente mentioned a large “thumbs up” sign that he had seen on the corner of Sunset and Hwy 12 along with the “dancing” signs. There was a brief discussion on how all these signs could be regulated. Ms. Wooden stated that during the process of adopting a new zoning ordinance, the section regarding signs would be researched and if signs could not be prohibited they could certainly be regulated, possibly through an encroachment permit process.

Mr. Kingeter recommended the Commission look at imposing a time limit on the signage like the political signage with fines being imposed for violations.

b. Update on Ordinance amending Section 18.66 “Use Permits” of the Suisun City Municipal Code Ms. Wooden stated that the amendment to the conditional use permits section was adopted on May 3rd by the City Council and will go into effect 30 days from then on June 3rd if there are no appeals

B. Agenda Forecast: June 14 meeting: Ms. Wooden stated that the Commission is welcome to attend the workshop at the Library on May 12 but attendance is not required.

8. ADJOURN.

There being no further business the meeting was adjourned at 8:32 pm.

Anita Skinner, Commission Secretary

MINUTES
SPECIAL MEETING OF THE CITY OF SUISUN CITY
PLANNING COMMISSION
6:30 P.M., JUNE 6, 2011

COUNCIL CHAMBERS
701 CIVIC CENTER BOULEVARD
SUISUN CITY, CALIFORNIA 94585

Next Resolution No. PC11-07

1. ROLL CALL:

Chairperson Clemente
Commissioner Adeva
Commissioner Harris
Commissioner Holzwarth
Commissioner Mirador
Commissioner Ramos

Vice-Chair Wade was absent

2. ANNOUNCEMENTS:

Ms. Wooden stated that Planning had received correspondence to share with the Commission. As a result of the two General Plan workshops, Robert Schwartz, with the Hofmann Co., submitted a letter regarding what he called zone changes. In fact, he is really requesting a general plan designation that would allow both commercial and residential on the five-acre parcel behind the Arco station at the corner of Marina Blvd. and Hwy 12. Ms. Wooden stated that the letter needed to be made part of the record and the Commission did not need to take any action at this time.

3. AUDIENCE COMMUNICATIONS:

None

4. PUBLIC HEARINGS:

A. A Resolution of the City of Suisun City Planning Commission Recommending Approval to the City Council of a Zoning Text Amendment (ZTA 10/1-002) Amending Chapters 18.04, 18.26, 18.28 and 18.66 of Title 18 “Zoning” Regarding the Definition and Regulation of “Amusement Centers”

Ms. Wooden stated that the Blue Devils of Concord have approached the Marina Shopping Center owners to open a Bingo Center. Ms. Wooden pointed out the inconsistencies in the current Zoning Ordinance that in Section 18.26.02P this type of use is permitted but under Section 18.66.100 it indicates that such a use required a conditional use permit. Staff believes that a conditional use permit is a good idea to help regulate this type of use.

Ms. Wooden stated that the Zoning Text Amendment gives a clear definition of “amusement centers” and the designated area within the city that this use would be allowed. Ms. Wooden stated that the fees for a use permit are listed in the City’s Master Fee Schedule. She further explained that the Council would also be considering an amendment to the “Bingo” ordinance which is separate from the Commission’s land use control and that may have a higher fee attached to it. She stated that the first reading would be on June 21 with second reading on July 5 and going into effect 30 days from that date. She further stated that there was a minor correction to the proposed change, brought to her attention by Commissioner Harris. In Section 18.66.100 it should read CS zone and CG zone and also add CG to the text under “Amusement Centers”.

Staff is recommending that the Commission adopt this resolution with the minor changes and direct staff to forward the proposed ordinance to the City Council for consideration.

Commissioner Harris asked if places like The Salvation Army, which is in a Park Zone, would require a use permit to operate Bingo. Ms. Wooden stated that it was unlikely that TSA would consider operating a Bingo Center given their position on gambling. She stated that because any Park zone would generally be owned by the City any activity in that zone would require a use permit.

Ms. Wooden stated that the changes to the Bingo Ordinance would bring it into compliance with state law.

The Commission voiced concerned about the fact that the Blue Devils are not a local organization that all the monies would be taken out of the county. Ms. Wooden stated that they would have it staffed by different local organizations. Commissioner Holzwarth asked for clarification that should a conditional use permit be granted and problems occurred that the Commission would be able to review the CUP. Ms. Wooden stated that the Commission would in fact be able to review.

Commissioner Holzwarth moved to approve resolution PC 11-07 with the minor changes adding CG to the text. Commissioner Mirador seconded the motion. Motion passed 6-0 with Commissioner Wade absent.

5. GENERAL BUSINESS: Action to be taken where appropriate.

None

6. COMMUNICATIONS:

Agenda Forecast: June 28 TSA chapel, minor use permits, report on noise levels from local Main Street establishments per Cynthia Williams request.

7. ADJOURN.

There being no further business the meeting was adjourned at 6:69 pm.

Anita Skinner, Commission Secretary

AGENDA TRANSMITTAL

MEETING DATE: June 28, 2011

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Resolution PC11-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. 10/1-006 for the Renewal of a Use Permit for a Wireless Communication Facility at 1510 Humphrey Drive.

FISCAL IMPACT: None associated with this item.

APPLICANT: Crown Castle – Global Signal
755 Baywood Drive, Suite 350
Petaluma, CA 94954

OWNER: Rudy and Helen M. Ramirez
1510 Humphrey Drive
Suisun City, CA 94585

SITE DATA:

- (1) General Plan/Zoning: Commercial Service/Commercial Service
- (2) Building Configuration: 21,373 sq. ft. improved rectangular parcel
- (3) Surrounding Land Use/Zoning:
 - North: Commercial Service/Commercial & Vacant Properties
 - South: High Density Residential/Apartment Complex
 - East: Solano County/Tolenas
 - West: Medium Density Residential/Apartment Complex

ENVIRONMENTAL REVIEW: This project is categorically exempt from the California Environmental Quality Act (CEQA), under Section 15301: Existing Facilities.

BACKGROUND: There are two telecommunication monopolies located at 1510 Humphrey Drive. One monopoly contains both Sprint PCS and MetroPCS antennas. The Sprint PCS antennas were approved in 1996 and the co-location of the MetroPCS antennas was approved in 2006. The second monopoly contains antennas operated by Nextel and was approved 2004.

The original approval for the use permit for the Sprint PCS antennas expired in 2006. Prior to the expiration of the use permit, the applicant submitted use permit application No. UP06-01 for the renewal of the use permit, which was approved. The conditions of approval for UP06-01 stipulated that the use permit shall be active for a period of five years, and that the applicant can submit an application for a renewal permit prior to expiration. In April 2011, the applicant submitted an application for renewal.

PREPARED BY:

John Kearns, Associate Planner

REVIEWED/APPROVED BY:

April Wooden, Community Development Director

Condition Number 6 of the current Use Permit states:

The renewal of the use permit shall be active for a period of five (5) years. At any time during the duration of the use permit the planning commission shall review this permit and its contents. Prior to the expiration of the use permit, an application for a new permit can be applied for. Among the issues to be addressed in any subsequent application include:

- a) Is the use involved still allowed and appropriate in the zoning district involved;
- b) Has the permittee complied with the conditions of approval imposed;
- c) Has the facility been properly maintained; and
- d) Has the facility been upgraded to minimize its impact to the greatest extent permitted by the technology that exists at the time of re-application?

These issues have been considered as a part of the application process. The commercial service zoning district in which the site is located allows for telecommunications facilities with approval of a conditional use permit. Additionally, the facility has operated in compliance with conditions of approval and has been properly maintained.

STAFF REPORT: The existing facility consists of a 20' by 20' fenced compound containing five equipment cabinets and a 50' monopole bearing two tiers of antennas. The site is self-monitored and connects to a central office where personnel are alerted of any equipment malfunction or breach of security. The facility is unstaffed and requires only electrical and telephone service, which are currently supplied to the site. The current application does not propose any changes to the existing facility. Additionally, there have been no reported issues with the monopole, the attached antennae, or any of the accessory uses on-site.

Findings:

Section 18.66.060 of the Suisun City zoning ordinance requires that the Planning Commission make three findings and staff suggests that an additional two findings be made (below):

Finding 1: That the project is categorically exempt from the California Environmental Quality Act, Section 15301, as a use of an existing structure involving only minor interior alterations.

Staff believes that Finding 1 can be made because the current application does not propose any changes to the existing facility. Therefore the project is categorically exempt from the California Environmental Quality Act per Section 15301, Existing Facilities.

Finding 2: That the operation of a telecommunication facility has been considered through the Conditional Use Permit process as required by the Suisun City Zoning Ordinance.

Staff believes that Finding 2 can be made because the Planning Commission provided public notice, held a public hearing, and considered the staff report and record before taking action on this discretionary permit. Therefore the process described in the Municipal Code was adhered to for this project.

Finding 3: The establishment, maintenance or operation of a use or building applied for are in conformity to the general plan for the city with regard to traffic circulation, population densities and distribution, and/or other aspects of the general plan considered by the zoning administrator to be pertinent.

Staff believes that Finding 3 can be made. The facility is in conformance with the Service Commercial designation, which is intended to allow for a broader range of commercial land uses that have impacts that might be incompatible with residential neighborhoods. Additionally, the facility does not impact the existing commercial use of the property, traffic circulation, or population densities.

Finding 4: Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Staff believes that Finding 4 can be made because the facility has existing access to all necessary utilities and services.

Finding 5: The applicant exhibits proof that such use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city, provided that if any proposed building or use is necessary for the public health, safety or general welfare, the finding shall be to that effect.

Staff believes that Finding 5 can be made. The facility has not been cited as a nuisance in the past. Additionally, the facility has operated in compliance with all FCC rules governing technical standards, interference protection, power and height limitations, and radio frequency standards as well as all FAA rules on site location and operation. Furthermore, the applicant has submitted a Radio Frequency Compliance Report stating that facility will not result in exposure of the public to excessive levels of radio-frequency energy.

Requirements for Review:

Since the application is for a use permit renewal subsequent to a previous renewal, it has been our practice to not include Condition number 6. (as included in the previous five-year renewal) in subsequent renewals. Section 18.66.550 (A) of the Suisun City Municipal Code clearly states that the Planning Commission can revoke, modify, or extend a use permit “ Consequently, in any case where the conditions of a use permit have not been or are not being complied with, it provides the remedy of revocation.

Taking into consideration the information provided in this application and since staff is not aware of any conflicts with adjacent property owners, staff recommends simply renewing the use permit without specifying a time frame.

RECOMMENDATION: Adopt Resolution PC11-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. 10/1-006 for the Renewal of a Use Permit for a Wireless Communication Facility at 1510 Humphrey Drive.

ATTACHMENTS:

1. Resolution PC11-___
2. Resolution PC06-
3. Application Materials

RESOLUTION NO. PC 11-__

A RESOLUTION OF THE CITY OF SUISUN CITY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT UP10/1-006 FOR THE RENEWAL OF A USE PERMIT FOR A WIRELESS COMMUNICATION FACILITY AT 1510 HUMPHREY DRIVE

WHEREAS, the Planning Commission at its regular meeting of June 28, 2011, did review application UP10/1-006 for the renewal of a use permit for a wireless communication facility at 1510 Humphrey Drive; and

WHEREAS, the public hearing notice was published in the Daily Republic on June 18, 2011, and mailed to individual property owners on June 16, 2011; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, all relevant City regulations and ordinances have been considered in relation to this project; and

WHEREAS, this project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15301; and

WHEREAS, based on evidence presented to the Planning Commission by City Staff and the applicant, the following Findings are hereby made:

1. That the project is categorically exempt from the California Environmental Quality Act, Section 15301, as use of an existing structure involving only minor interior alterations because the current application does not propose any changes to the existing facility. Therefore the project is categorically exempt from the California Environmental Quality Act per Section 15301, Existing Facilities.
2. That the facility has been considered through the Use Permit process as required by the Suisun City Zoning Ordinance because the Planning Commission provided public notice, held a public hearing, and considered the staff report and record before taking action on this discretionary permit. Therefore the process described in the Municipal Code was adhered to for this project.
3. That the facility, when subject to the adopted conditions, will not conflict with the Goals, Objectives, and Policies of the General Plan because the facility is in conformance with the Service Commercial designation, which is intended to allow for a broader range of commercial land uses that have impacts that might incompatible with residential neighborhoods. Additionally, the facility does not impact the existing commercial use of the property, traffic circulation, or population densities.
4. That the facility, when subject to the adopted conditions, will not have significant noise, traffic, or parking impacts on the neighborhood because the facility has existing access to all necessary utilities and facilities.
5. That the facility, when subject to the adopted conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the

neighborhood of such use, nor detrimental to properties or improvements in the vicinity, nor to the general welfare of the City because the facility has operated in compliance with all FCC rules governing technical standards, interference protection, power and height limitations, and radio frequency standards as well as all FAA rules on site location and operation. Additionally, the facility has not been cited as a nuisance in the past. Furthermore, the applicant has submitted a Radio Frequency Compliance Report stating that the public will not be subjected to excessive levels of radio-frequency energy.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby approve the Use Permit subject to the following Conditions and all other local, state, and federal requirements:

1. The applicant shall comply with all applicable Federal, State, and local codes including, but not limited to, the Suisun City Municipal Code, the Uniform Building Code, Fire Code, County Health Department guidelines as interpreted by the County Health Inspectors, the City Building Official, the Public Utilities Commission (PUC) of the State of California, and the Federal Communication Commission (FCC).
2. The monopole and antenna panels shall remain a non-reflective, neutral color.
3. In the event the facility discontinues active operation for a period of more than six (6) consecutive months, the use shall be considered to be abandoned and the use permit shall terminate. Equipment cabinets, antennas, and all other appurtenances shall be removed by the property owner within 120 days from the date the use is discontinued.
4. This Conditional Use Permit shall not become valid until the applicant and property owner acknowledge receipt of and agreement with all of the above conditions.
5. The telecommunications facility shall be unlit except for minimum tower lighting required under FAA regulations.
6. Any back-up generators shall be operated only during power outages and for testing and maintenance purposes. Testing and maintenance shall take place only on weekdays between the hours of 8:30A.M. and 4:30 PM.

The foregoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

WITNESS my hand and the seal of said City this 28th day of June 2011.

Anita Skinner, Commission Secretary

RESOLUTION NO. PC 06-29

RESOLUTION OF THE CITY OF SUISUN CITY PLANNING COMMISSION APPROVING USE PERMIT APPLICATION NO. UP06-01 FOR THE RENEWAL OF A USE PERMIT FOR A 45' HIGH WIRELESS COMMUNICATION FACILITY AT 1510 HUMPHREY DRIVE (APN # 0038- 241-040).

WHEREAS, the Planning Commission at their regular meeting of June 27 2006, did review application UP06-01 for renewal of use permit for a wireless communications facility at 1510 Humphrey Drive; and

WHEREAS, the public hearing notice was published in the Daily Republic on June 17, 2006; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, this project has been considered with all city regulations and ordinances; and

WHEREAS, this project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15061 (b)(3); and

WHEREAS, based on evidence presented to the Planning Commission by City Staff and the applicant, the following Findings are hereby made:

1. That the project is categorically exempt from the California Environmental Quality Act per Section 15601: Review for Exemption.
2. That the proposed use is consistent with the Goals, Objectives and Policies of the General Plan of the City of Suisun City and the Commercial Service Zoning District in which the project is located.
3. That the project meets all Federal Communication Commission Radio-Frequency Emission Standards.
4. That determined by the foregoing Findings and incorporation of Conditions, the project will not be detrimental to the public health, safety, and general welfare.
5. That the proposed monopole and antenna parcels meet the visual standards established by the City for telecommunication facilities because the proposed facility makes use of an existing building location.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby approve the changes to the project subject to the following Conditions and all other Suisun City Codes and Ordinances:

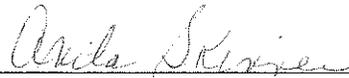
1. The telecommunication facility shall not be operated in such a manner that it poses, either by itself or in combination with other such facilities, a potential threat to public health. To that end, it shall not produce at any time power densities in any inhabited area that exceed the ANSI C95.1-1992 standard for human exposure or any more restrictive standard subsequently adopted or promulgated by the State of California and the federal government, including those of the Public Utilities Commission (PUC) and the Federal Communication Commission (FCC), the National Council on Radiation Protection and Measurement (NCRP), and the Institute of Electrical and Electronics Engineers (IEEE).
2. The monopole and antenna panels shall remain a non-reflective, neutral color.
3. The telecommunications facility shall be unlit except for minimum tower lighting required under FAA regulations.
4. Any back-up generators shall only be operated during power outages and for testing and maintenance purposes. Testing and maintenance shall only take place on weekdays between the hours of 8:30AM and 4:30 PM.
5. In the event the facility discontinues active operation for a period of more than six (6) consecutive months the use shall be considered to be abandoned and the use permit shall terminate. Equipment shelters and cabinets, monopole and antenna panels and all other appurtenances shall be removed by the property owner within 120 days.
6. The renewal of the use permit shall be active for a period of five (5) years. At any time during the duration of the use permit the planning commission shall review this permit and its contents. Prior to the expiration of the use permit, an application for a new permit can be applied for. Among the issues to be addressed in any subsequent application include:
 - a) Is the use involved still allowed and appropriate in the zoning district involved;
 - b) Has the permittee complied with the conditions of approval imposed;
 - c) Has the facility been properly maintained; and
 - d) Has the facility been upgraded to minimize its impact to the greatest extent permitted by the technology that exists at the time of re-application?
7. This use permit shall not become valid until the applicant and property owner acknowledge receipt of and agreement with all of the above conditions.

8. The final plans shall be in substantial conformance with those provided from Smithco Surveying and Engineering dated 5/3/06. Any changes to the project shall be subject to Planning and Building Department approval.

The foregoing motion was made by Commissioner Meyers and seconded by Commissioner Perry and carried by the following vote:

AYES: Commissioners: Hemler, McCoy, Meyers, Norman, Perry
NOES: Commissioners: None
ABSENT: Commissioners: Lute, Resnick
ABSTAIN: Commissioners: None

WITNESS my hand and the seal of said City this 27th day of June, 2006.



Anita Skinner, Commission Secretary



Project Description

Request for Renewal of Use Permit UP06-01
Project: 877157 Suisun City – 1510 Humphrey Drive
April 26, 2011

Nature of Request

Crown Castle International (Global Signal Acquisitions LLC) seeks renewal of Use Permit UP06-01 for continued operation of an existing telecommunication facility at 1510 Humphrey Drive, on the premises of a commercial building. No changes are being proposed with this request.

Property Description

The subject property is located at 1510 Humphrey Drive, Suisun City, APN 038-241-040. The property is owned by Rudy L and Helen M. Ramirez. The building is occupied by Rudy's Auto Body Paint & Frame. The property is bordered on the north and south by commercial properties, on the east by Humphrey Drive and open fields used for agriculture and grazing, and on the west by a residential area.

Project Description

The facility is a 20' x 20' fenced compound encompassing five equipment cabinets and a (50') fifty-foot monopole bearing two tiers of antennas (Metro PCS and Sprint Nextel). There are no changes or modifications planned at this time.

Statement of Operations

The existing Crown Castle communication facility only requires electrical services and telephone services which are readily available to the building/site. No nuisances have been or will be generated, nor will the facility injure the public health, safety, morals or general welfare of the community. Sprint and Metro PCS technology does not interfere with any other forms of communication devices whether public or private. The operation of this facility provides wireless communications for residential, business and emergency communications.

The site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security.

Because the Crown Castle facility is unstaffed, there are no regular hours of operation and no impact to surrounding traffic patterns. An existing road provides ingress and egress allowing access for the technician who arrives infrequently to service the site. No on-site water or sanitation services are required as a part of this proposal.

Zoning Analysis

The site has been used, with City approval, as a telecommunications facility since 1996. No changes are being proposed and therefore no change in zoning.

Compliance with Federal Regulations

Crown Castle has complied and will continue to comply with all FCC rules governing technical standards, interference protection, power and height limitations, and radio frequency standards. In addition, the company will comply with all FAA rules on site location and operation.

Property Owner Letter of Authorization

City of Suisun
Planning Dept
701 Civic Center Blvd
Suisun City, CA 94585

Re: Zoning/Building Permit Authorization

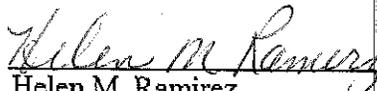
I hereby represent that I am the legal owner of the property referenced below, and I hereby give my authorization to Global Signal Acquisitions II LLC, and/or its Agents, to act as our Agent in the processing and obtaining approval for the use permit for an existing wireless telecommunications site located at communications site described as:

Site Name: Suisun City
Site Number: 877157
Site Address: 1510 Humphrey Drive
Suisun City, CA 94585
Legal Description: 038-241-040

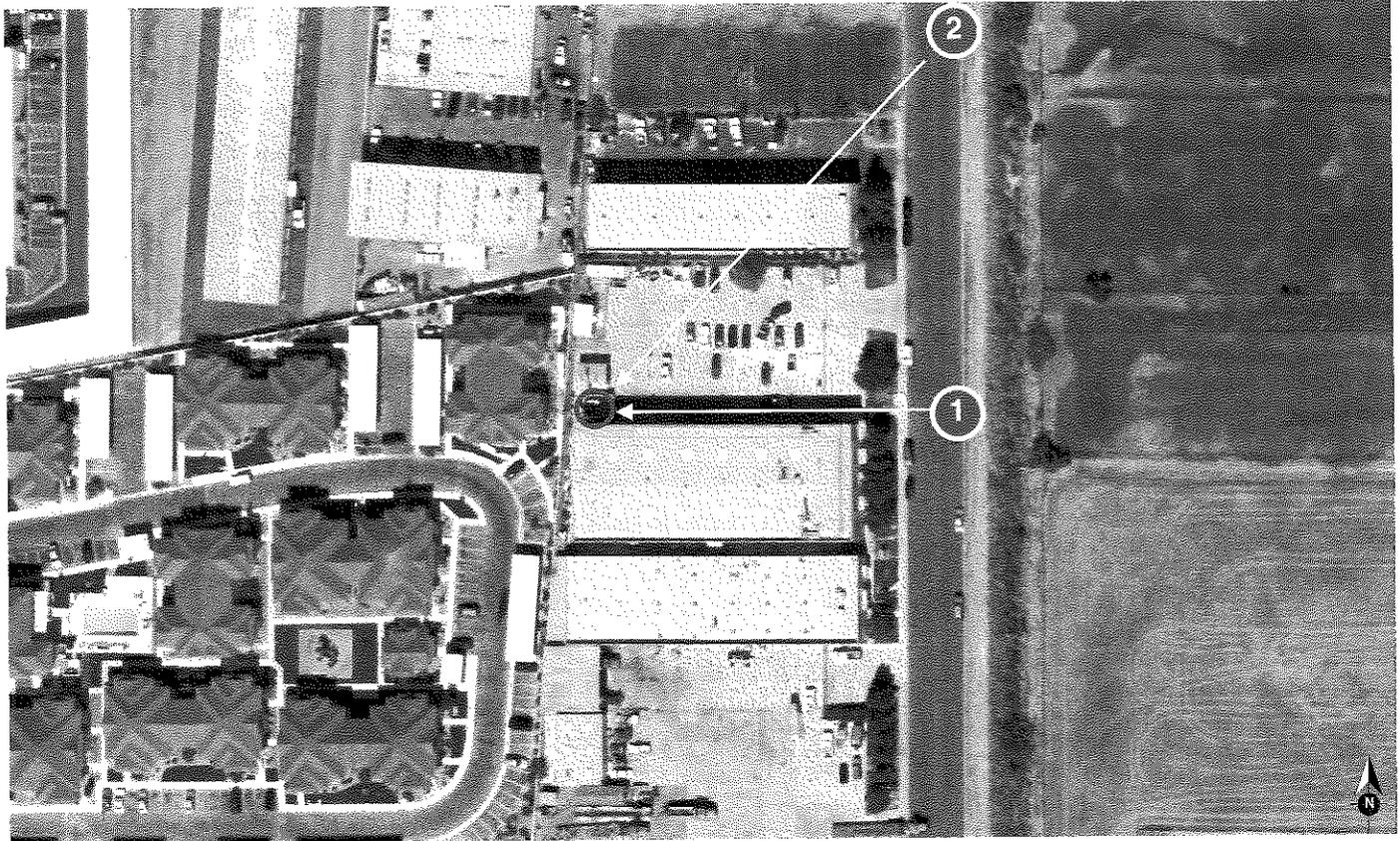
Property Owner:


Rudy L. Ramirez

April 15, 2011
Date


Helen M. Ramirez

April 15, 2011
Date



04.05.2011

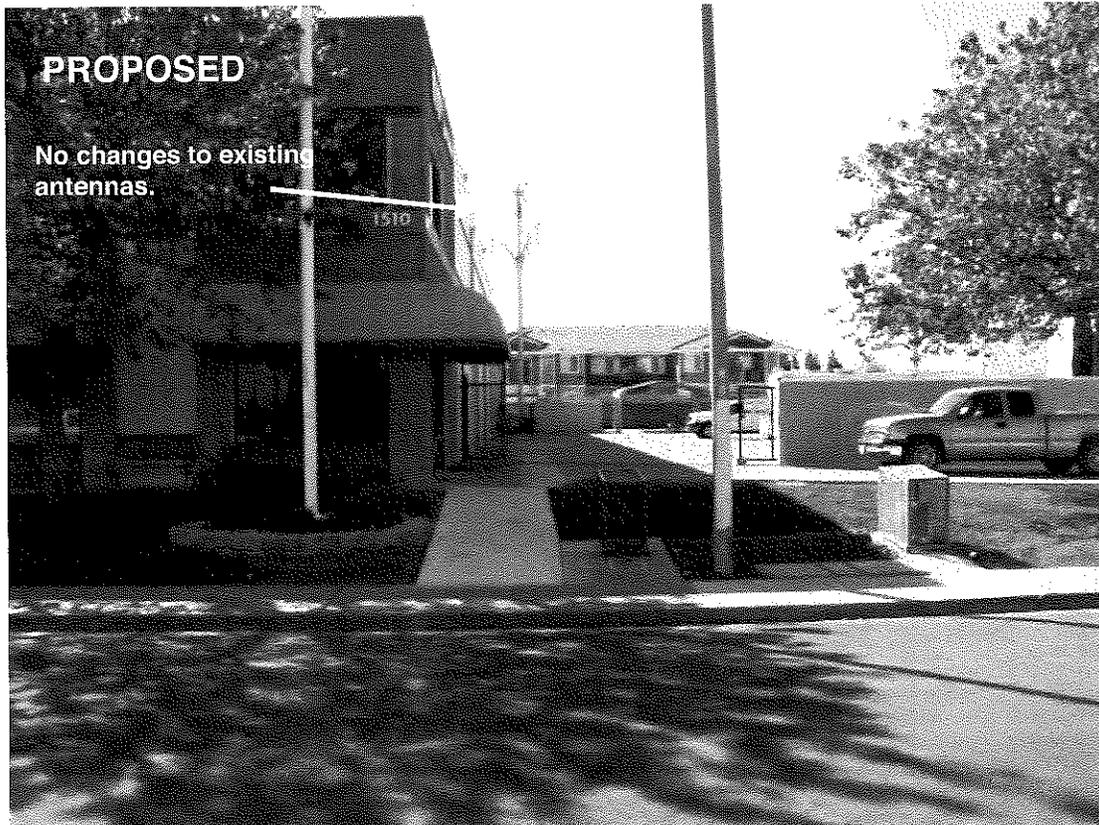
Suisun

1510 Humphrey Drive
Suisun City, CA 94585

Site # 877157

Aerial View

ADL Simulations, Inc.
755 Baywood Drive, Suite 350
Petaluma, CA 94954
adlsimulations@gmail.com



04.05.2011

Suisun

1510 Humphrey Drive
Suisun City, CA 94585

Site # 877157

Looking W

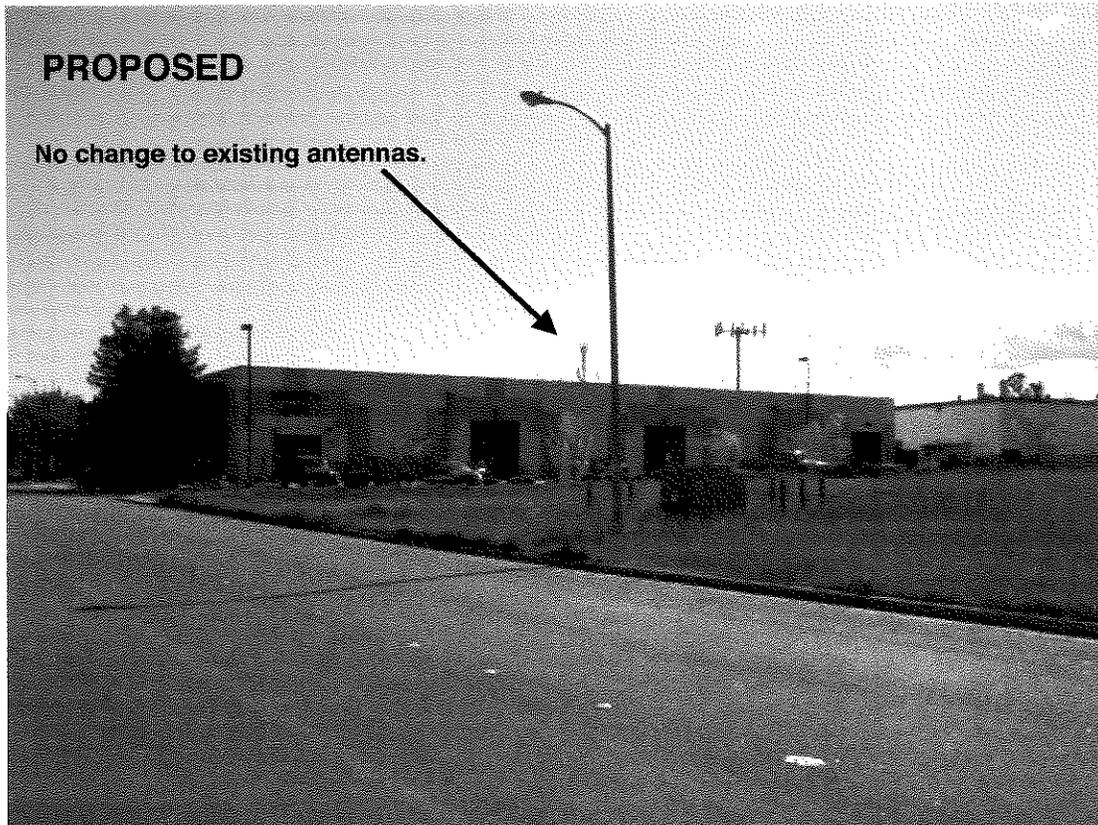
ADL Simulations, Inc.
755 Baywood Drive, Suite 350
Petaluma, CA 94954
adlsimulations@gmail.com

EXISTING



PROPOSED

No change to existing antennas.



Suisun

Site # 877157

Looking SW

04.05.2011

1510 Humphrey Drive
Suisun City, CA 94585

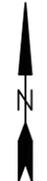
ADL Simulations, Inc.
755 Baywood Drive, Suite 350
Petaluma, CA 94954
adlsimulations@gmail.com

S.P.R.R.

RAILROAD AVENUE

OVERALL PLAN VIEW

SCALE: 1" = 40'-0"
0' 40' 80' 120'



HUMPHREY DRIVE

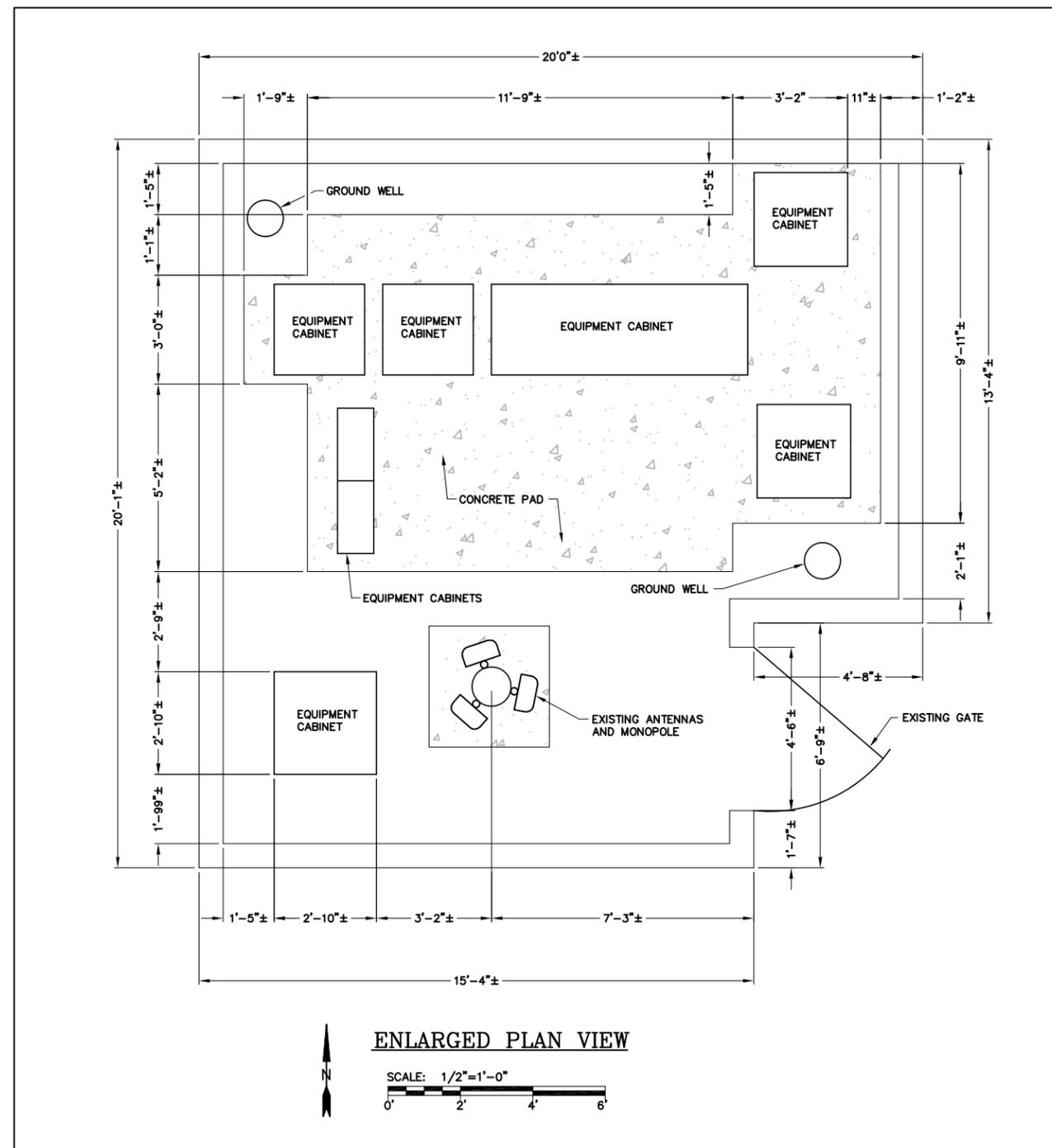
NOTE:
BOUNDARY LINES SHOWN ARE APPROXIMATE
A BOUNDARY SURVEY WAS NOT COMPLETED
FOR THIS PROJECT

APN 0038-231-070

EXISTING CROWN CASTLE
CELLULAR SITE



APN 0038-241-040



ENLARGED PLAN VIEW

SCALE: 1/2" = 1'-0"
0' 2' 4' 6'



WESTERN REGIONAL OFFICE
5820 STONERIDGE MALL ROAD, SUITE 300
PLEASANTON, CA 94588
TEL: (925) 251-0422

**HMH
DESIGN GROUP**

5164 FRY ROAD
VACAVILLE, CA. 95687
PHONE: 707-448-8011
FAX: 448-8190

ALL DRAWINGS AND WRITTEN MATERIAL
CONTAINED HEREIN ARE COPYRIGHTED AND ARE
THE SOLE PROPERTY OF THE
ARCHITECT/ENGINEER/SURVEYOR AND MAY NOT
BE DUPLICATED, USED, OR DISCLOSED WITHOUT
THE WRITTEN CONSENT OF THE ARCHITECT/
ENGINEER/SURVEYOR

SPACE RESERVED FOR PROFESSIONAL SEAL

REVISION	HMH DESIGN JOB #: 011062	
NO.	DESCRIPTION	BY DATE

△	FOR REVIEW	PGM	4/11/11
△	100%	PGM	4/13/11
△			
△			
△			
△			

SITE NAME

SUISUN CITY

SITE #

877157

SITE ADDRESS

**1510 HUMPHREY DRIVE
SUISUN CITY, CA 94585
SOLANO COUNTY**

SHEET TITLE

SITE PLAN

SHEET

A-1



WESTERN REGIONAL OFFICE
 5820 STONERIDGE MALL ROAD, SUITE 300
 PLEASANTON, CA 94588
 TEL: (925) 251-0422

HMH

DESIGN GROUP

5164 FRY ROAD
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SPACE RESERVED FOR PROFESSIONAL SEAL

NO.	DESCRIPTION	BY	DATE
1	FOR REVIEW	PGM	4/11/11
2	100%	PGM	4/13/11

SITE NAME

SUISUN CITY

SITE #

877157

SITE ADDRESS

**1510 HUMPHREY DRIVE
 SUISUN CITY, CA 94585
 SOLANO COUNTY**

SHEET TITLE

AERIAL VIEW

SHEET

A-2

APN 0038-231-070

EXISTING SPRINT CELLULAR COMPOUND

APN 0038-241-040

NOTE:
 BOUNDARY LINES SHOWN ARE APPROXIMATE
 A BOUNDARY SURVEY WAS NOT COMPLETED
 FOR THIS PROJECT

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SPACE RESERVED FOR PROFESSIONAL SEAL

REVISION	HMH DESIGN JOB #:	011062
NO.	DESCRIPTION	BY DATE
△	FOR REVIEW	PGM 4/11/11
△	100%	PGM 4/13/11
△		
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SITE NAME

SUISUN CITY

SITE #

877157

SITE ADDRESS

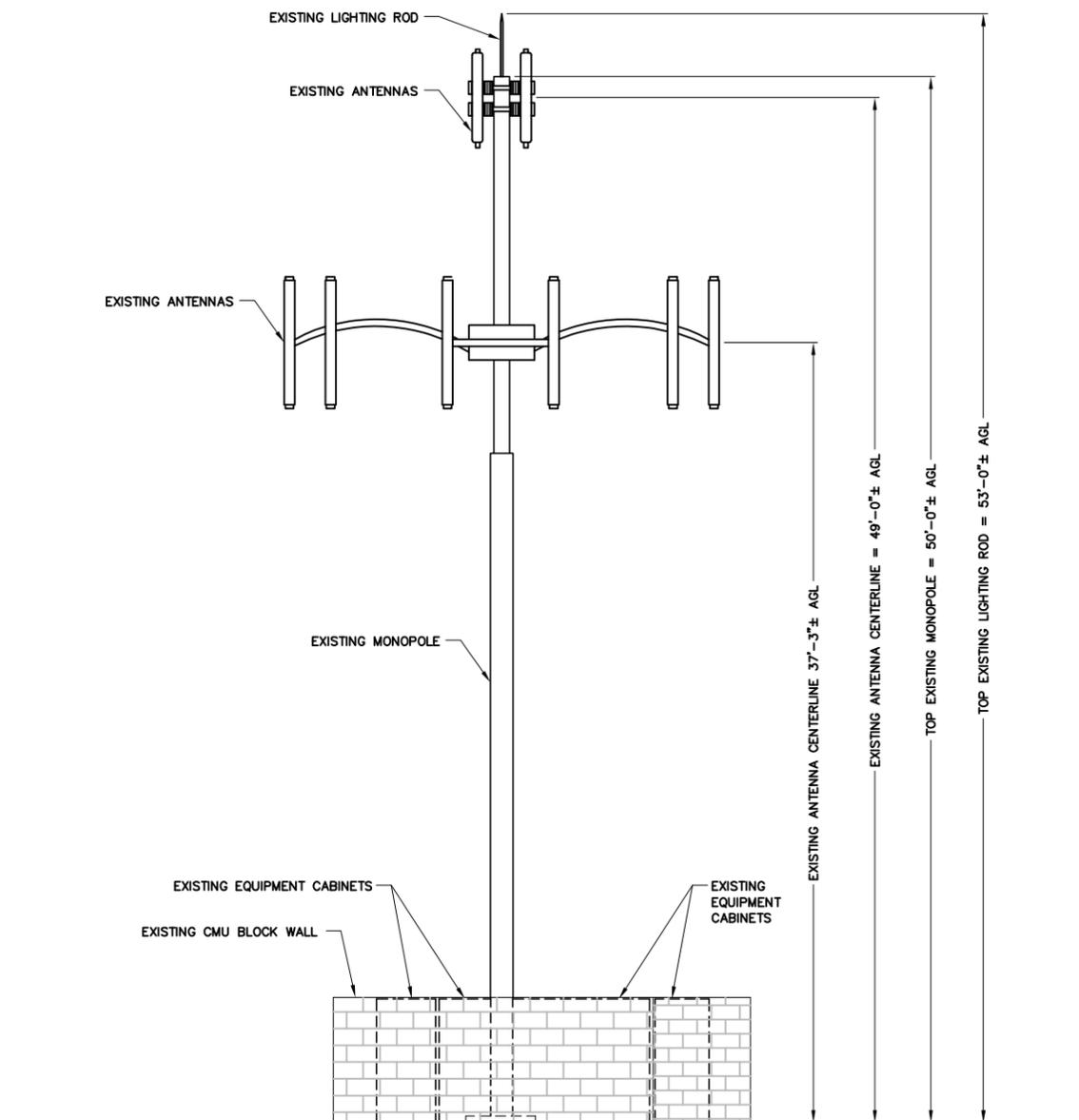
**1510 HUMPHREY DRIVE
SUISUN CITY, CA 94585
SOLANO COUNTY**

SHEET TITLE

ELEVATION VIEWS

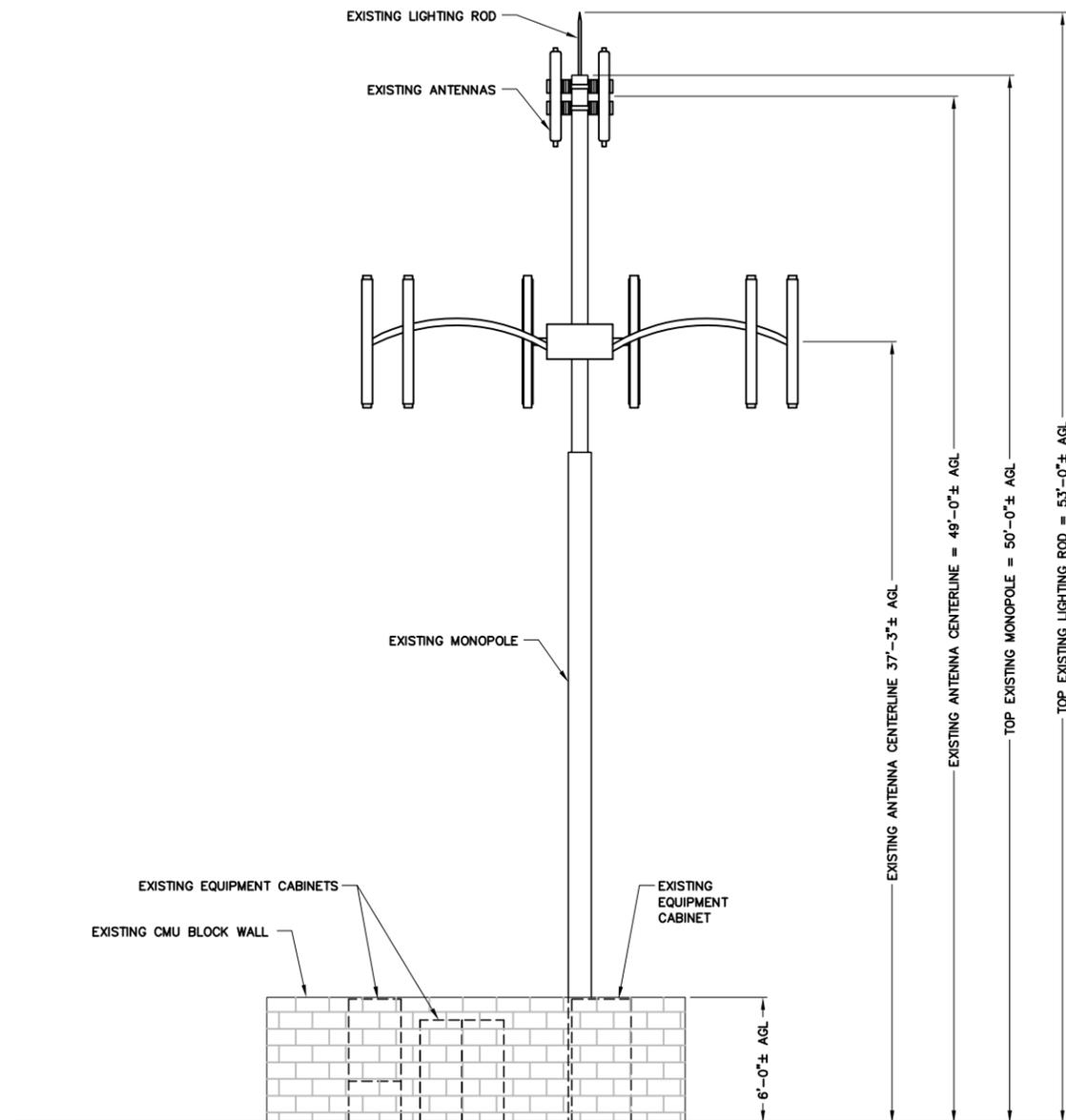
SHEET

A-3



SOUTH ELEVATION

SCALE: 1/4"=1'-0"
0' 2' 4' 8' 12'



WEST ELEVATION

SCALE: 1/4"=1'-0"
0' 2' 4' 8' 12'

ALL DRAWINGS AND WRITTEN MATERIAL CONTAINED HEREIN ARE COPYRIGHTED AND ARE THE SOLE PROPERTY OF THE ARCHITECT/ENGINEER/SURVEYOR AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER/SURVEYOR

SPACE RESERVED FOR PROFESSIONAL SEAL

REVISION HMH DESIGN JOB #: 011062

NO.	DESCRIPTION	BY	DATE
△	FOR REVIEW	PGM	4/11/11
△	100%	PGM	4/13/11
△			
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△ FOR REVIEW PGM 4/11/11

△ 100% PGM 4/13/11

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SITE NAME

SUISUN CITY

SITE #

877157

SITE ADDRESS

1510 HUMPHREY DRIVE

SUISUN CITY, CA 94585

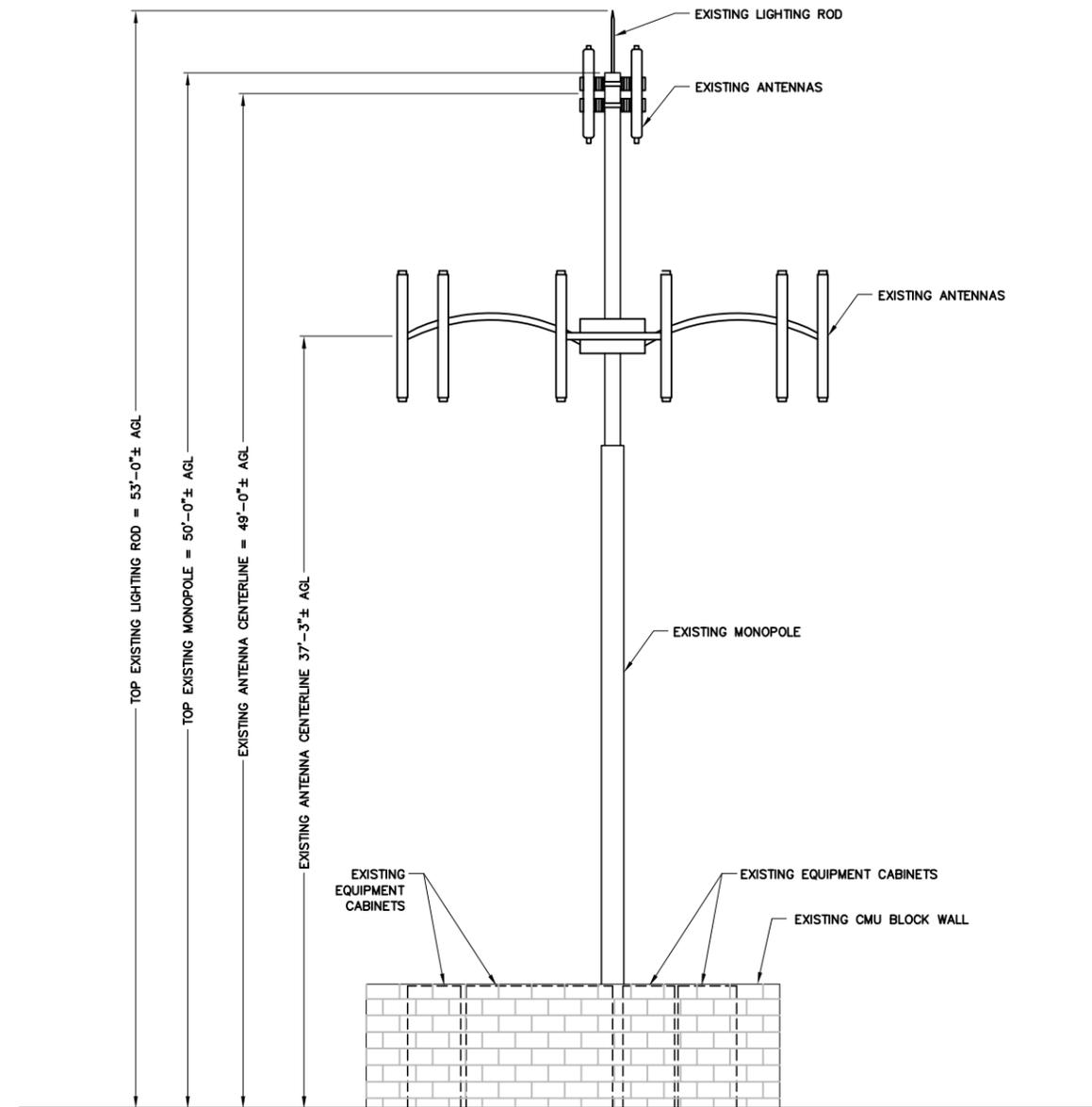
SOLANO COUNTY

SHEET TITLE

ELEVATION VIEWS

SHEET

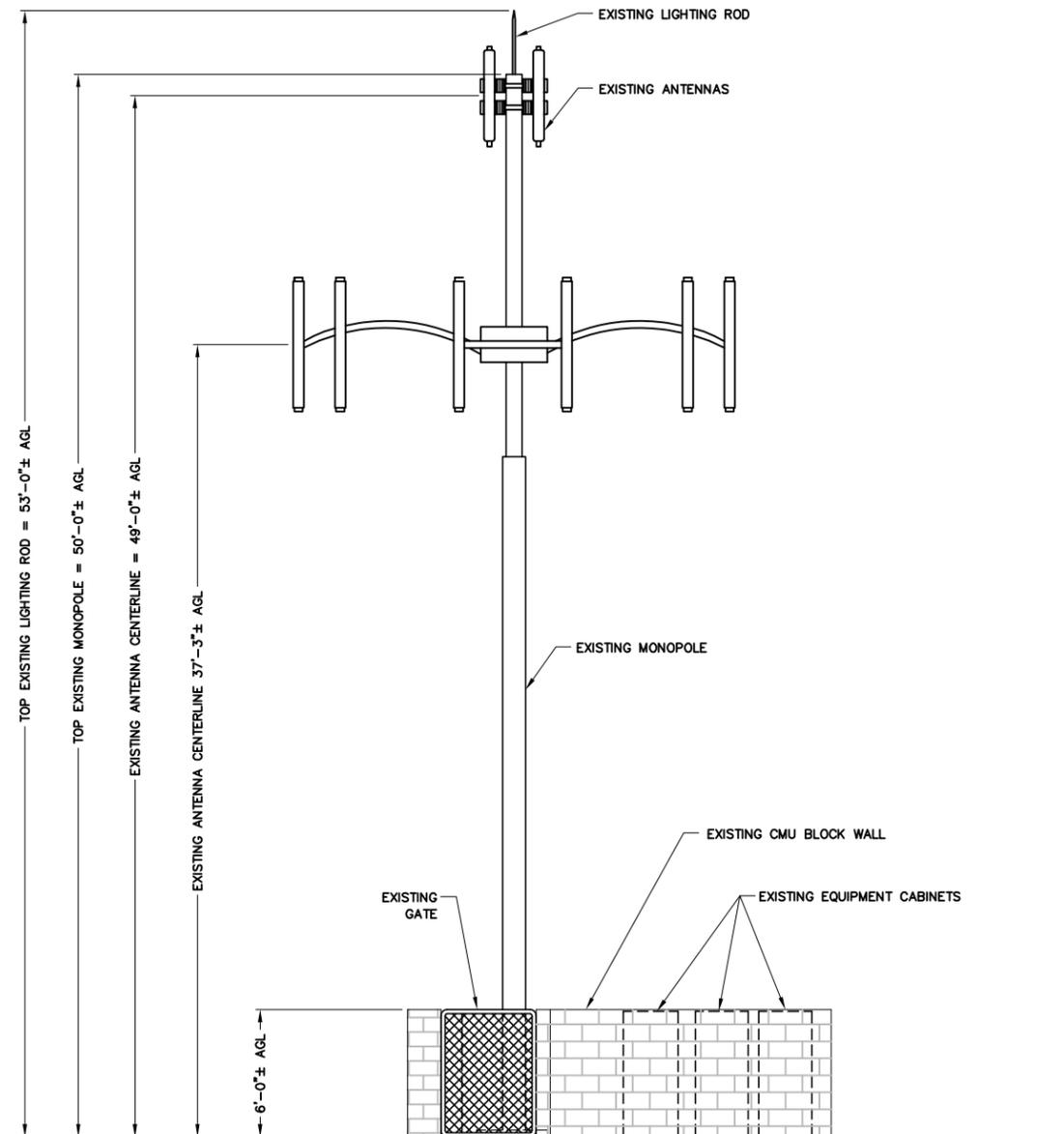
A-4



NORTH ELEVATION

SCALE: 1/4"=1'-0"

0' 2' 4' 8' 12'



EAST ELEVATION

SCALE: 1/4"=1'-0"

0' 2' 4' 8' 12'

AGENDA TRANSMITTAL

MEETING DATE: June 28, 2011

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: Resolution PC11-___; A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP 10/1-007 for the Establishment of an Auto Repair Business at 605 Railroad Avenue, Unit G (0037-090-060)

FISCAL IMPACT: None associated with this item.

APPLICANT:

Raymond Tapley
2829 Vista Grande
Fairfield, CA 94534

OWNER:

Oku Properties
1525 Sonny's Way
Hollister, CA 95023

SITE DATA:

- (1) General Plan/Zoning: Commercial Service/Commercial Service
- (2) Building Configuration: Rectangular building containing multiple units
- (3) Surrounding Land Use/Zoning:
 - North – Railroad and City of Fairfield High Density Residential
 - South – Multifamily Housing/Medium Density Residential
 - West – Commercial/Commercial Service
 - East – Commercial/Commercial Service

ENVIRONMENTAL REVIEW: The proposed project is categorically exempt from the California Environmental Quality Act (CEQA), under Section 15301, Existing Facilities.

BACKGROUND: The applicant submitted a business license for an auto repair and sales business at 605 Railroad Avenue, Unit G on May 10, 2011. Upon receipt of a copy of the business license, the Community Development Department determined that the Commercial-Service zoning for the proposed location would require approval of a Conditional Use Permit prior to establishing an auto repair business. Staff contacted the applicant and informed him that a Conditional Use Permit was required. The application was submitted and deemed complete by planning staff.

PREPARED BY:

John Kearns, Associate Planner

REVIEWED/APPROVED BY:

April Wooden, Community Development Director

STAFF REPORT: The applicant will conduct a standard automobile repair service including preventive maintenance, diagnostic issues, check engine lights, electrical problems, and timing belts. The proposed business will operate on call by appointment only. The business will be staffed by one employee, but has space within the shop to store three vehicles at one time.

There are three parking spaces on the property that are reserved for the unit where the proposed business will be conducted. The Suisun City zoning ordinance requires that auto repair uses have one parking space for every 400 square feet of floor area. Section 18.52.020 (E) further states “*Whenever the computation of the number of off-street parking spaces required by this section results in a fractional parking space, one additional parking space shall be required for one-half or more fractional space and any fractional space less than one-half of a parking space shall not be counted.*” Since the proposed use is to be conducted within a 1368-square-foot space, only three parking spaces are required. Additionally, all repair work will be conducted inside the building and vehicles that are in the process of being repaired will be kept indoors at all times.

There are several automobile related businesses in the near vicinity. Businesses in other units in the same building as the proposed use include existing auto repair businesses, personal storage units, an ice cream storage business, a fire safety supply business, and an electrical contractor.

Required Permit:

Approval of a Conditional Use Permit is required to establish the proposed use in a Commercial Service (C-S) district. Automobile repair is not listed as a permitted use in the C-S district. However, the C-S district allows the establishment of Light-Manufacturing uses which would result in impacts similar to those of a use such as auto repair subject to approval of a Conditional Use Permit.

Findings:

Section 18.66.060 of the Suisun City zoning ordinance requires that the Planning Commission make three findings and staff suggests that an additional two findings be made (below):

Finding 1: That the project is categorically exempt from the California Environmental Quality Act, Section 15301, as a use of an existing structure involving only minor interior alterations.

Staff believes that Finding 1 can be made because the business will be conducted in an existing unit that will not require major alterations to accommodate the proposed use. Therefore the project is categorically exempt from the California Environmental Quality Act per Section 15301, Existing Facilities.

Finding 2: That the use of the auto repair business has been considered through the Conditional Use Permit process as required by the Suisun City Zoning Ordinance.

Staff believes that Finding 2 can be made because the Planning Commission provided public notice, has held a public hearing, and has considered the staff report and record before taking action on this discretionary permit. Therefore the consideration of the use permit has been conducted in the manner required by the Municipal Code.

Finding 3: The establishment, maintenance or operation of a use or building applied for are in conformity to the general plan for the city with regard to traffic circulation, population densities and distribution, and/or other aspects of the general plan considered by the zoning administrator to be pertinent.

Staff believes that Finding 3 can be made. The auto repair business, when subject to the adopted conditions, will not conflict with the Goals, Objectives, and Policies of the General Plan because the proposed location has a General Plan designation of Service Commercial. The Service Commercial land use designation is intended to accommodate a broader range of commercial land uses than would otherwise be permitted in community commercial areas, including those uses that produce noise or have other impacts that make them incompatible with residential neighborhoods. The General Plan lists auto repair as an appropriate use along Railroad Avenue in areas designated for Service Commercial. Therefore, the use conforms to the pertinent policies of the General Plan.

Finding 4: Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

- Staff believes that Finding 4 can be made because the proposed use will be located in an existing building with utility service connections, vehicle access, and parking. Therefore, all necessary facilities have been or are being provided.

Finding 5: The applicant exhibits proof that such use will not, under the circumstances of the particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city, provided that if any proposed building or use is necessary for the public health, safety or general welfare, the finding shall be to that effect.

Staff believes that Finding 5 can be made. The auto repair business, when subject to the adopted conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, nor to the general welfare of the City because the proposed use is not expected to cause odors or dust and is expected to generate only a small amount of used oil for disposal. The applicant has secured a service to pick up all hazardous materials generated by the proposed business. Noise generated by the business will be minimal and is not anticipated to impact adjacent properties. Furthermore, the parking available on site is expected to be sufficient to serve the proposed business.

STAFF RECOMMENDATION: Adoption of Resolution No. PC11-___: A Resolution of the City of Suisun City Planning Commission Approving Conditional Use Permit Application No. UP 10/1-007 for the Establishment of an Auto Repair Business at 605 Railroad Avenue, Unit G (0037-090-060).

ATTACHMENTS:

1. Resolution No. PC11-
2. Application Materials

RESOLUTION NO. PC 11-__

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUISUN
CITY APPROVING CONDITIONAL USE PERMIT APPLICATION
NO. UP10/1-007 FOR THE ESTABLISHMENT OF AN AUTO REPAIR BUSINESS AT
605 RAILROAD AVENUE, UNIT G (0037-090-060)**

WHEREAS, the Planning Commission at its regular meeting of June 28, 2011 did review application UP10/1-005 for the establishment of an auto repair business at 605 Railroad Avenue, Unit G; and

WHEREAS, the public hearing notice was published in the Daily Republic on June 18, 2011; and

WHEREAS, a report by the City Staff was presented and made a part of the recommendations of said meeting; and

WHEREAS, all relevant City regulations and ordinances have been considered in relation to this project; and

WHEREAS, this project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) per Section 15301; and

WHEREAS, based on evidence presented to the Planning Commission by City Staff and the applicant, the following Findings are hereby made:

1. That the project is categorically exempt from the California Environmental Quality Act, Section 15301, as a use of an existing structure involving only minor interior alterations because the business will be conducted in an existing unit that will not require major alterations to accommodate the proposed use. Therefore the project is categorically exempt from the California Environmental Quality Act per Section 15301, Existing Facilities.
2. That the use of the auto repair business has been considered through the Use Permit process as required by the Suisun City Zoning Ordinance because the Planning Commission provided public notice, has held a public hearing, and has considered the staff report and record before taking action on this discretionary permit. Therefore the consideration of the use permit has been conducted in the manner required by the Municipal Code.
3. That the auto repair business, when subject to the adopted conditions, will not conflict with the Goals, Objectives, and Policies of the General Plan because the proposed location has a General Plan designation of Service Commercial. The Service Commercial land use designation is intended to accommodate a broader range of commercial land uses than would otherwise be permitted in community commercial areas, including those uses that produce noise or have other impacts that make them

incompatible with residential neighborhoods. The General Plan lists auto repair as an appropriate use along Railroad Avenue in areas designated for Service Commercial. Therefore, the use conforms to the pertinent policies of the General Plan.

4. That the auto repair business, when subject to the adopted conditions, will not have significant noise, traffic, or parking impacts on the neighborhood because the proposed use will be located in an existing building with utility service connections, vehicle access, and parking. Therefore, all necessary facilities have been or are being provided.
5. That the auto repair business, when subject to the adopted conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, nor to the general welfare of the City because the proposed use is not expected to cause odors or dust and is expected to generate only a small amount of used oil for disposal. The applicant has secured a service to pick up all hazardous materials generated by the proposed business. Noise generated by the business will be minimal and is not anticipated to impact adjacent properties. Furthermore, the parking available on site is expected to be sufficient to serve the proposed business.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby approve the Use Permit subject to the following Conditions and all other local, state, and federal requirements:

1. The applicant shall comply with all applicable Federal, State, and local codes including, but not limited to, the Uniform Building Code, Fire Code and County Health Department guidelines as interpreted by the County Health Inspectors.
2. There shall be no loitering in or around the property at any time.
3. The business shall operate as stated in the staff report; if there are changes to the business those changes shall be subject to the approval of the Planning Department as well as all other appropriate agencies.
4. There shall be no outdoor storage of wrecked, damaged, or inoperable vehicles.
5. No automobile repairs or other work shall be preformed outside of the building.
6. Use of the property shall not create noise or nuisance problems to adjoining users.
7. This permit shall be valid for a period of **three** years from approval. After this time, a new application must be submitted and considered as to the appropriateness of its continued use at this location.
8. The installation of any sign, at any time, along with any proposed building alterations, shall be submitted to the City for the appropriate review and approval. Sign installation or

building alteration undertaken without City approval shall be cause for revocation of the use permit.

9. Approval of this permit shall become effective on July 11, 2011, provided no appeals are received within 10 calendar days of the Planning Commission meeting date of June 28, 2011 and that the property owner and applicant signatures are obtained affirming that they have read and understand the Conditions of Approval for the Conditional Use Permit No. 10/1-007 and agree to comply with the conditions.
10. The applicant shall receive an approved City of Suisun City business license prior to operation of the proposed business.

The foregoing motion was made by Commissioner _____ and seconded by Commissioner _____ and carried by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:
ABSTAIN:	Commissioners:

WITNESS my hand and the seal of said City this 28th day of June 2011.

Anita Skinner, Commission Secretary

Proposed product or services offered

Electrical problems, exterior lights, interior lights, Check engine diagnostic, ABS light, instrument panel lights and lights warnings, mechanical repairs, medium repairs, driving belts, water pumps, tune ups.

Hrs of operation

On call , by appoiment number of customers 10 by start

Number of employees one

Outdoors activities

Outdoor work nothing , storage few boxes, display and services nothing

Odors, noise, dust or glare produced

Noise just from the engine

Hazardous or Volatile matelials or chemicals involved

Carburator cleaner, brake cleaner, A/T oil, Engine oil, Brake fluid, power steering fluid,
And additives.

Type of vehicle traffic involved including means of access,

Passenger Vehicles

Available parking three spaces for three vehicles

Drop-off / pick-up

Nothing

Truck deliveries

From auto parts shop

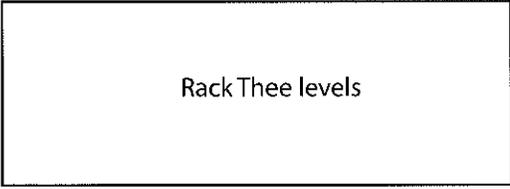
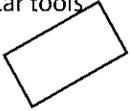
Not lease control or other private provisions

Brief description of prior use of property

Storage from Verizon wireless cell phones

24 feet

Car tools



Rack Three levels



Storage

Car tools



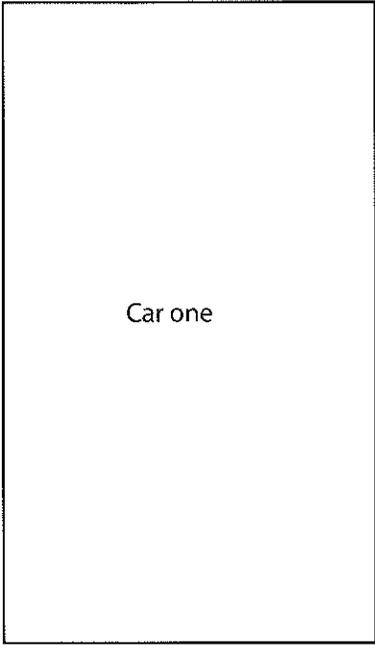
8 feet

Restroom

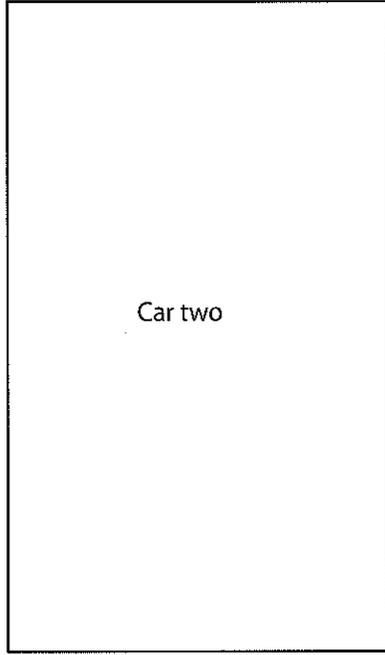
Air Compressor



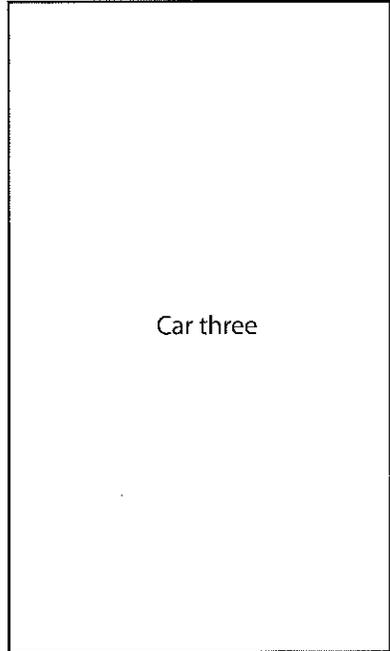
5 feet



Car one



Car two



Car three

57 feet



Desk

Fire Extinguisher



Trash can





Grande Cir

Equilibrium Tuning

Mini-Stor

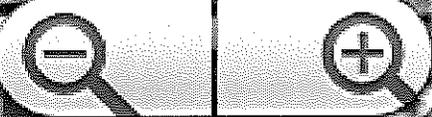
Railroad Avenue Autoworks

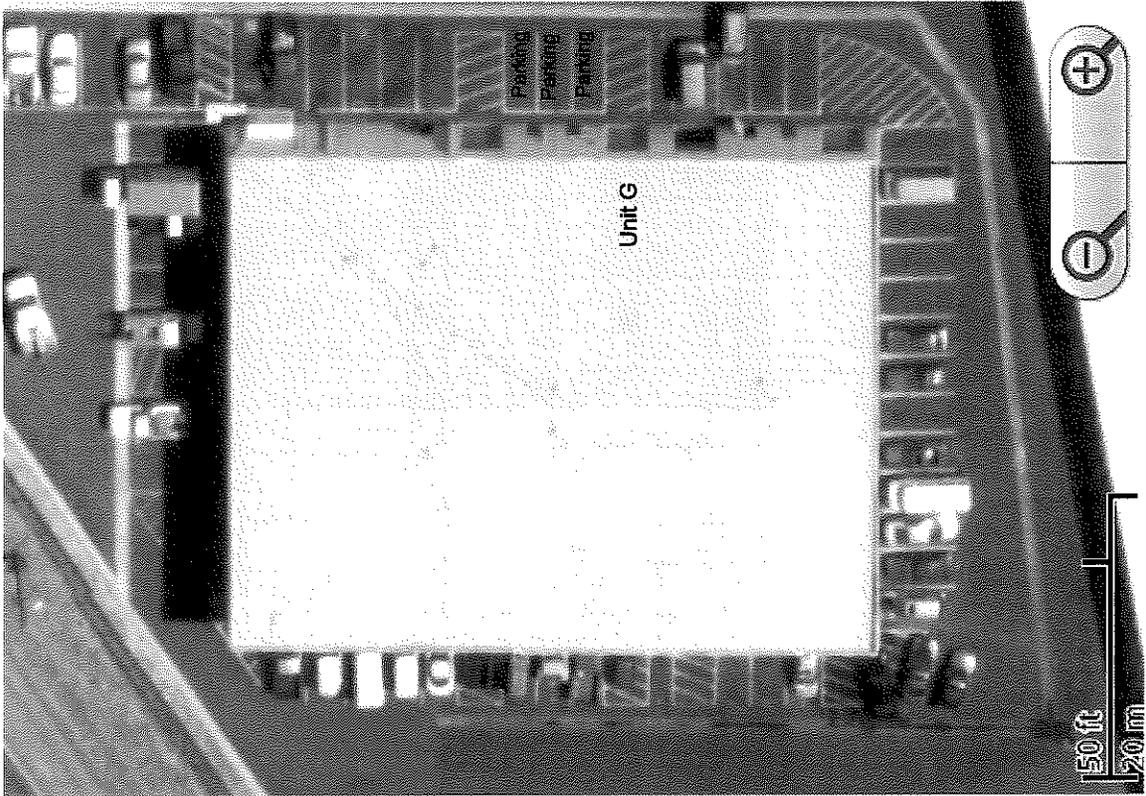
Plumbing Fixtures 4 Less

Railroad Ave

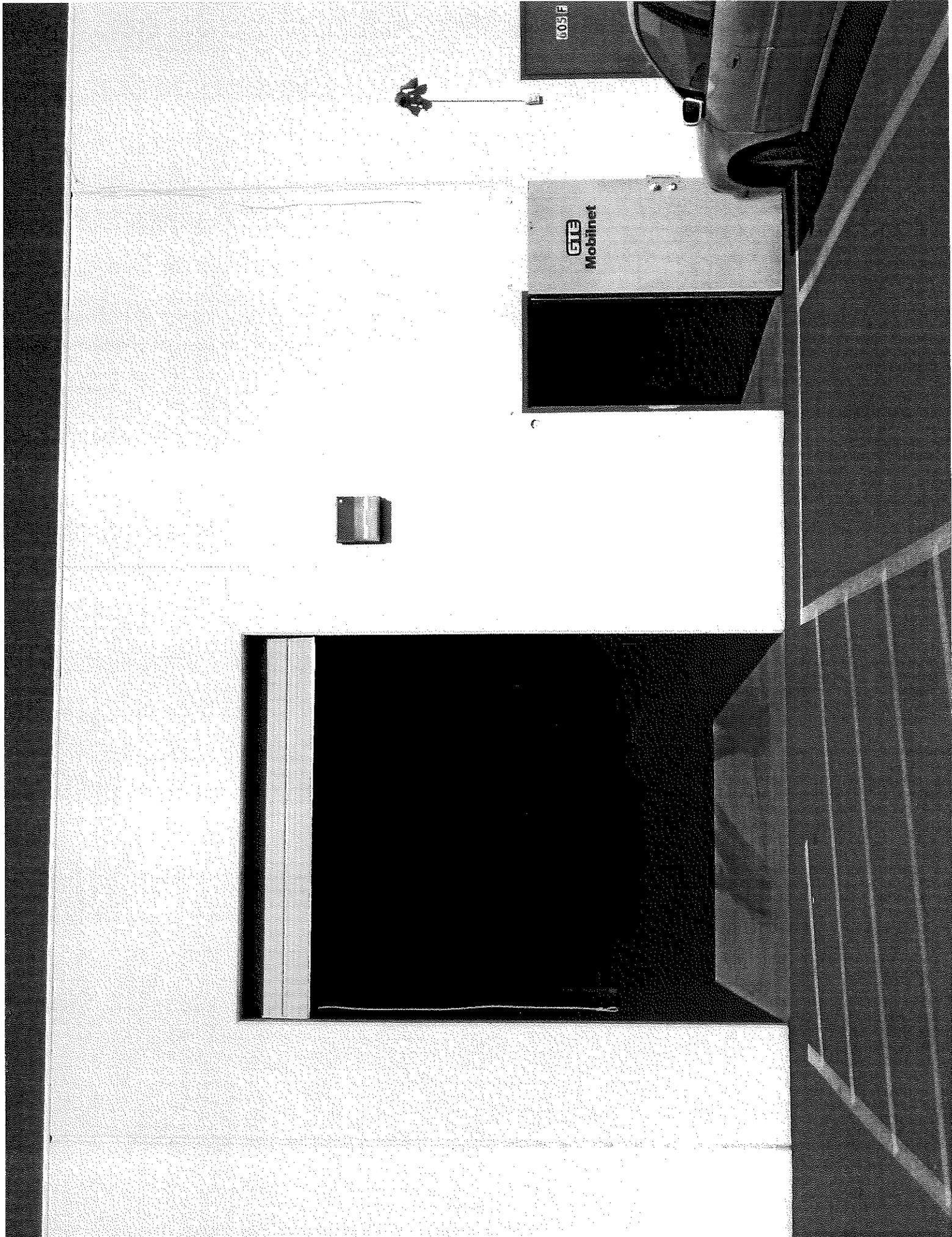
Worley Rd

200 ft
50 m



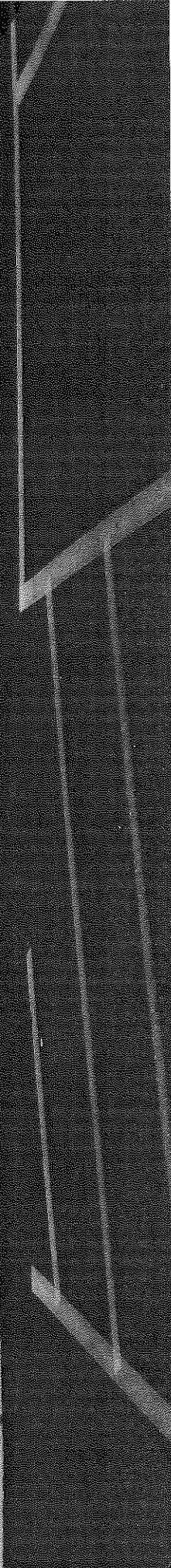
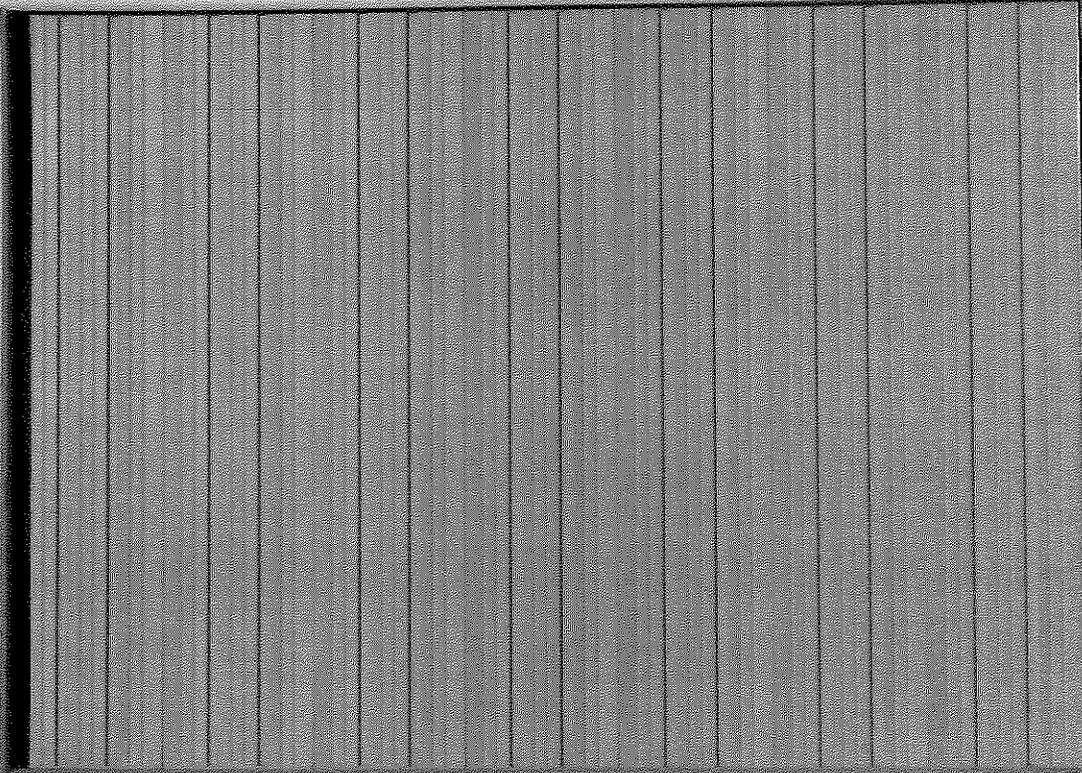
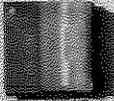
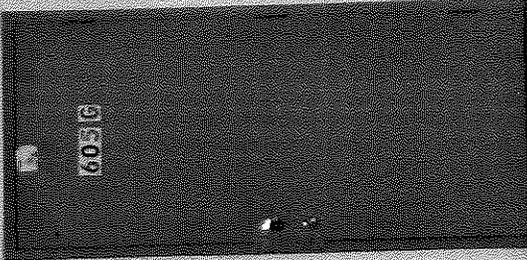




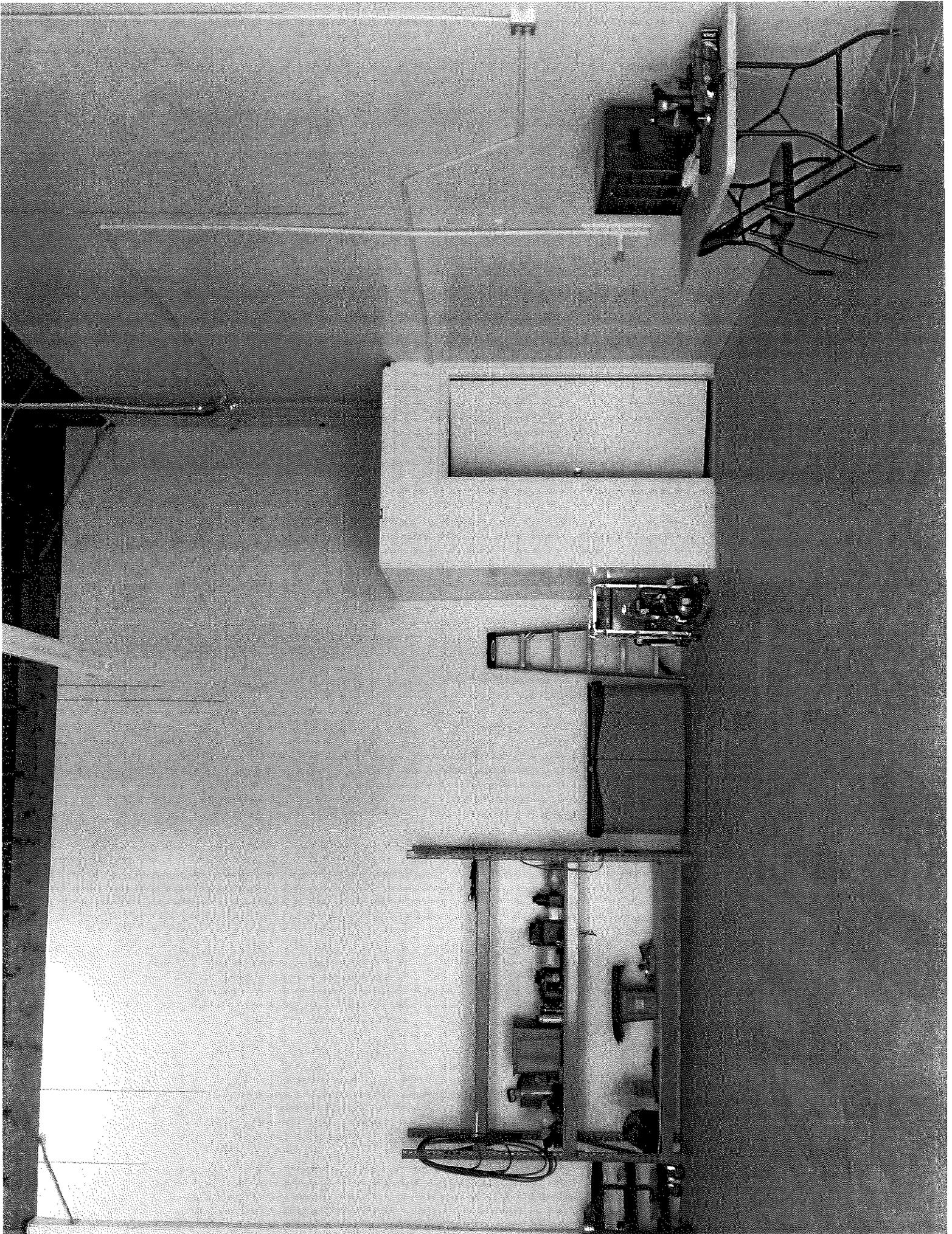


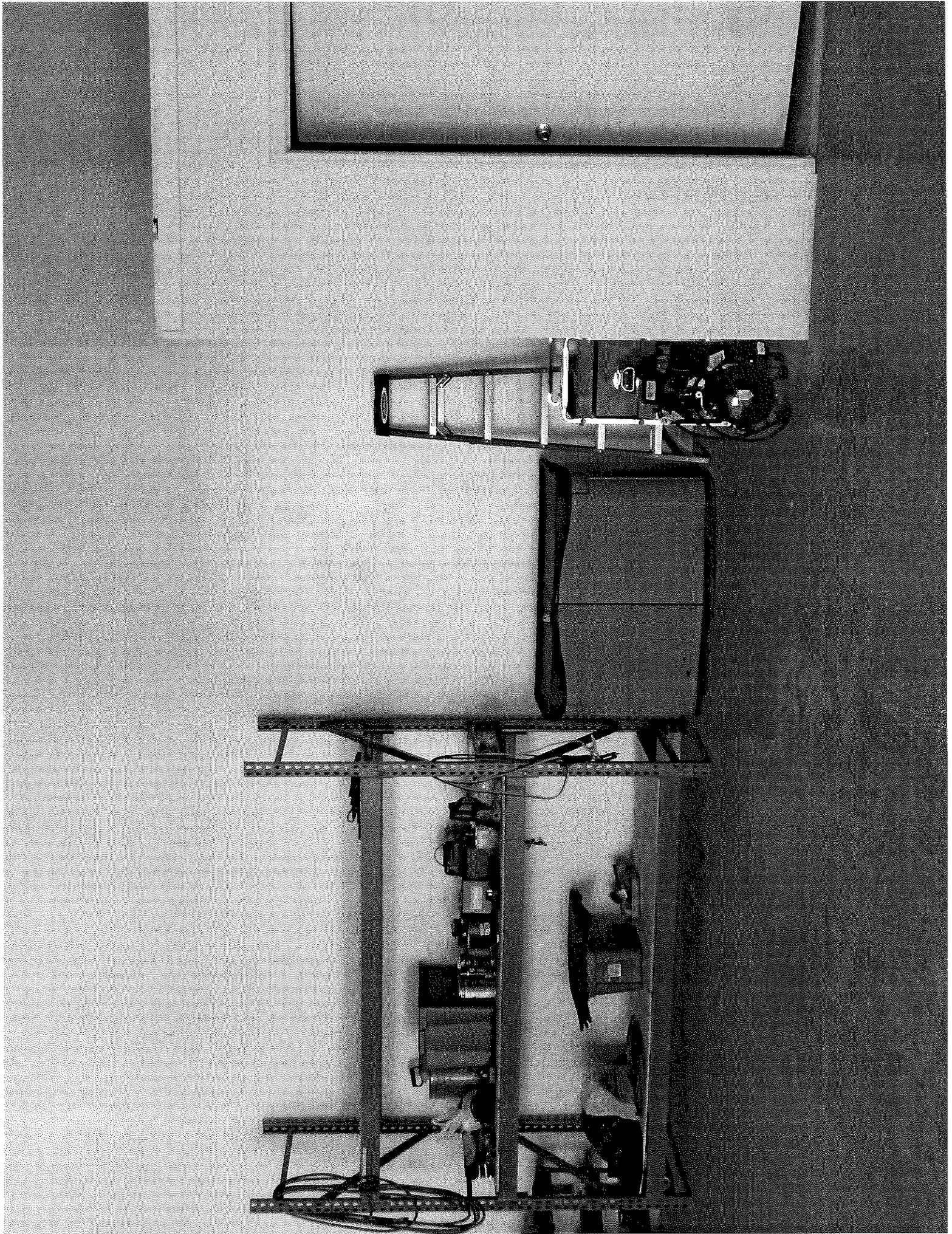
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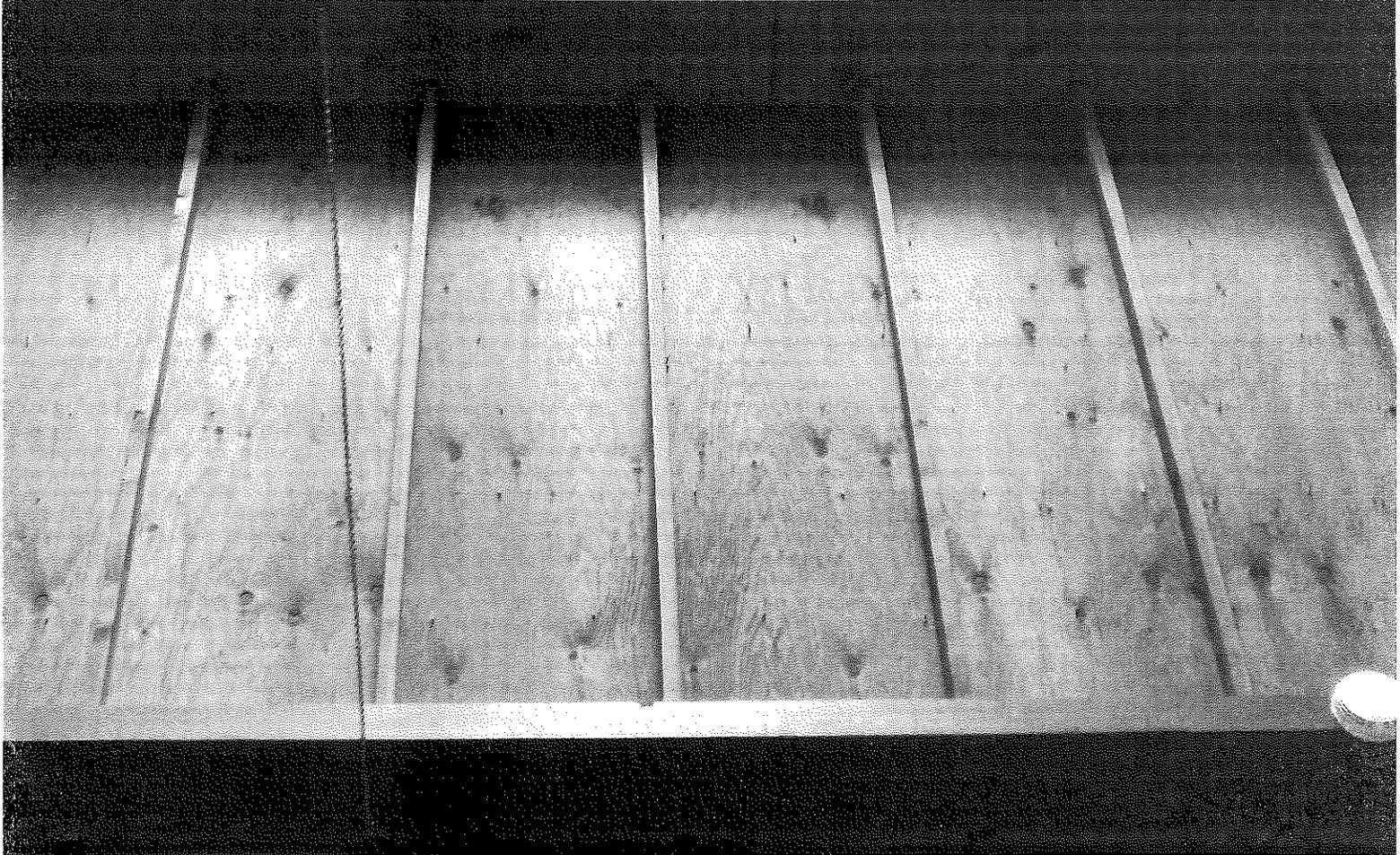
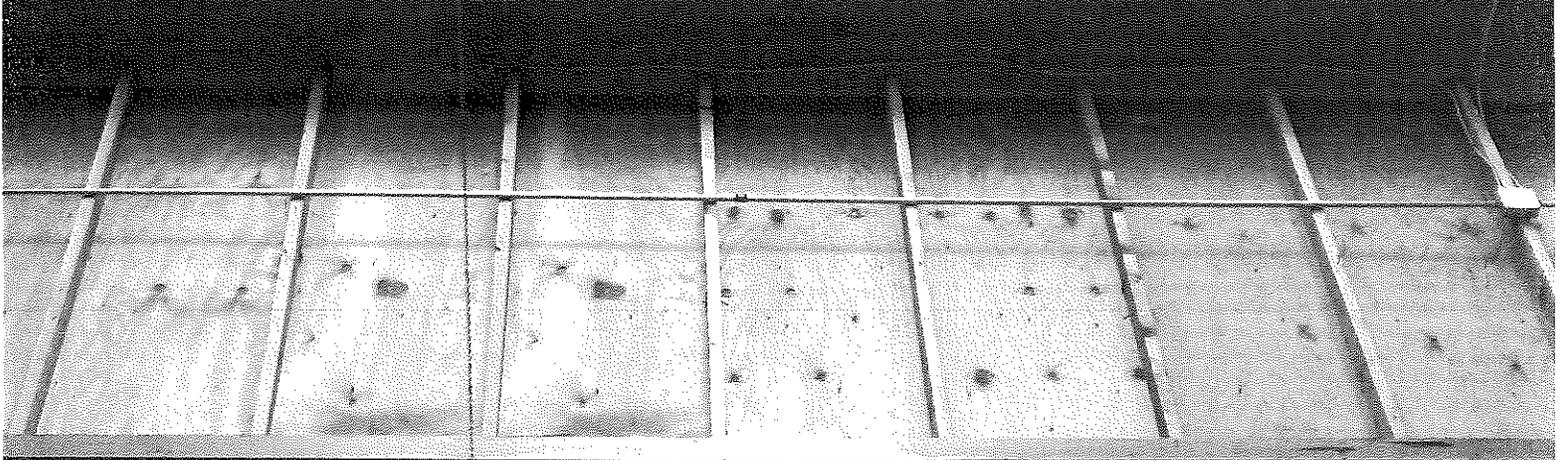
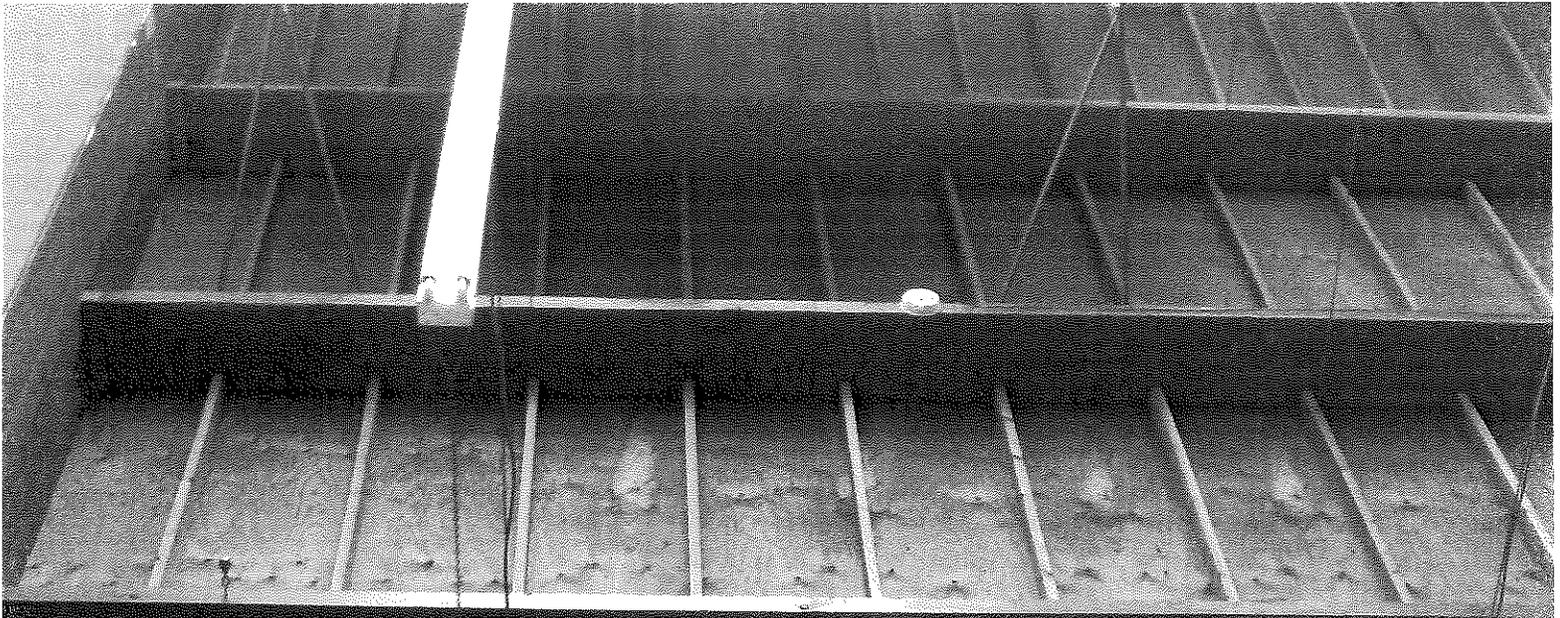
GTE
Mobilnet

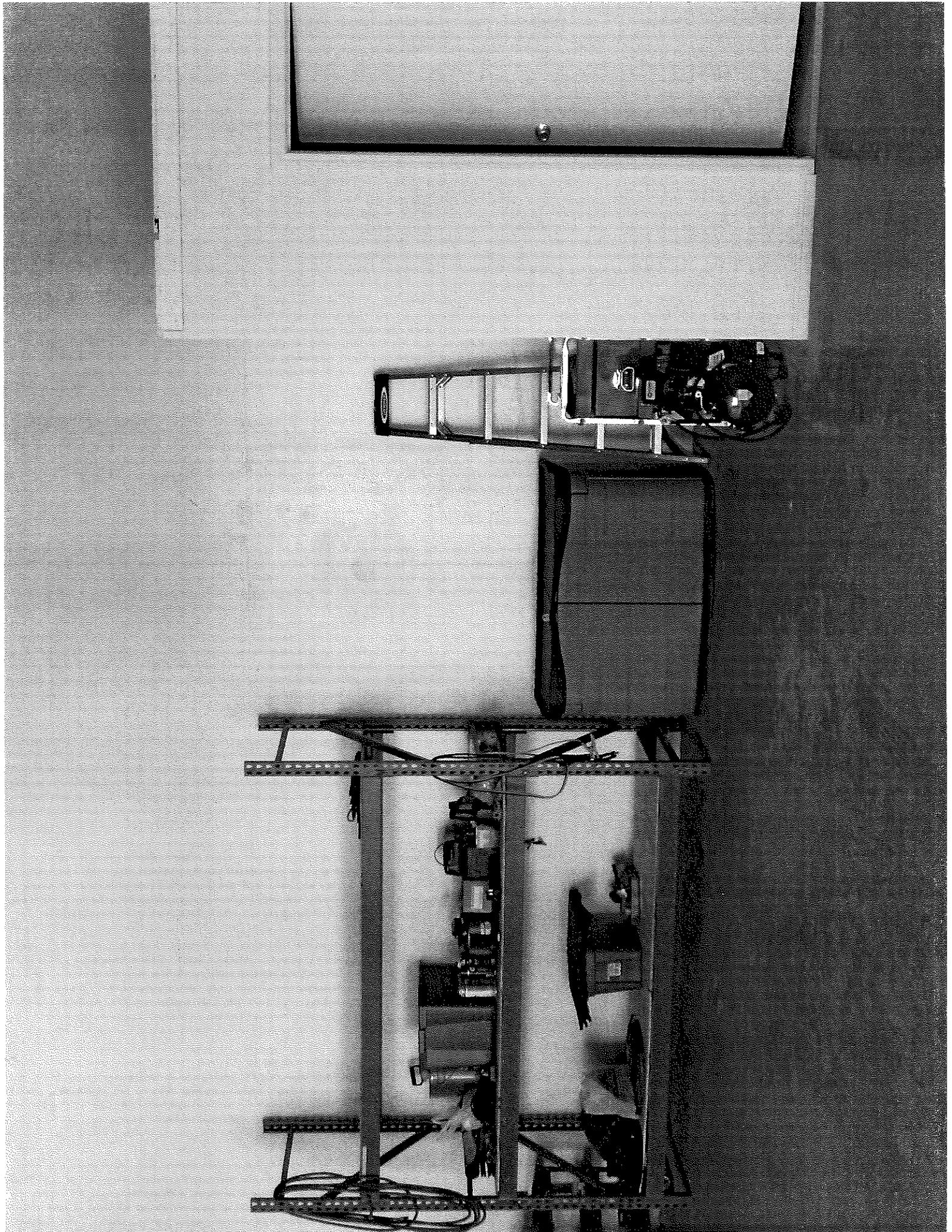


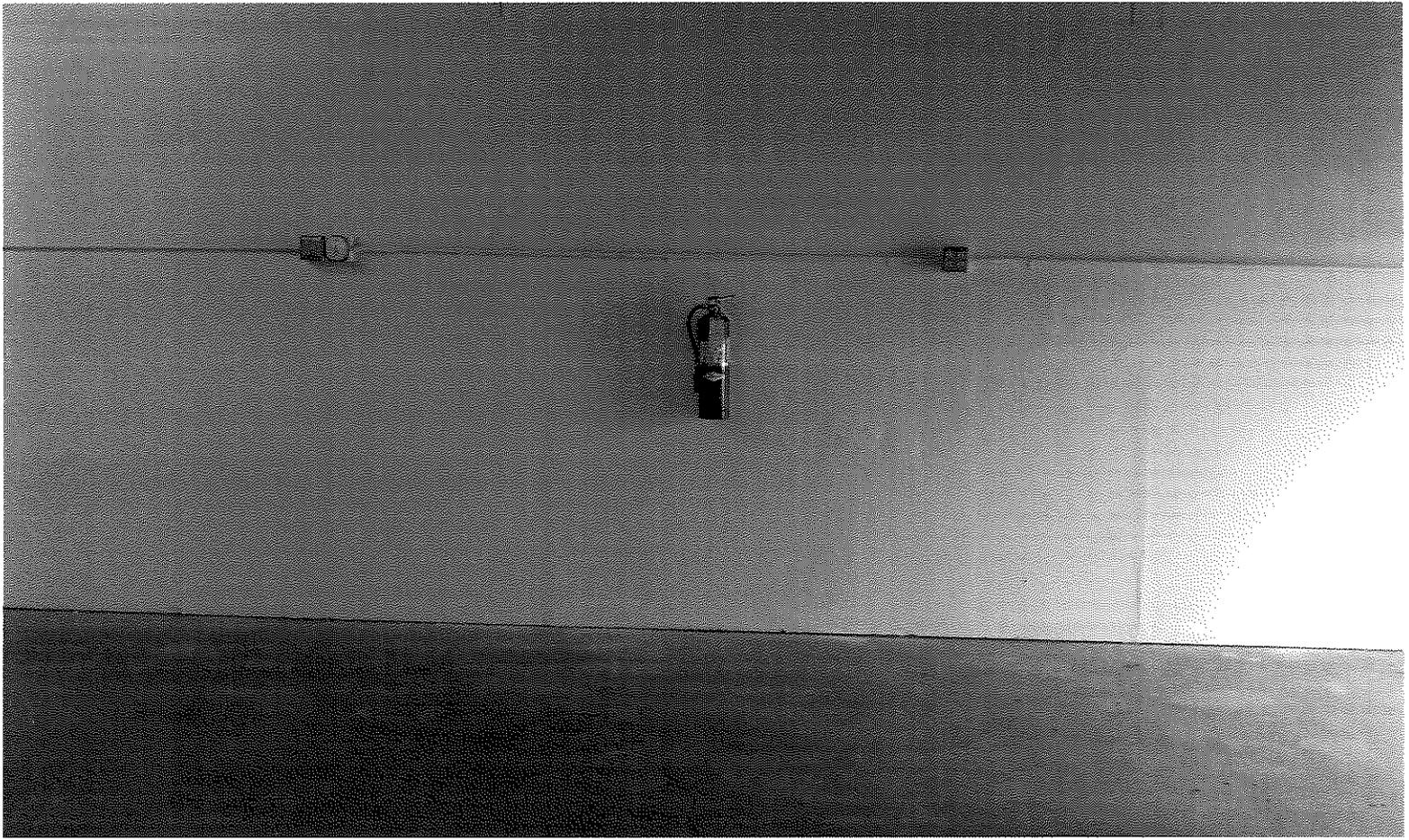












AGENDA TRANSMITTAL

MEETING DATE: June 28, 2011

PLANNING COMMISSION AGENDA ITEM: PUBLIC HEARING: A Resolution of the City of Suisun City Planning Commission Approving Site Plan/Architectural Review Application No. AR 10/1-010 for the Construction of a Chapel and Classroom Space Located at 586 East Wigeon Way (0173-131-150)

FISCAL IMPACT: None associated with this item.

APPLICANT:

GRA Architecture
2016 P. Street, #200
Sacramento, CA 95811

OWNER:

The Salvation Army (TSA)
3755 North Freeway Blvd.
Sacramento, CA 95834

SITE DATA:

- (1) General Plan/Zoning: Park
- (2) Building Configuration: (See Attachment 3)
- (3) Surrounding Land Use/Zoning:
 - North- Single-Family Residences and Fire Station/Residential Single-Family
 - South- Single-Family Residences/Residential Single-Family and The Salvation Army Ray and Joan Kroc Corps Community Center (under construction)
 - West- Suisun Elementary School/Residential Single-Family
 - East- Single-Family Residences/Residential Single-Family

ENVIRONMENTAL REVIEW: The proposed project was analyzed pursuant to the requirements of the California Environmental Quality Act (CEQA). The environmental analysis for the proposed chapel was encompassed in the environmental analysis that was conducted for the adjacent The Salvation Army Ray and Joan Kroc Corps Community Center. An Initial Study was prepared by the City's environmental consultant, PMC, and subsequently circulated on November 24, 2010 for public and agency review and comment, and circulated through the State Clearinghouse (SCH #2010112066). A Mitigated Negative Declaration was adopted by the City Council and a Notice of Determination was filed with Solano County.

BACKGROUND: The proposed project involves the construction of a chapel, classrooms, courtyard, and storage adjacent to the approved Salvation Army Kroc Center at 586 East Wigeon Way. Applications for a rezoning of property owned by the City, TSA, and the Fairfield- Suisun

PREPARED BY:

John Kearns, Associate Planner

REVIEWED/APPROVED BY:

April Wooden, Community Development Director

Unified School District, a lot line adjustment to allow the purchase and acquisition of additional property by TSA, the renovation and expansion of an existing facility for a new The Salvation Army Ray and Joan Kroc Corps Community Center, and environmental review have previously been considered and approved by the Planning Commission and City Council. The approved application for the renovation and expansion of the community center anticipated the future construction of a chapel on the site, to be considered under a separate application. In April 2011, the applicant submitted an application for site plan approval for the proposed chapel and the application was deemed complete in June.

STAFF REPORT: The proposed project consists of the construction of a chapel, classroom space, a fenced courtyard space, and storage space adjacent to the previously approved Salvation Army Community Center at 586 East Wigeon Way. The structure that will enclose the proposed chapel, classroom, and storage measures 11,487 square feet located within the overall project site for the Kroc Community Center.

Project Characteristics

The Phase II project is proposed to include the following:

- A 300-seat chapel with raised platform;
- Classroom space;
- Storage space;
- A Fenced courtyard space; and
- Accessory uses

The architecture of the project is proposed to include a combination of concrete masonry unit (cmu) and reinforced cement plaster finishes with the use of phenolic panels on certain elevations. Additionally, aluminum storefront window systems are to be used for the windows and the roof is proposed to be a standing seam roof. The proposed color scheme, which is consistent with the Phase I project, is identified below as well as on the color elevations.

- Exterior Laminate Panel Trespa, base color #711
- Exterior Laminate Panel Trespa, accent color #710
- Upper Building ICI Paints, color Camel Tan
- Lower Building ICI Paints, color Sahara
- Parapet Caps ICI Paints, color Old Brick
- Metal Standing Seam Roof, color Cool Terra Cotta

Proposed Planning Commission Findings

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on June 18th in the *Daily Republic* newspaper and mailed to surrounding property owners.
2. That the proposed project, when subject to the conditions will not conflict with the Goals, Objectives, and Policies of the General Plan, and the purposes of the zoning district in which the site is located, because the Park General Plan designation and Park Zoning classification permit this type of use and the proposed use meets the purpose of the zoning district.

3. That the proposed project and its uses, when subject to the conditions, will not be detrimental to the public health, safety, or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity, or to the general welfare of the City, because the projects design makes use of landscaping buffers and exterior treatments of the building are designed to soften the impact of the proposed construction.
4. That the proposed project and its uses have been considered through a Site Plan /Architectural Review process as required by Suisun Zoning Ordinance as the public hearing took place on June 28th and testimony and materials were considered by the Planning Commission prior to adoption of the resolution.
5. The City of Suisun City Community Development Department conducted an Initial Study and the City Council adopted a Mitigated Negative Declaration on January 4, 2011.

STAFF RECOMMENDATION: Approve Resolution No. PC11-__: A Resolution of the City of Suisun City Planning Commission Approving Site Plan/Architectural Review Application No. AR 10/1-010 for the Construction of a Chapel and Classroom Space Located at 586 East Wigeon Way (0173-131-150)

ATTACHMENTS:

1. Site Plan/Architectural Review Resolution PC11-____
2. Application Materials

RESOLUTION NO. PC11-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUISUN CITY APPROVING SITE PLAN/ARCHITECTURAL REVIEW APPLICATION NO. AR 10/1-010 FOR THE CONSTRUCTION OF A CHAPEL AND CLASSROOM SPACE AT 586 EAST WIGEON WAY (0173-131-150)

WHEREAS, the Planning Commission at its regular meeting on June 28, 2011 did review the application for the approval of Site Plan/Architectural Review No. AR 10/1-010; and

WHEREAS, notices for the Planning Commission public hearing were published in the Daily Republic on June 18, 2011 and notices were mailed to individual property owners within 300 feet on June 16, 2011; and

WHEREAS, a report by the City Staff was presented and made a part of the record of said meeting; and

WHEREAS, this project has been considered for compliance with all city regulations and ordinances; and

WHEREAS, a Mitigated Negative Declaration was adopted by the City Council for the project in January 2011; and

WHEREAS, based on evidence presented at the Public Hearing by City Staff, the applicant, the public and Commissioners, the following Findings are hereby made:

1. Notice has been given in the time and in the manner required by State Law and City Code because a public notice was published on June 18th in the *Daily Republic* newspaper and notices were mailed on June 16, 2011 to surrounding property owners located within 300 feet of the proposed project.
2. That the proposed project, when subject to the conditions, will not conflict with the Goals, Objectives, and Policies of the General Plan and the purposes of the zoning district in which the site is located because the Park General Plan designation and Park Zoning classification permit this type of use and the proposed use meets the purpose of the zoning district.
3. That the proposed project and its uses, when subject to the conditions will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, nor detrimental to properties or improvements in the vicinity or to the general welfare of the City because the projects design makes use of landscaping buffers as well as exterior treatments of the building soften the impact of the proposed construction.
4. That the proposed project and its uses have been considered through a Site Plan /Architectural Review process as required by Suisun Zoning Ordinance as the public hearing took place on June 28th.

5. The City of Suisun City Community Development Department conducted an Initial Study and the City Council adopted a Mitigated Negative Declaration on January 4, 2011.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning Commission of the City of Suisun City does hereby approve Site Plan/Architectural Review Application No. AR 10/1-010; subject to the following Conditions and all other Suisun City Codes and Ordinances:

GENERAL CONDITIONS

1. The Applicant agrees to defend and indemnify and hold the City, its officers, officials, agents, employees, volunteers, and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed against the City by reason of its approval of Applicant's project.

PUBLIC WORKS

GENERAL

1. All work performed shall conform to these conditions as well as all City ordinances, rules, standard specifications and details, design standards, and any special requirements imposed by the City Engineer. The Public Works Department will provide inspection to ensure conformance. Any deviation from the aforementioned documents shall require review and written approval by the City Engineer.
2. The parking lot directly to the west of the fire station and northeast of the Salvation Army Building shall comply with the City's onsite parking standard for an industrial heavy vehicle parking lot. Other parking lots outside said areas shall comply with the City's onsite parking standard for standard parking lot.
3. All sidewalks, including those adjacent to the parking lots, shall comply with the City's standards for curb, gutter and sidewalk.
4. The Public Works Director may approve and/or negotiate minor changes or exceptions to Public Works Department conditions of approval.
5. The Improvement Plans shall include a General Note that: any revisions to the approved Improvement Plans and/or City Standards, including those due to field conditions, shall require review and written approval by the City Engineer. The Applicant shall have the revised plans prepared by the Project Professional Designer and shall have the revised plans submitted for review and approval by the City Engineer. Any revisions to the Improvement Plans resulting from these or other conditions contained herein shall be subject to written approval of the City Engineer.
6. The Applicant shall obtain all necessary permits from all applicable agencies prior to development.
7. All work within the public right-of-way, which is to be performed by the Applicant, the general contractor, and all subcontractors shall be included within a single City Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to

commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.

8. The Applicant shall prepare a notice, subject to the review by the City Engineer, that lists all construction mitigation requirements, permitted hours of construction, and identifies both the applicant and a contact person the Applicant who will respond to complaints related to the proposed construction. The notice shall be mailed to property owners and residents within a 300-foot radius from the subject site at least ten (10) calendar days prior to the start of construction.
9. Any existing wells shall be abandoned per County of Solano Health Department standards prior to development of the property. Owner shall submit documentation to the Public Works Director that this condition has been satisfied prior to any construction on this project.
10. If any archaeological resources are found during the grading of the site or during performance of any work, work shall be halted, the City Engineer shall be notified and a certified archaeological firm shall be consulted for advice.
11. If any paleontological resources are found during the grading of the site or during performance of any work, work shall be halted, the City Engineer shall be notified and a certified paleontological firm shall be consulted for advice.
12. Visual obstructions over three feet in height are not allowed within the driver's sight triangle near driveways and corners in order to allow an unobstructed view of oncoming traffic.
13. Any existing frontage, street, improvements, or other public improvements which, in the opinion of the City Engineer, become damaged as a part of the work shall be removed and replaced as required to the current City Standards, or as directed by the City Engineer.
14. Dust control shall be in conformance with City Standards and Ordinances. Vehicles hauling dirt or other construction debris from the site shall cover any open load with a tarpaulin or other secure covering to minimize dust emissions.
15. New driveways and curb ramps shall comply with the State American Disability Act (ADA) regulations. New curb ramps shall utilize truncated domes (Armor Tile, "federal yellow" color).
16. The minimum longitudinal slopes of gutter flow lines shall be 0.005.
17. All water and sewer lines shall have a minimum of five feet horizontal clearance from a fence, wall, or other structure as determined by the Public Works Director. All relocated facilities shall meet state and local separation standards.
18. All water improvements shall comply with the most current Suisun Solano Water Authority (SSWA) design standards, standard specifications and standard details at the time of installation.
19. Direct tapping of City or SSWA water mains is not permitted. Applicant shall install the required fittings in the existing or new main lines to accommodate the proposed water system. No existing water mains shall be shut down without specific written permission of the City Engineer and the Solano Irrigation District.
20. Upon the approval of the Improvement Plans, the Applicant shall submit electronic AutoCAD files of the plans to the Public Works Department. Also, prior to the issuance

of Certificate of Occupancy, the Applicant shall submit to the Public Works Department electronic AutoCAD files of the “as-built” Improvement Plans.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)

20. The Applicant shall obtain all necessary permits for storm water discharges.
21. The project will incorporate site design measures for reducing water quality impacts of the project, in compliance with the most current Suisun City National Pollutant Discharge Elimination System (NPDES) stormwater permit Provision C.3. requirements. Guidance on approved site design measures is available from the Public Works. Final approval for site design measures must be obtained from the Public Works Department.
22. Applicants whose projects disturb less than one acre of soil and are not part of a larger common plan of development shall prepare and implement an abbreviated Storm Water Pollution Prevention Plan prior to the start of construction.
23. The project shall use best management practices (BMPs) during construction to mitigate construction impacts and during post-construction to mitigate post-construction impacts to water quality.
24. All projects creating, adding or replacing 10,000 square feet or more of impervious surface on the project site shall fill out completely and submit to the City the “New and Redevelopment Post Construction Stormwater Requirements Application”, attached to these conditions, no later than concurrent with development or grading plans, whichever is submitted first.
25. All projects creating, adding or replacing 10,000 square feet or more of impervious surface on the project site shall include the design and implementation of stormwater treatment measures.
26. To limit pollutant generation, discharge and runoff to the maximum extent practicable, the project shall include stormwater pollution control measures listed within the document entitled “Storm Water Pollution Control Measures List”. This list is provided within Appendix B of the document entitled “Storm Water Requirements for Development Projects- Packet for Project Applicants”.
27. The project shall utilize infiltration measures to reduce stormwater discharge to the greatest extent feasible.
28. Sidewalks shall be sloped to drain to adjacent vegetated park strips.
29. All stormwater treatment measures shall be adequately operated and maintained. To ensure operation and maintenance of stormwater treatment measures, the Applicant shall enter into a Stormwater Treatment Measures Maintenance Agreement with the City. This agreement is included in the document entitled “Storm Water Requirements for Development Projects- Packet for Project Applicants”.
30. Storm drain markings shall be placed at all new storm drain inlets and catch basins. Storm drain marking design shall be approved by the City Engineer.
31. Improvement Plans shall include an Erosion Control Plan (or Storm Water Pollution Prevention Plan –SWPPP) for any grading during the rainy season (October 15 to April 15). No work shall be allowed during the rainy season without an approved and implemented Erosion Control Plan.

32. Prior to the City's issuance of the Certificate of Occupancy, the City shall receive a self-certification by the Engineer of Record (Registered Civil Engineer) which certifies that the project's grading, drainage and stormwater treatment systems conform to the approved plans, permits and city codes. The self certification shall be performed during construction and upon completion of the project by the Engineer of Record and documented on the appropriate city form. See attached City of Suisun City Grading & Drainage Self-Certification Form.
33. Runoff from impervious areas shall be channeled to pervious areas (e.g., park strips, vegetated planters) where possible prior to discharge to the storm drain.
34. Where feasible, parking lots and other impervious areas shall be designed to drain stormwater runoff to vegetated drainage swales, filter strips, and/or other treatment devices that can be integrated into required landscaping areas and traffic islands prior to discharge into storm drain systems.
35. Curb cuts (one every 10 feet), tire stops, or other means shall be provided to protect landscaped areas and allow maximum flow of stormwater into landscaped areas.
36. The Applicant shall install a debris catchment device in the existing catch basin located on the south side of Pintail Drive and west of the fire station. The type of trash catchment device is to be reviewed and approved by the City Engineer.
37. Improvement Plans shall include a Grading Plan prepared by a registered Civil Engineer and shall comply with the requirements of the soils report for the project and the City's Grading Ordinance prior to approval by the City Engineer. To the extent possible, the Grading Plan shall follow natural contours and maintain any existing native trees not identified for removal in the Mitigated Negative Declaration. In addition, the Grading Plan shall be prepared to the satisfaction of the City Engineer and must reflect a positive drainage to existing drain inlets as well as to proposed drain inlet.

LANDSCAPING and IRRIGATION

38. All landscaping and irrigation shall comply with the City's Water Efficient Landscape Ordinance, City standard specifications and details, design standards, and any special requirements imposed by the City Engineer.
39. New backflow preventers and flow meters shall be installed with the new controllers.
40. The maximum allowable slope in landscape areas shall be 3:1. The toe and top of slope shall not be closer than one foot from a wall, property line, or sidewalk.
41. Existing trees to remain shall be protected along with their root system. Protective device and/or methodology to be approved by the City Engineer.
42. The Applicant shall plant a tree for every one tree removed.
43. All new trees shall be 24" box trees at the minimum.

Attachments: City of Suisun City Grading & Drainage Self-Certification Form
CD: FSURMP New and Redevelopment Stormwater Requirements



**City of Suisun City
Department of Public Works
Grading & Drainage
Self-Certification**

Job

Address _____ **A.P.N.** _____

Owner's Name _____ **Permit**
_____

Grading Inspection by Engineer of Record (Civil Engineer)

I verify that the approximate final elevations and line, grade and surface drainage have been established in conformance with the approved plan and the Uniform Building Code. The portion of this grading work concerning the placement and compaction of fill prior to paving is in conformance with the approved design. The construction incorporates all of the recommendations contained in the report(s) for which I am responsible and all recommendations I have made. This statement is based on field inspections of the work during grading.

Remarks:

Civil Engineer of Record: _____

Registration # _____ Date: _____

Final Grading and Drainage Certification by Engineer of Record (Civil Engineer)

I certify that the completion of grading and drainage system is in accordance with the approved plans. All Drainage devices are installed in compliance with the approved plans, permits and the City of Suisun City Municipal Code.

Remarks:

Civil Engineer of Record: _____
Registration # _____ Date: _____

SSWA CONDITIONS

1. The developer must install all necessary facilities to provide water service to the proposed facility, to SSWA Standards, at its own expense. A service lateral may not be located within a driveway approach. All types of commercial buildings and landscape irrigation services are required to include an approved backflow prevention assembly. Plans showing the installation of the water facilities and their relation to and clearance from other utilities in the street must be prepared and submitted for SSWA review and approval prior to construction.
2. The developer must pay all fees and charges of the Authority for review, connection, inspection, testing, and meter installation.

FIRE DEPT. CONDITIONS

1. A set of keys for all spaces in the building shall be provided, along with all alarm codes and contact information, for fire and security alarms. Keys and codes shall be placed in the Knox Box
2. The Knox Box shall be moved to an outside wall for retrieval of the fire department key set and alarm codes. The Knox Box shall be accessible at all times, even when the building is closed.
3. A Fire Alarm Enunciator Panel shall be installed at the front of the building, accessible when the building is closed, to help identify in what area of the building the emergency is occurring.
4. Plans shall identify areas in which red curbs shall be painted and fire lanes shall be identified for fire department access, subject to approval by the Fire Chief.
5. An emergency plan, completed with input from the Fire Department, shall be developed. Applicant shall coordinate with the Fire Department for staff training in responses to emergencies. All employees and volunteers shall be trained in response consistent with the emergency plan for:
 - Fire emergencies
 - Fire drill and escape planning
 - Medical emergencies
 - Pool emergencies
 - Contact Names and numbers
6. A floor plan shall be submitted for inclusion in the fire map books.
7. All requirements for fire sprinkler system inspection, including inspection and maintenance requirements for five years and ten years, shall be completed.
8. The applicant shall include the Fire Department in employee orientations.
9. During construction, the Fire Department must kept updated as Fire Alarms, Fire Sprinkler Systems, and Alarm Systems are shut down, turned on, worked on, and changed by the contractors.

10. Fire and Police Dispatch must be given current emergency contact and responder phone numbers for the project for after hours contact.

POLICE DEPT. CONDITIONS

1. The Police Department shall be included in development of the emergency plan and staff training regarding response to emergencies.
2. Applicant must include the Police Department in employee orientations.

PLANNING DEPARTMENT CONDITIONS

1. The final color scheme must be reviewed and approved by the Community Development Director. All exterior surfaces shall be installed and maintained consistent with approval.
2. The Applicant shall submit a signage program for review and approval of the Community Development Director. All signs must be installed and maintained consistent with approval.
3. The applicant must submit a detail of the proposed courtyard fencing for approval of both the Chief of Police and Community Development Director.
4. The applicant shall submit a final landscape plan for the review and approval of the Community Development Director that complies with the City's Water Efficient Landscape Ordinance.

BUILDING DEPARTMENT CONDITIONS

1. Applicant must apply for and be issued a building permit prior to initiation of construction.

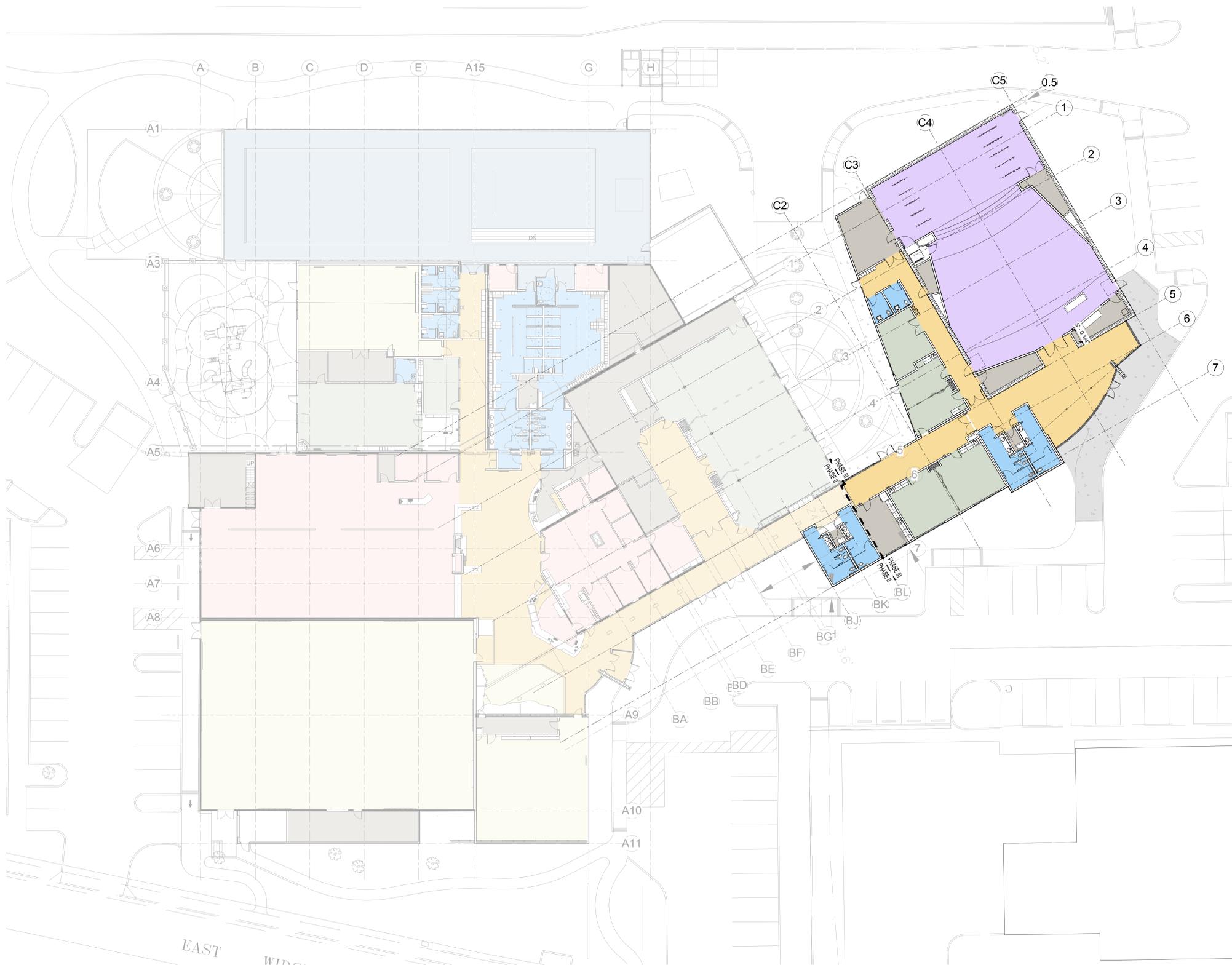
BE IT FURTHER RESOLVED that the Planning Commission of the City of Suisun City approves Site Plan / Architectural Review Application No. AR 10/1-010 to construct a chapel and classroom space at 586 East Wigeon Way.

The forgoing motion was made by Commissioner ____ and seconded by Commissioner ____ and carried by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

WITNESS my hand and the seal of said City this 28th day of June 2011.

Anita Skinner Commission Secretary



1 OVERALL FLOOR PLAN
 A2.0 1/16" = 1'-0"

THE SALVATION ARMY RAY & JOAN KROC CORPS COMMUNITY CENTER - CHAPEL ADDITION

BARKER RINKER SEACAT





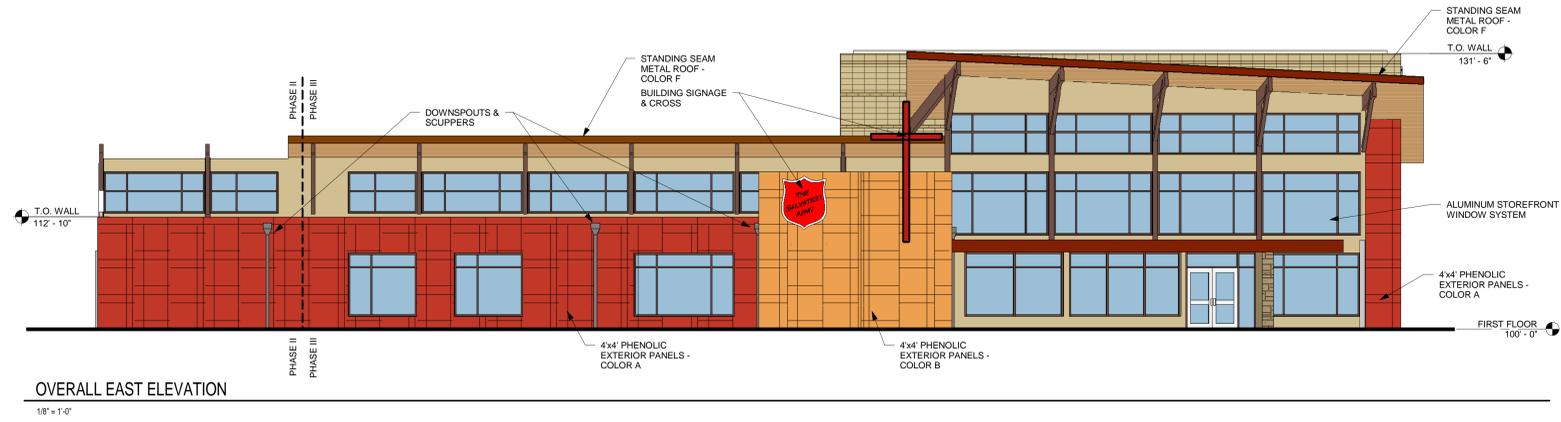
1 FIRST FLOOR PLAN
 A2.1 1/8" = 1'-0"



THE SALVATION ARMY RAY & JOAN KROC CORPS COMMUNITY CENTER - CHAPEL ADDITION

BARKER RINKER SEACAT





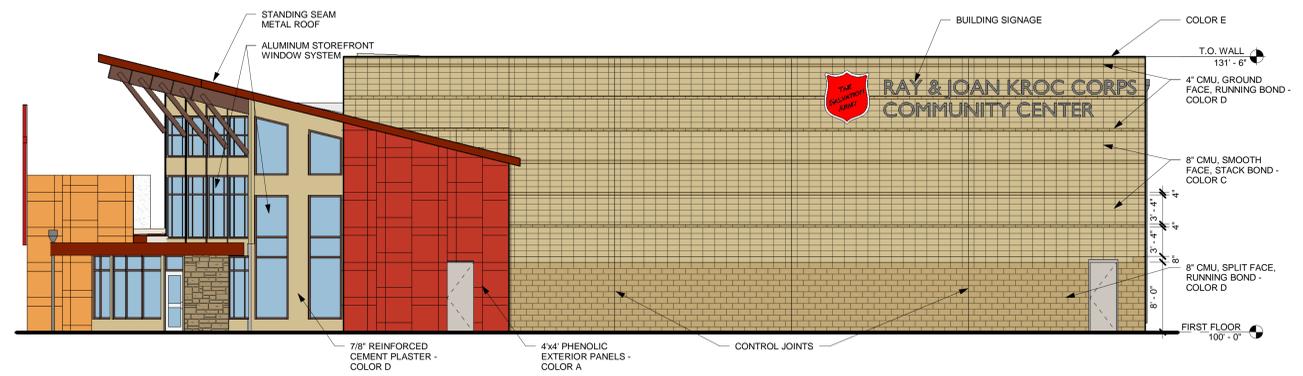
OVERALL EAST ELEVATION

1/8" = 1'-0"



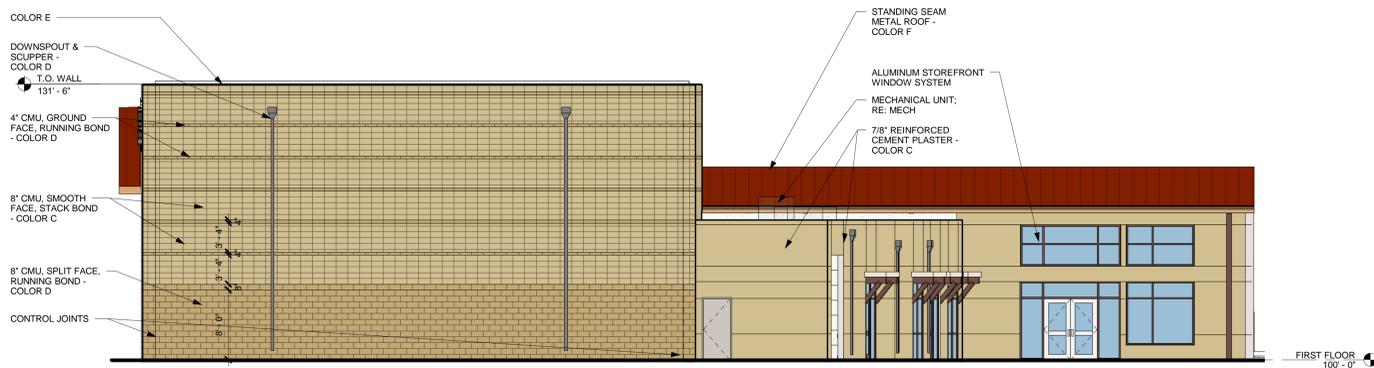
CHAPEL ENTRY ELEVATION

1/8" = 1'-0"



CHAPEL NORTH ELEVATION

1/8" = 1'-0"



CHAPEL WEST ELEVATION

1/8" = 1'-0"



CHAPEL SOUTH ELEVATION

1/8" = 1'-0"



THE SALVATION ARMY RAY & JOAN KROC CORPS COMMUNITY CENTER - CHAPEL ADDITION

BARKER RINKER SEACAT



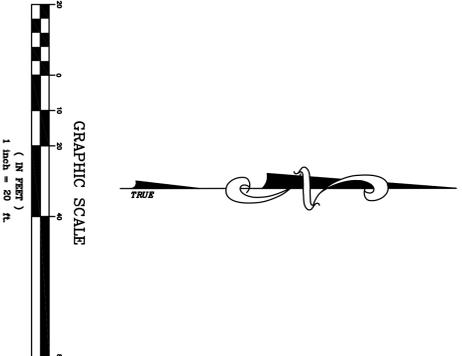
Submitted plans for The Salvation Army (TSA) in this staff report are for Planning Commission review purposes and are not intended for project construction.



THE SALVATION ARMY RAY & JOAN KROC CORPS COMMUNITY CENTER - CHAPEL ADDITION

SITE GRADING DESIGN - DESIGN REVIEW SUBMITTAL - MARCH 2011

GRA ARCHITECTURE - 2016 P STREET, SUITE 200 - SACRAMENTO, CALIFORNIA 95814 - 916-498-7900 PHONE - 916-498-7909 FAX



CIVIL ENGINEERING SUB-CONSULTANT:
GENESIS ENGINEERING
 1402 D Street - Marysville, CA 95901
 office (530) 742-1300 - fax (530) 742-1331
 soem@genesisengineering.us
 SHEET: C-DR-1.0

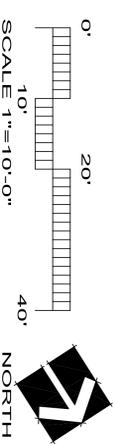
BARKER RINKER SEACAT





PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	ACE AB1	2	Acer palmatum Atropurpureum Burgundy Lace / Red Japanese Maple	24"box
	ACE ARV	5	Acer rubrum Armstrong / Armstrong Red Maple	24"box
	ARB TRE	2	Arbutus unedo / Strawberry Tree Multi-Trunk	24"box
	MAJ LIT	1	Magnolia grandiflora Little Gem / Dwarf Southern Magnolia	24"box
	PI5 KE1	4	Falcatia chinensis Keith Dovey / Keith Dovey Chinese Pistache	36"box
	PLA COL	1	Platanus x acerifolia Columbia / London Plane Tree	24"box
	ESC TER	16	Escallonia fradesii Terri / Escallonia	5 gal
	GAR KIM	14	Gardenia jasminoides Kimura Shikazaki / Four Seasons Gardenia	5 gal
	KUI SPR	63	Kliphortia vvorra Springtime / Red Hot Poker	1 gal
	LAN RAD	10	Lantana camara Radiation / Radiation Lantana	5 gal
	LOR BAZ	5	Loropetalum chinense rubrum Rozielleberr / Rozielleberr Fringe Flower	15 gal
	LOR FRI	22	Loropetalum chinense rubrum Rozielleberr / Rozielleberr Fringe Flower	5 gal
	M4H RIG	25	Muhlenbergia rigens / Deer Grass	5 gal
	NAN DOM	40	Nandina domestica / Heavenly Bamboo	5 gal
	PIT CRE	24	Philippodon tobora Cream De Wit TM / Cream De Wit Dwarf Noddy Orange	5 gal
	PRU BRL	11	Prunus caroliniana Bright N Tight TM / Bright N Tight Carolina Laurel	5 gal
	SAR RUS	21	Sarcococca nuscifolia / Fragrant Sarcococca	5 gal
	TRA JA2	4	Trochilopernum jasminoides / Star Jasmine	5 gal
	ARC IVA	38	Actinodaphnys vavrusii / Kentshnick	1 gal @ 36" oc
	TRA JAS	112	Trochilopernum jasminoides / Star Jasmine	1 gal @ 24" oc
	TUR BLE	1318 sf	Turf Sod Native Non Free / Native Fescue Blend	sod



THE SALVATION ARMY RAY & JOAN KROC CORPS COMMUNITY CENTER - CHAPEL ADDITION

BARKER RINKER SEAGAT



GRA ARCHITECTURE - 2016 P STREET, SUITE 200 - SACRAMENTO, CALIFORNIA 95814 - 916.498.7900 PHONE - 916.498.7909 FAX

